

4.3. DEVELOPMENT STANDARDS

A. Purpose and Intent. This Section establishes standards to ensure that proposed development within the Specific Plan area promotes a pedestrian-friendly environment along the street by placing buildings at the front of the site and locating parking at the center or the back of the site; provides adequate open space either on-site or in a park, plaza, or other open space within walking distance of the project; consists of buildings with heights and lengths in scale with the intended character of the zone and that are accessed from the sidewalk via appropriate frontage types. Unless stated otherwise, all requirements are expressed as "minimums" and may be exceeded (e.g., 1 parking space required and 2 provided) in compliance with all applicable provisions of this code and the *City of Redlands Municipal Code*.

B. Applicability. Each proposed improvement and building shall be designed in compliance with the development standards of this Section for the applicable zone, except for public and institutional buildings, which because of their unique disposition and application are not required to comply with these requirements and are reviewed by a special permit and procedures.

C. Requirements for All Zones.

1. Building Setback Standards.

- a. Street-facing facades shall be built parallel to the right-of-way.
- b. For corner lots:
 - i. Primary Street side of the lot shall be the short side of the lot, and
 - ii. Side Street side of the lot shall be the long side of the project site.
 - iii. Applicability of standards for reverse corner lots, through lots, or irregularly shaped lots shall be interpreted by the Development Services Director.

2. Building Heights Standards.

- a. Buildings, roofs and roof equipment shall comply with the height requirements described in Sections 4.3.1.B, 4.3.2.B, 4.3.3.B, 4.3.4.B, 4.3.5.B, and 4.3.6.B.
- b. Measurement of Building Height.
 - i. Building height shall be measured at the front of the building between the finished sidewalk, finished grade, and/or 1% (100-year) base flood plain elevation and the top of plate of the top floor of the building. Buildings within the flood plain are subject to review by the Development Services Director to ensure building frontage and access is consistent with the intent of Section 4.6 (Frontage Standards).
 - ii. For buildings located at the back of sidewalk, building height shall be measured from the adjacent sidewalk and/or 1% (100-year) base flood plain elevation (see Figure 4-2).
 - iii. For building located behind front yard setbacks, building height shall be measured from the average elevation of the finished grade and/or 1% (100-year) base flood plain elevation (see Figure 4-3).

- iv. Building height shall be measured every 60 feet along the building frontage.
- v. Chimneys, elevator shafts, and vents may project beyond the maximum building height as allowed by the California Building Code.

c. Average building heights.

- i. Buildings within the Village General (VG) zones may exceed the maximum allowed base building height by one story for up to 30% of the building footprint area provided an equal amount of building footprint area is one story shorter than the maximum allowed base building height (see Figure 4-4).

- ii. Additional height may be located anywhere on the site.

3. Corner Cutoffs. Buildings on corner lots shall be designed in conformance with the corner cutoff and traffic sight safety requirements of Chapter 18.168 of the *Redlands Municipal Code*.

FIGURE 4-2. BUILDING HEIGHT AT SIDEWALK

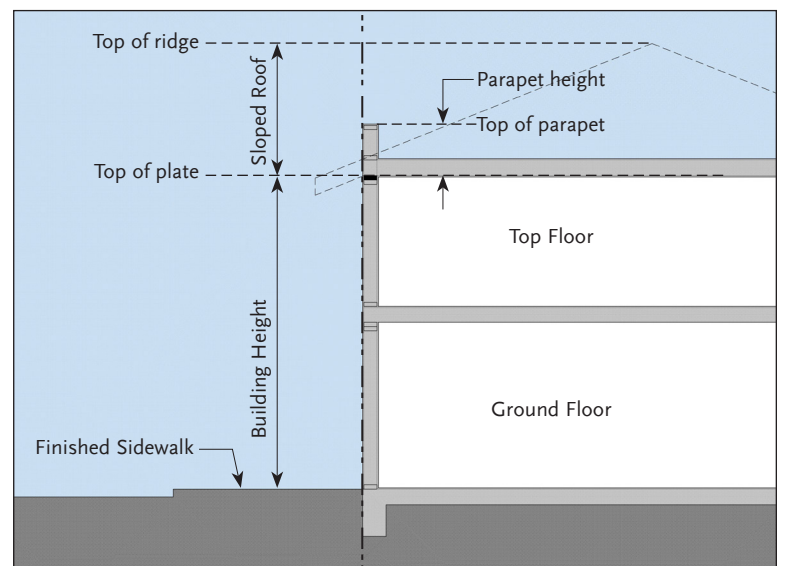


FIGURE 4-3. BUILDING HEIGHT AT SETBACK

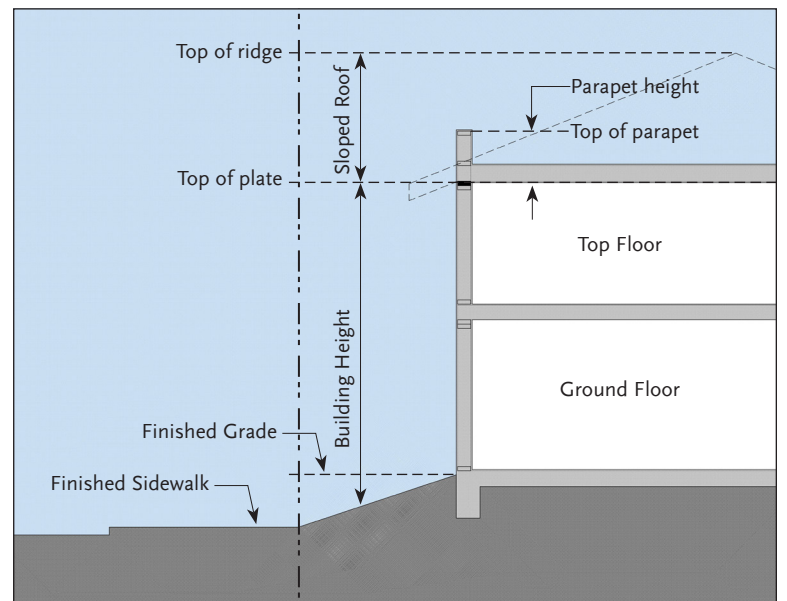
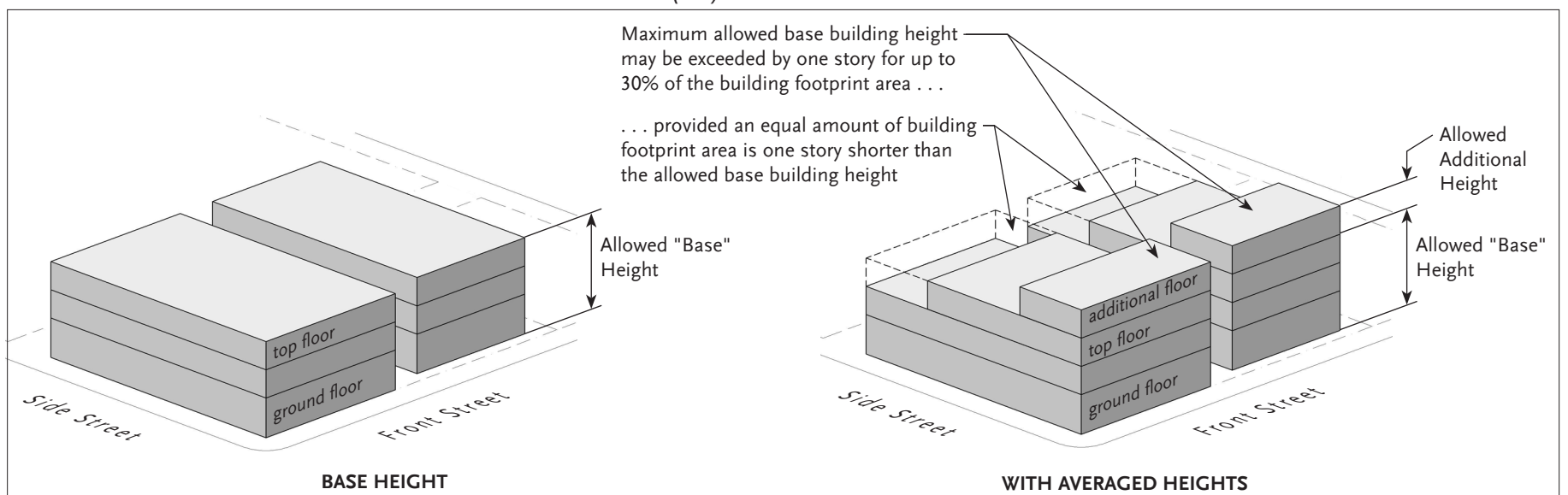


FIGURE 4-4. AVERAGED HEIGHT IN THE VILLAGE GENERAL (VG) ZONE



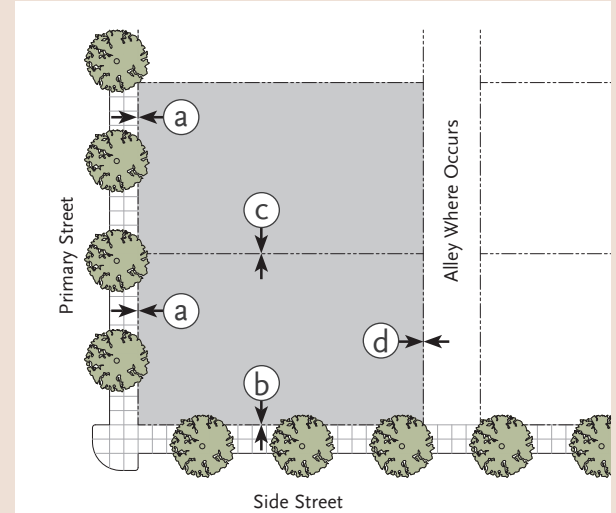
4. DEVELOPMENT CODE

4.3.1. VILLAGE CENTER

A. Building Setbacks as measured from property lines

1. Buildings shall be located on the site as indicated below and shown at right and shall be located no closer than 12 feet from the face of curb. Setbacks shall apply to all floors (for example, if the ground floor is set back 5 ft. from the Primary Property Line, upper floors shall be set back a minimum of 5 ft. from the Primary Property Line).

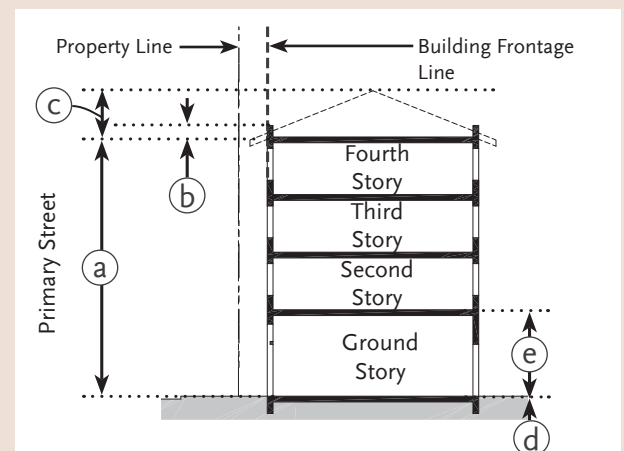
(a) Primary Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential		5 ft. min. / 10 ft. max.
(b) Side Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential and Upper Floors		5 ft. min. / 10 ft. max.
(c) Side Yard Setback		
i. Non-Residential		0 ft.
ii. Residential		8 ft. min.
(d) Rear Setback		
i. With Alley		5 ft. min.
ii. Without Alley		15 ft. min.



B. Building Height

1. Building heights shall comply with the below standards and as shown at right.

(a) Top of plate height above adjacent sidewalk (max.)		4 stories / 55 ft.
(b) Top of parapet height above top of plate (max.)		4 ft.
(c) Pitched roof height above top of plate (max.)		allowed
(d) Ground floor above grade at building setback line (max.)		
i. Non-residential		0 ft. ¹
ii. Residential		3.5 ft. max.
(e) Ground story floor to floor height (min.)		
i. Non-residential		15 ft. min.
ii. Residential		12 ft. min.

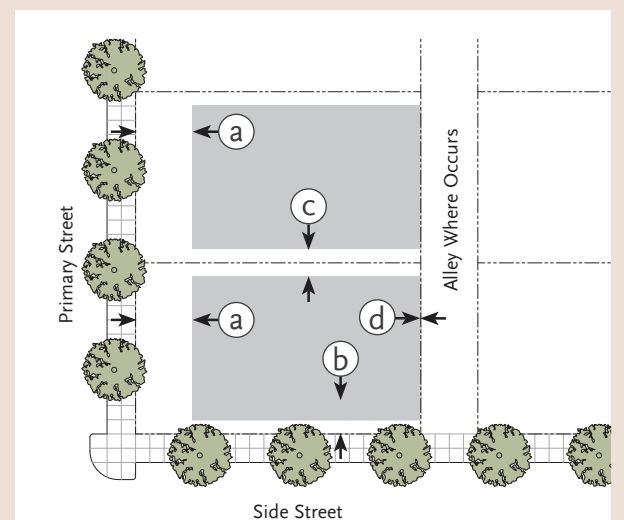


¹ The intent of non-residential ground floor height above grade is to enable direct access from the adjacent sidewalk into ground floor commercial spaces. Ground floor height may be higher than zero (0) ft. in response to existing sloping grades, subject to Director of Development Services approval.

C. Parking Placement

1. On-site parking shall be located as indicated below and shown at right. See Section 4.12 (Parking Design Standards) for additional standards.

(a) Primary Street Setback		
i. Surface		25 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		0 ft.
(b) Side Street Setback		
i. Surface		20 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		0 ft.
(c) Side Yard Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		0 ft.
(d) Rear Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		0 ft.



D. Parking Requirements

1. Minimum off-street parking spaces shall be provided for each land per the below standards. See Section 4.12 for additional parking requirements.

a. Residential		d. Commercial (Retail/Office/Restaurant)	
i. Units up to 999 sf:	1.0 space/unit	i. Ground floor commercial:	1/300 sf gross ground floor building area
ii. Units between 1,000 – 1,499 sf:	1.5 spaces/unit	ii. Upper Floor commercial:	1/350 sf gross upper floor building area
iii. Units 1,500 sf and greater:	2.0 spaces/unit	e. Standalone Restaurant*:	1/150 sf gross restaurant area
iv. Guest:	0.25/unit	f. Civic:	1/350 sf gross building area
b. Lodging:	0.75 space/room	g. Mixed-Use: See Section 4.12.C.4 (Spaces for Multiple Uses and Mixed-use Developments).	
c. Live/Work		* A single restaurant, café, or similar business in a single building on a single parcel with on-site parking dedicated to the single restaurant use.	
i. Units up to 1,499 sf:	1.0 space/unit		
ii. Units 1,500 sf and greater:	See Commercial		

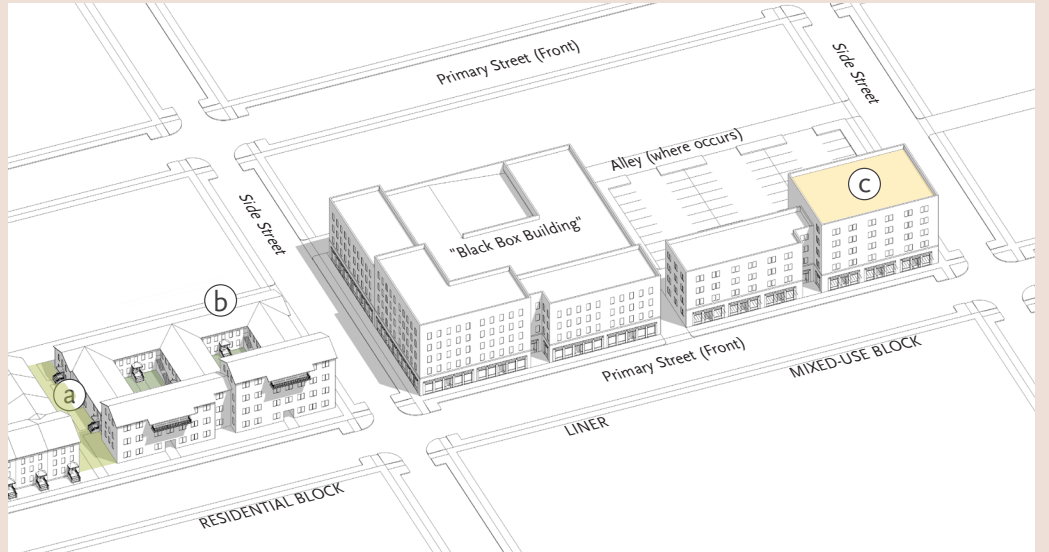
4.3.1. VILLAGE CENTER (CONTINUED)

E. On-Site Open Space. See Section 4.4 (On-Site Open Space Types) for additional standards.

- Common On-Site Open Space.** One (1) or more of the On-Site Open Space Types listed below shall be provided on each lot that accommodates residential uses. The required On-Site Open Space shall be generally rectangular in form, per the below-listed minimum size requirements, and must be accommodated behind the Primary Street setback line.

Open Space Type	Minimum Area	Minimum Dimensions
(a) Side Garden	10% of total lot area	20 ft. x 20 ft.
(b) Courtyard	10% of total lot area	20 ft. x 20 ft.
(c) Roof Deck	10% of total lot area	20 ft. x 20 ft.

- Private On-Site Open Space.** Private open space in the form of a yard, balcony, or roof deck shall be provided for each residential unit. Min. area: 40 square feet. Min. width: 5 feet.
- Exceptions.** Permitted exceptions, subject to payment of parks and open space in-lieu fees: on-site open space (common or private) not required for buildings that line

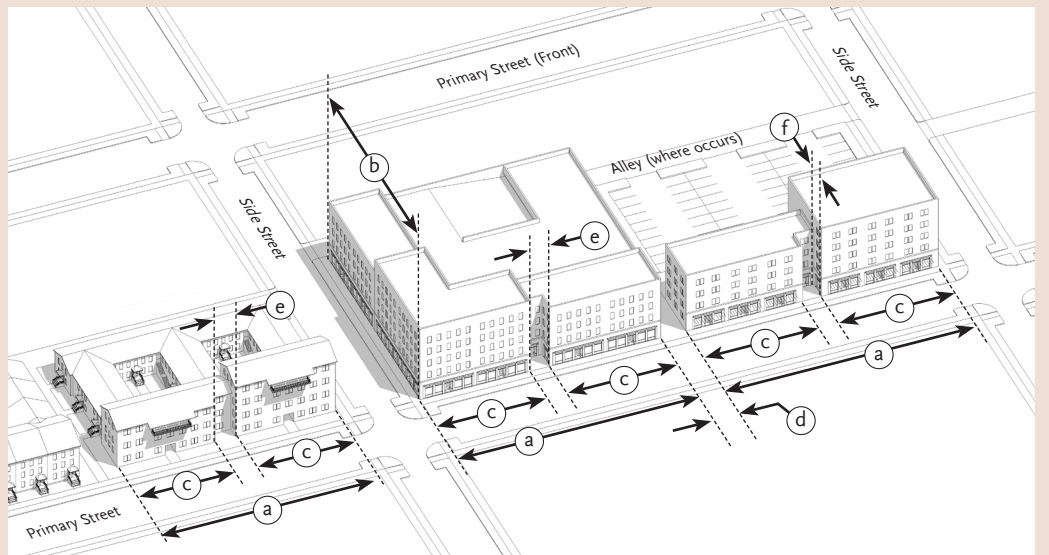


"black box" buildings such as parking garages and theaters, and/or if building is located within 1/4-mile walking distance of a park or plaza that is at least 0.5 acres in size.

F. Building Size and Separation. See Section 4.5 (Building Articulation and Massing) for additional standards.

- Buildings shall be designed per the following building length and facade increment standards. Facade increments shall be designed according to the massing and articulation strategies described in Section 4.5 (Building Articulation and Massing):

(a) Building length along Primary Street (max.)	180 ft.
(b) Building length along Side Street (max.)	120 ft.
(c) Building separation along Primary Street (min.)	20 ft.
(d) Length between facade breaks (max.)	80 ft.
(e) Facade break length (min.)	20 ft.
(f) Facade break depth (min.)	20 ft.



G. Frontage Elements, Allowed Encroachments, and Access. See Section 4.6 (Frontage Standards) for additional standards.

- Required Frontage Elements.** All Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. Required Frontage Elements may encroach into the Primary Street and Side Street setbacks or right-of-way as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Arcade, Gallery	Within 2 ft. of curb
b. Shopfront	0 ft.
c. Stoop	5 ft. into setback
d. Door Yard	To R.O.W. line

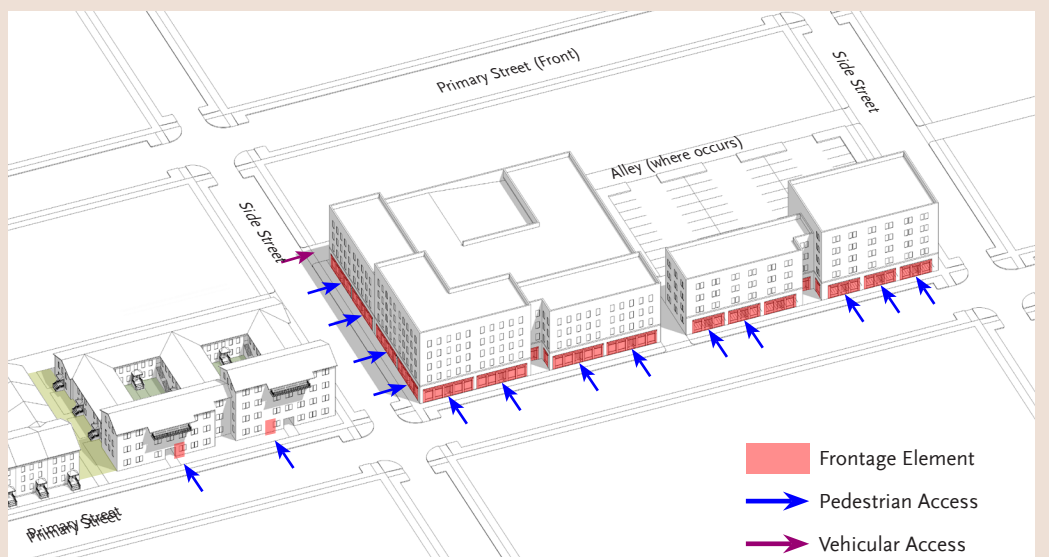
- Optional Frontage Elements.** The following Frontage Elements may be provided on all Street- and Courtyard-facing facades. Optional Frontage Elements may encroach into in the Primary Street and Side Street setbacks or right-of-way as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Balcony*	3 ft. into R.O.W. or setback
b. Bay Window	3 ft. into R.O.W. or setback
c. Cantilevered Room*	2 ft. into setback
d. Awning, Canopy	Within 2 ft. of curb

* Architectural Element only permitted on upper floors

- Pedestrian Access.**

- All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate Frontage Element, Lobby, or On-site Open Space, such as a Court or Side Garden.
- Upper floor uses may be accessed through an Exterior Stair, Interior Stair, or Lobby.



- Vehicular Access.**

- Parking shall be accessed from an alley.
- Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible.
- Parking/service areas for corner lots shall be accessed from side street.

H. Signage. See Section 4.9 (Sign Standards) for additional standards.

- Allowed Signage Types.** A maximum of two of the below sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Signage Type	Encroachment	Signage Type	Encroachment
a. Awning, Canopy	Within 2 ft. of curb	f. Roof	0 ft.
b. Projecting	3 ft.	g. Marquee Display	Within 2 ft. of curb
c. Wall/Bldg. ID	Sign Thickness	h. Blade	5 ft.
d. Window Sign	0 ft.	i. Directory	Sign Thickness
e. Sidewalk	Within 2 ft. of curb	j. Mural	Within 2 ft. of curb

4. DEVELOPMENT CODE

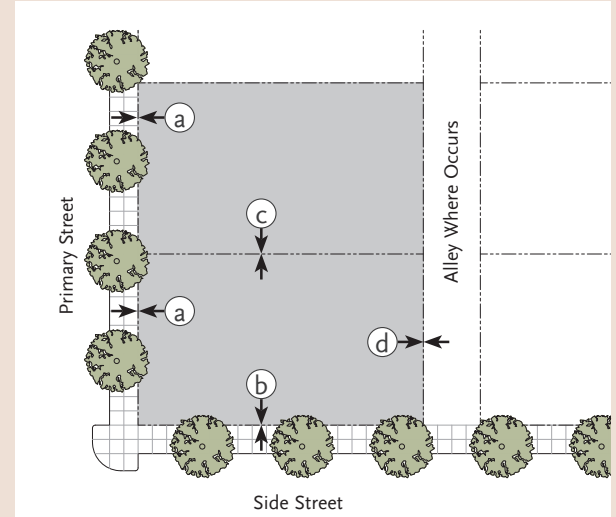
4.3. DEVELOPMENT STANDARDS (CONTINUED)

4.3.2. DOWNTOWN

A. Building Setbacks as measured from property lines

1. Buildings shall be located on the site as indicated below and shown at right and shall be located no closer than 12 feet from the face of curb. Setbacks shall apply to all floors (for example, if the ground floor is set back 5 ft. from the Primary Property Line, upper floors shall be set back a minimum of 5 ft. from the Primary Property Line).

(a) Primary Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential		n/a
(b) Side Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential and Upper Floors		n/a
(c) Side Yard Setback		
i. Non-Residential		0 ft.
ii. Residential		n/a
(d) Rear Setback		
i. With Alley		5 ft. min.
ii. Without Alley		15 ft. min.

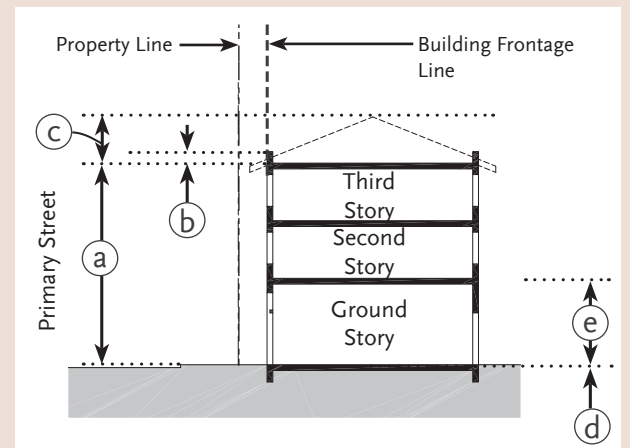


B. Building Height

1. Building heights shall comply with the below standards and as shown at right.

(a) Top of plate height above adjacent sidewalk (max.)		3 stories / 45 ft.
(b) Top of parapet height above top of plate (max.)		4 ft.
(c) Pitched roof height above top of plate (max.)		allowed
(d) Ground floor above grade at building setback line (max.)		
i. Non-Residential		0 ft. ¹
ii. Residential		n/a
(e) Ground story floor to floor height (min.)		
i. Non-Residential		15 ft. min.
ii. Residential		n/a

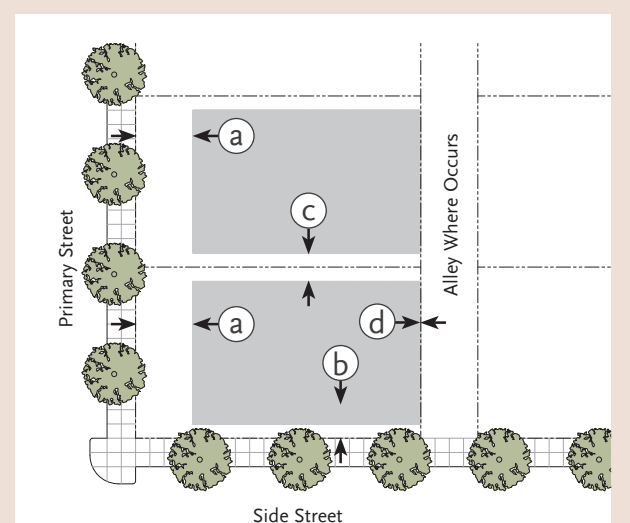
¹ The intent of non-residential ground floor height above grade is to enable direct access from the adjacent sidewalk into ground floor commercial spaces. Ground floor height may be higher than zero (0) ft. in response to existing sloping grades, subject to Director of Development Services approval.



C. Parking Placement

1. On-site parking shall be located as indicated below and shown at right. See Section 4.12 (Parking Design Standards) for additional standards.

(a) Primary Street Setback		
i. Surface		35 ft. min.
ii. Podium		35 ft. min.
iii. Subterranean		0 ft.
(b) Side Street Setback		
i. Surface		20 ft. min.
ii. Podium		35 ft. min.
iii. Subterranean		0 ft.
(c) Side Yard Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		0 ft.
(d) Rear Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		0 ft.



D. Parking Requirements

1. Off-street parking spaces shall be provided for each land per the below standards. See Section 4.12 for additional parking requirements.

a. Residential		d. Commercial (Retail/Office/Restaurant)	
i. Units up to 999 sf:	1.0 space/unit	i. Ground floor commercial:	1/300 sf gross ground floor building area
ii. Units between 1,000 – 1,499 sf:	1.5 spaces/unit	ii. Upper Floor commercial:	1/350 sf gross upper floor building area
iii. Units 1,500 sf and greater:	2.0 spaces/unit	e. Standalone Restaurant*:	1/150 sf gross restaurant area
iv. Guest:	0.25/unit	f. Civic:	1/350 sf gross building area
b. Lodging:	0.75 space/room	g. Mixed-Use: See Section 4.12.C.4 (Spaces for Multiple Uses and Mixed-use Developments).	
c. Live/Work		* A single restaurant, café, or similar business in a single building on a single parcel with on-site parking dedicated to the single restaurant use.	
i. Units up to 1,499 sf:	1.0 space/unit		
ii. Units 1,500 sf and greater:	See Commercial		

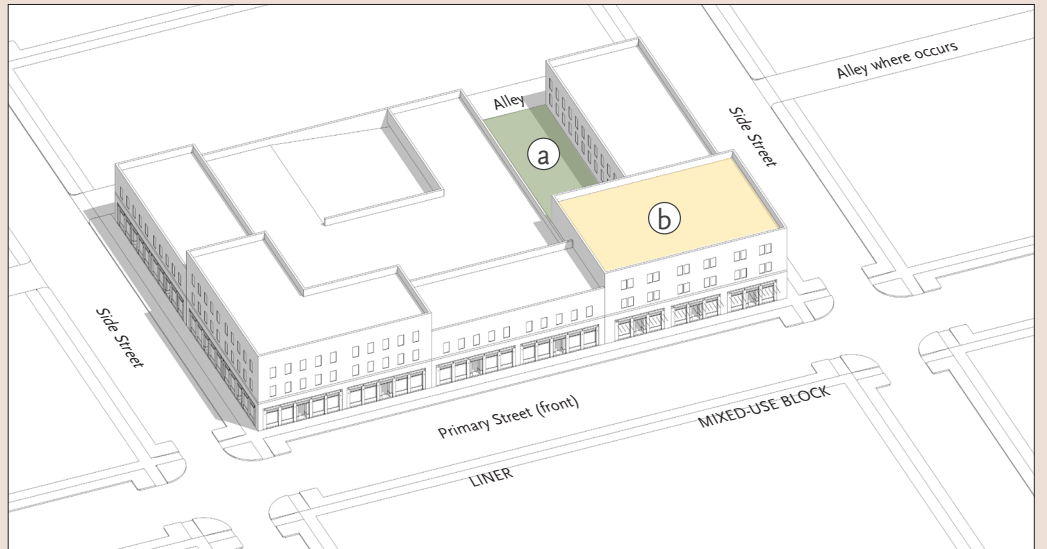
4.3.2. DOWNTOWN (CONTINUED)

E. On-Site Open Space. See Section 4.4 (On-Site Open Space Types) for additional standards.

- Common On-Site Open Space.** One (1) or more of the On-Site Open Space Types listed below shall be provided on each lot that accommodates residential uses. The required On-Site Open Space shall be generally rectangular in form, per the below-listed minimum size requirements, and must be accommodated behind the Primary Street setback line.

Open Space Type	Minimum Area	Minimum Dimensions
(a) Courtyard	10% of total lot area	20 ft. x 20 ft.
(b) Roof Deck	10% of total lot area	20 ft. x 20 ft.

- Private On-Site Open Space.** Private open space in the form of a yard, balcony, or roof deck shall be provided for each residential unit. Min. area: 40 square feet. Min. width: 5 feet.
- Exceptions.** Permitted exceptions, subject to payment of parks and open space in-lieu fees: on-site open space (common or private) not required for buildings that line "black box" buildings such as parking garages and theaters,

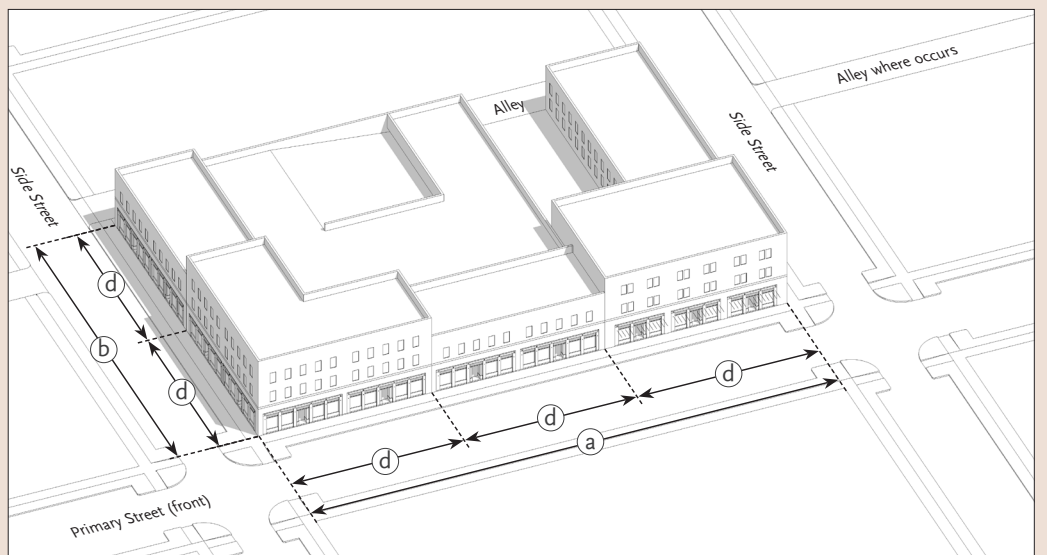


and/or if building is located within 1/4-mile walking distance of a park or plaza that is at least 0.5 acres in size.

F. Building Size and Separation. See Section 4.5 (Building Articulation and Massing) for additional standards.

- Buildings shall be designed per the following building length and facade increment standards. Facade increments shall be designed according to the massing and articulation strategies described in Section 4.5 (Building Articulation and Massing):

(a) Building length along Primary Street (max.)	280 ft.
(b) Building length along Side Street (max.)	120 ft.
(c) Building separation along Primary Street (min.)	0 ft.
(d) Facade increment (max.)	50 ft.
(c) Facade break length (min.)	0 ft.
(d) Facade break depth (min.)	0 ft.



G. Frontage Elements, Allowed Encroachments, and Access. See Section 4.6 (Frontage Standards) for additional standards.

- Required Frontage Elements.** All Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. Required Frontage Elements may encroach into the Primary Street and Side Street setbacks as measured from the building facade as identified below.

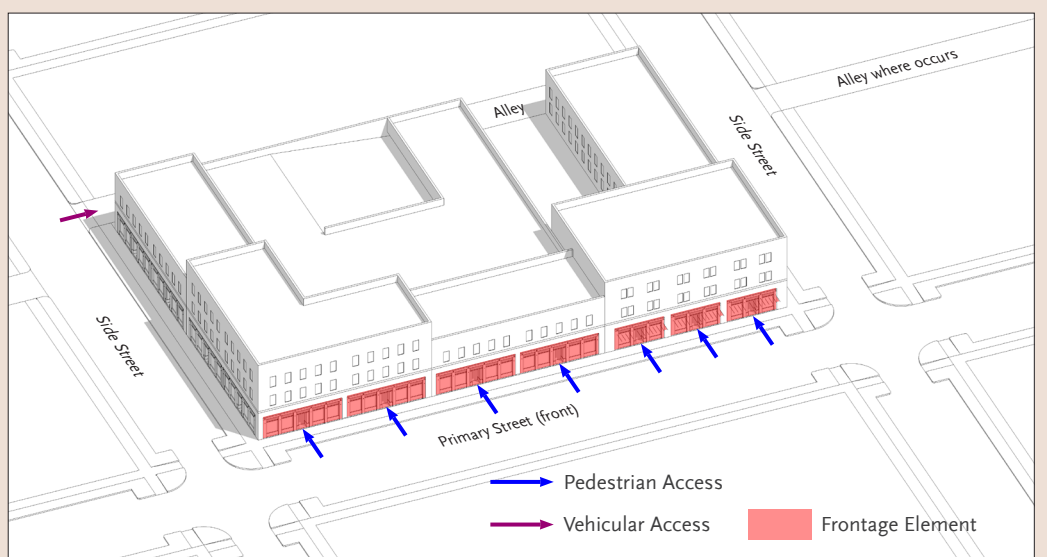
Frontage Element	Encroachment
a. Arcade, Gallery	To R.O.W. line
b. Shopfront	0 ft.
c. Stoop	5 ft.
d. Door Yard	To R.O.W. line

- Optional Frontage Elements.** The following Frontage Elements may be provided on all Street- and Courtyard-facing facades. Optional Frontage Elements may encroach into in the Primary Street and Side Street setbacks or right-of-way as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Balcony*	3 ft. into R.O.W. or setback
b. Bay Window	3 ft. into R.O.W. or setback
c. Cantilevered Room*	2 ft. into setback
d. Awning, Canopy	Within 2 ft. of curb

* Architectural Element only permitted on upper floors

- Pedestrian Access.**
 - All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate Frontage Element, Lobby, or On-site Open Space, such as a Court.
 - Upper floor uses may be accessed through an Exterior Stair, Interior Stair, or Lobby.



4. Vehicular Access.

- Parking shall be accessed from an alley.
- Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible.
- Parking/service areas for corner lots shall be accessed from side street.

H. Signage. See Section 4.9 (Sign Standards) for additional standards.

- Allowed Signage Types.** A maximum of two of the below sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Signage Type	Encroachment	Signage Type	Encroachment
a. Awning, Canopy	Within 2 ft. of curb	f. Roof	0 ft.
b. Projecting	3 ft.	g. Marquee Display	Within 2 ft. of curb
c. Wall/Bldg. ID	Sign Thickness	h. Blade	5 ft.
d. Window Sign	0 ft.	i. Directory	Sign Thickness
e. Sidewalk	Within 2 ft. of curb	j. Mural	Within 2 ft. of curb

4. DEVELOPMENT CODE

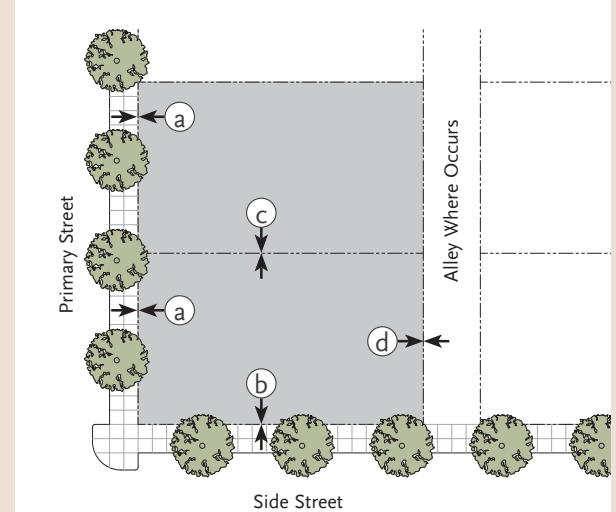
4.3. DEVELOPMENT STANDARDS (CONTINUED)

4.3.3. VILLAGE GENERAL

A. Building Setbacks as measured from property lines

1. Buildings shall be located on the site as indicated below and shown at right and shall be located no closer than 12 feet from the face of curb. Setbacks shall apply to all floors (for example, if the ground floor is set back 5 ft. from the Primary Property Line, upper floors shall be set back a minimum of 5 ft. from the Primary Property Line).

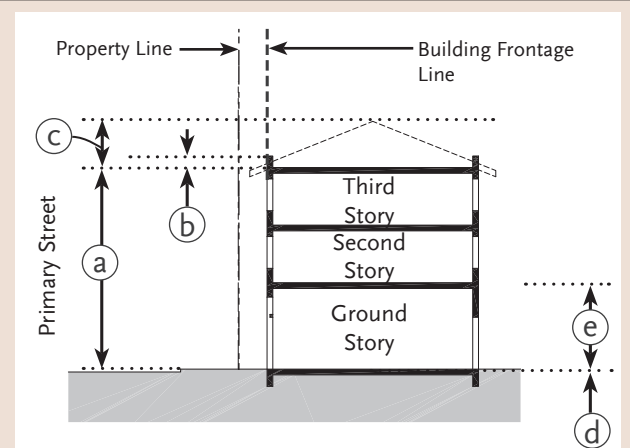
(a) Primary Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential and Upper Floors		10 ft. min. / 15 ft. max
(b) Side Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential		10 ft. min. / 15 ft. max
(c) Side Yard Setback		
i. Non-Residential		0 ft.
ii. Residential		8 ft. min.
(d) Rear Setback		
i. With Alley		5 ft. min.
ii. Without Alley		15 ft. min.



B. Building Height

1. Building heights shall comply with the below standards and as shown at right.

(a) Top of plate height above adjacent sidewalk (max.)		3 stories average / 45 ft. ^{1, 2}
(b) Top of parapet height above top of plate (max.)		4 ft.
(c) Pitched roof height above top of plate (max.)		allowed
(d) Ground floor above grade at building setback line (max.)		
a. Non-Residential		0 ft. ³
b. Residential		3.5 ft. max.
(e) Ground story floor to floor height (min.)		
a. Non-Residential		15 ft. min.
b. Residential		12 ft. min.



¹ Up to 30% of building footprint area may be four (4) stories/55 ft. to top of plate, provided an equal amount of building footprint area is no taller than two (2) stories/30 ft. to top of plate (see Figure 4-4 on page 4:15).

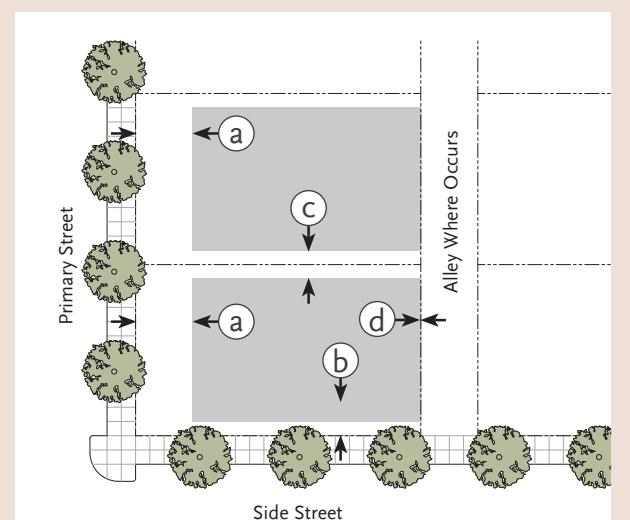
² Buildings on parcels located abutting single-family zoned parcels must step down to two (2) stories/25 ft. to top of plate for a distance of 25 ft. from the adjoining single-family zoned parcel.

³ The intent of non-residential ground floor height above grade is to enable direct access from the adjacent sidewalk into ground floor commercial spaces. Ground floor height may be higher than zero (0) ft. in response to existing sloping grades, subject to Director of Development Services approval.

C. Parking Placement

1. On-site parking shall be located as indicated below and shown at right. See Section 4.12 (Parking Design Standards) for additional standards.

(a) Primary Street Setback		
i. Surface		25 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		0 ft.
(b) Side Street Setback		
i. Surface		20 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		0 ft.
(c) Side Yard Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		0 ft.
(d) Rear Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		0 ft.



D. Parking Requirements

1. Off-street parking spaces shall be provided for each land per the below standards. See Section 4.12 for additional parking requirements.

a. Residential		d. Commercial (Retail/Office)	
i. Units up to 999 sf	1.0 space/unit	i. Ground floor commercial	1/300 sf gross ground floor building area
ii. Units between 1,000 – 1,499 sf	1.5 spaces/unit	ii. Upper Floor commercial	1/350 sf gross upper floor building area
iii. Units 1,500 sf and greater	2.0 spaces/unit	e. Restaurant, Cafes, or similar	
iv. Guest	0.25/unit	i. Up to 24.99% gross building area	1/300 sf restaurant area
b. Lodging:	0.75 space/room	ii. 25% of gross building area or greater	1/300 sf restaurant for first 24.99%; per RMC Section 18.164.240
c. Live/Work		f. Civic	1/350 sf gross building area
i. Units up to 1,499 sf	1.0 space/unit	g. Mixed-Use: See Section 4.12.C.4 (Spaces for Multiple Uses and Mixed-use Developments).	
ii. Units 1,500 sf and greater	See Commercial		

4.3.3. VILLAGE GENERAL (CONTINUED)

E. On-Site Open Space. See Section 4.4 (On-Site Open Space Types) for additional standards.

- One (1) or more of the On-Site Open Space Types listed below shall be provided on each lot. The required On-Site Open Space shall be generally rectangular in form with the below-listed minimum size requirements and must be accommodated behind the Primary Street setback line. See Section 4.4 (On-Site Open Space Types) for additional standards.

Open Space Type	Minimum Area	Minimum Dimensions
(a) Side Garden	15% of total lot area	20 ft. x 20 ft.
(b) Courtyard	15% of total lot area	20 ft. x 20 ft.
(c) Back Yard	15% of total lot area	20 ft. x 20 ft.
(d) Roof Deck	15% of total lot area	20 ft. x 20 ft.

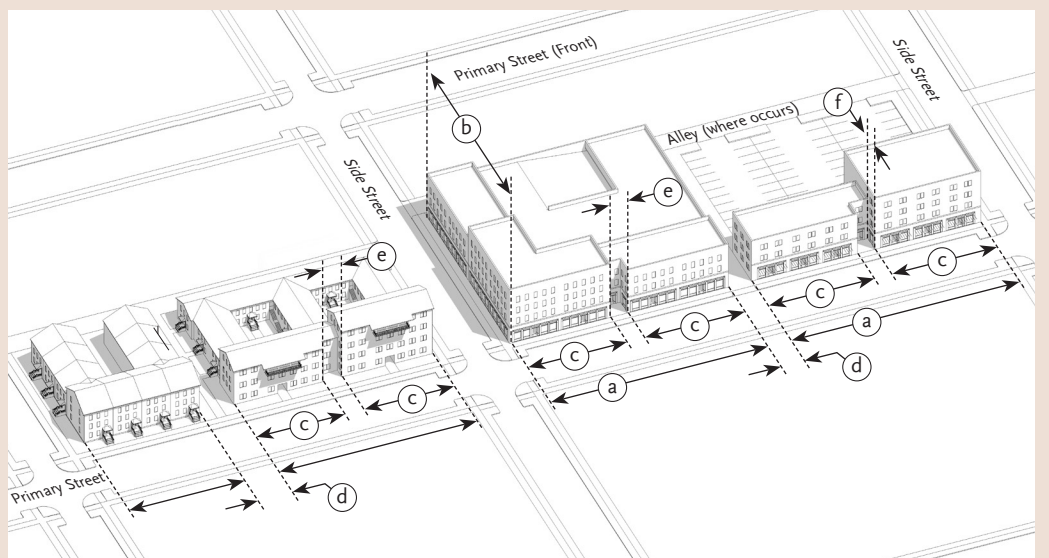
- Private open space in the form of a yard, balcony, or roof deck shall be provided for each residential unit. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.



F. Building Size and Separation. See Section 4.5 (Building Articulation and Massing) for additional standards.

- Buildings shall be designed per the following building length and facade increment standards. Facade increments shall be designed according to the massing and articulation strategies described in Section 4.5 (Building Articulation and Massing):

(a) Building length along Primary Street (max.)	150 ft.
(b) Building length along Side Street (max.)	100 ft.
(c) Building separation along Primary Street (min.)	15 ft.
(d) Length between facade breaks (max.)	65 ft.
(e) Facade break length (min.)	15 ft.
(f) Facade break depth (min.)	15 ft.



G. Frontage Elements, Allowed Encroachments, and Access. See Section 4.6 (Frontage Standards) for additional standards.

- Required Frontage Elements.** All Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. Required Frontage Elements may encroach into the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Arcade, Gallery	To R.O.W. line
b. Shopfront	n/a
c. Stoop	5 ft.
d. Door Yard	To R.O.W. line

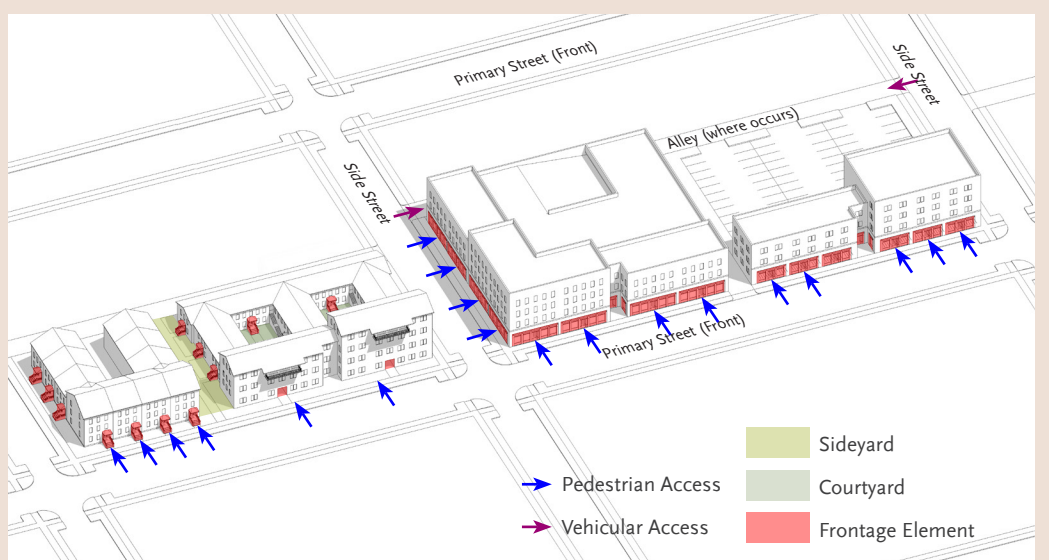
- Optional Frontage Elements.** The following Frontage Elements may be provided on all Street- and Courtyard-facing facades. Optional Frontage Elements may encroach into in the Primary Street and Side Street setbacks and right-of-way as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Balcony*	3 ft. into R.O.W. or setback
b. Bay Window	3 ft. into R.O.W. or setback
c. Cantilevered Room*	2 ft. into setback
d. Awning, Canopy	Within 2 ft. of curb

* Architectural Element only permitted on upper floors

- Pedestrian Access.**

- All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate Frontage Element, Lobby, or On-site Open Space, such as a Court or Side Garden.
- Upper floor uses may be accessed through an Exterior Stair, Interior Stair, or Lobby.



- Vehicular Access.**

- Parking shall be accessed from an alley.
- Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible.
- Parking/service areas for corner lots shall be accessed from side street.

H. Signage. See Section 4.9 (Sign Standards) for additional standards.

- Allowed Signage Types.** A maximum of two of the below sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Signage Type	Encroachment	Signage Type	Encroachment
a. Awning, Canopy	Within 2 ft. of curb	e. Window Sign	0 ft.
b. Projecting	3 ft.	f. Blade	3 ft.
c. Wall	Sign Thickness	g. Directory	Sign Thickness
d. Bldg. ID Sign	Sign Thickness		

4. DEVELOPMENT CODE

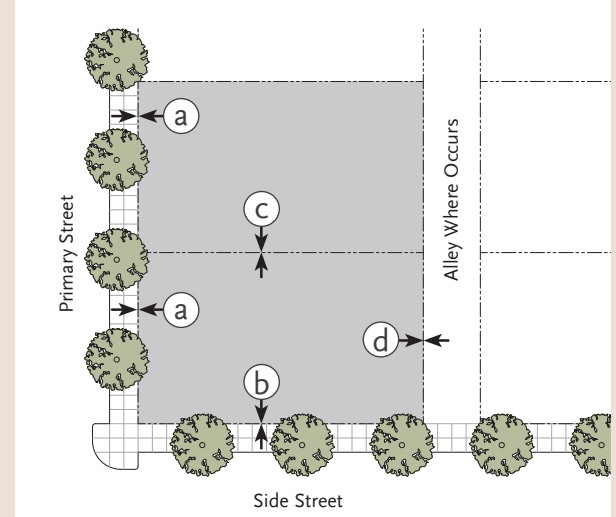
4.3. DEVELOPMENT STANDARDS (CONTINUED)

4.3.4. VILLAGE CORRIDOR

A. Building Setbacks as measured from property lines

1. Buildings shall be located on the site as indicated below and shown at right and shall be located no closer than 12 feet from the face of curb. Setbacks shall apply to all floors (for example, if the ground floor is set back 5 ft. from the Primary Property Line, upper floors shall be set back a minimum of 5 ft. from the Primary Property Line).

(a) Primary Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential and Upper Floors		n/a
(b) Side Street Setback		
i. Ground Floor Non-Residential		0 ft. min. / 5 ft. max
ii. Ground Floor Residential and Upper Floors		n/a
(c) Side Yard Setback		
i. Non-Residential		5 ft.
ii. Residential		n/a
(d) Rear Setback		
i. With Alley		10 ft. min.
ii. Without Alley		15 ft. min.

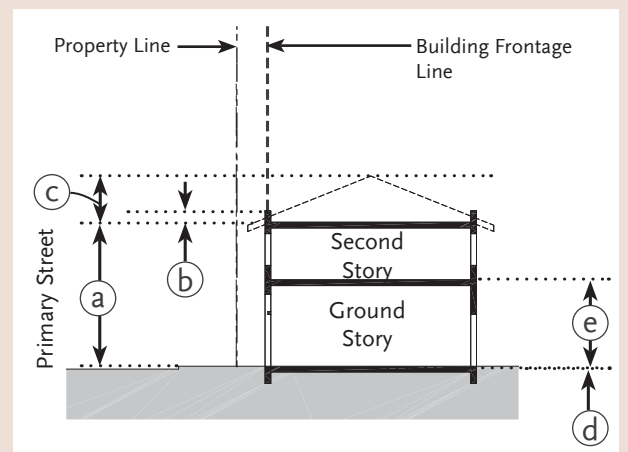


B. Building Height

1. Building heights shall comply with the below standards and as shown at right.

(a) Top of plate height above adjacent sidewalk (max.)		2 stories / 30 ft.
(b) Top of parapet height above top of plate (max.)		4 ft.
(c) Pitched roof height above top of plate (max.)		allowed
(d) Ground floor above grade at building setback line (max.)		
i. Non-residential		0 ft. ¹
ii. Residential		n/a
(e) Ground story floor to floor height (min.)		
i. Non-residential		15 ft. min.
ii. Residential		n/a

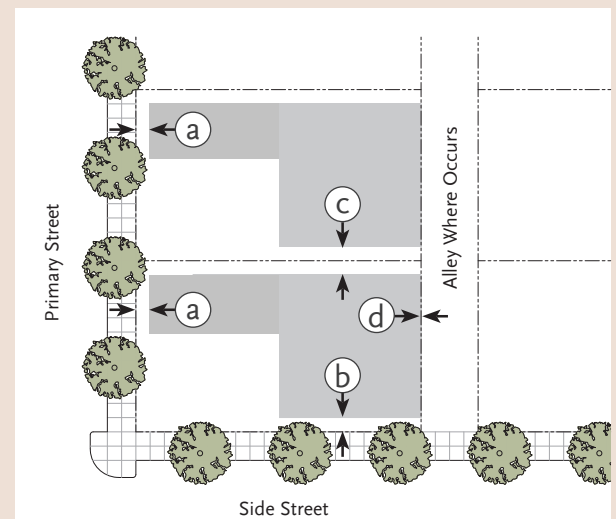
¹ The intent of non-residential ground floor height above grade is to enable direct access from the adjacent sidewalk into ground floor commercial spaces. Ground floor height may be higher than zero (0) ft. in response to existing sloping grades, subject to Director of Development Services approval.



C. Parking Placement

1. On-site parking shall be located as indicated below and shown at right. See Section 4.12 (Parking Design Standards) for additional standards.

(a) Primary Street Setback		
i. Surface		5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners.
ii. Podium		50% of lot depth
iii. Subterranean		10 ft. min.
(b) Side Street Setback		
i. Surface		5 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		5 ft.
(c) Side Yard Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		5 ft. min.
(d) Rear Setback		
i. Surface		5 ft. min.
ii. Podium		20 ft. min.
iii. Subterranean		5 ft. min.



D. Parking Requirements

1. Off-street parking spaces shall be provided for each land per the below standards. See Section 4.12 for additional parking requirements.

a. Residential		d. Commercial (Retail/Office)	
i. Units up to 999 sf	1.0 space/unit	i. Ground floor commercial	1/300 sf gross ground floor building area
ii. Units between 1,000 – 1,499 sf	1.5 spaces/unit	ii. Upper Floor commercial	1/350 sf gross upper floor building area
iii. Units 1,500 sf and greater	2.0 spaces/unit	e. Restaurant, Cafes, or similar	
iv. Guest	0.25/unit	i. Up to 24.99% gross building area	1/300 sf restaurant area
b. Lodging:	0.75 space/room	ii. 25% of gross building area or greater	1/300 sf restaurant for first 24.99%; per RMC Section 18.164.240
c. Live/Work		f. Civic	
i. Units up to 1,499 sf	1.0 space/unit	1/350 sf gross building area	
ii. Units 1,500 sf and greater	See Commercial	g. Mixed-Use: See Section 4.12.C.4 (Spaces for Multiple Uses and Mixed-use Developments).	

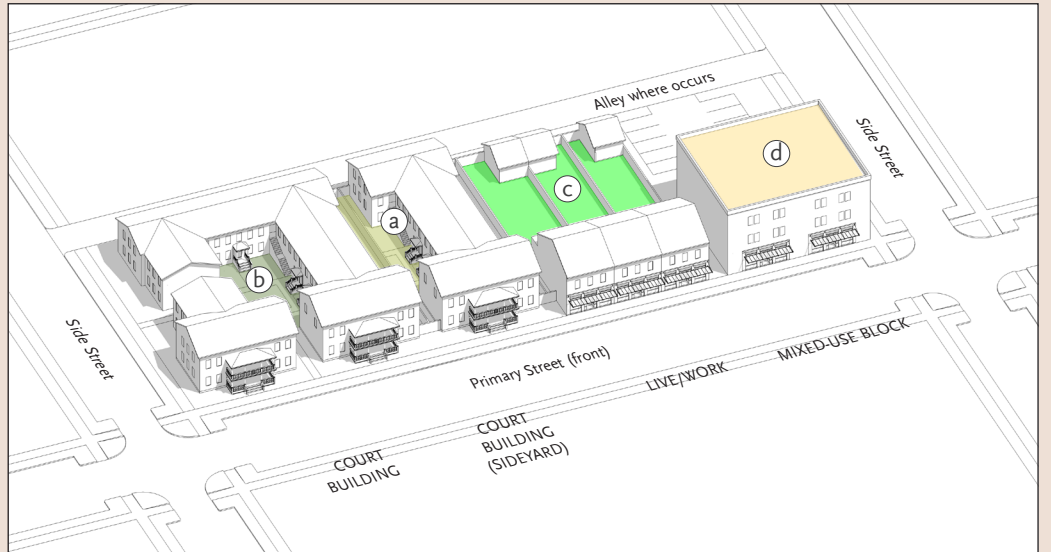
4.3.4. VILLAGE CORRIDOR (CONTINUED)

E. On-Site Open Space. See Section 4.4 (On-Site Open Space Types) for additional standards.

- One (1) or more of the On-Site Open Space Types listed below shall be provided on each lot. The required On-Site Open Space shall be generally rectangular in form with the below-listed minimum size requirements and must be accommodated behind the Primary Street setback line. See Section 4.4 (On-Site Open Space Types) for additional standards.

Open Space Type	Minimum Area	Minimum Dimensions
(a) Side Garden	10% of total lot area	20 ft. x 20 ft.
(b) Courtyard	10% of total lot area	20 ft. x 20 ft.
(c) Back Yard	10% of total lot area	20 ft. x 20 ft.
(d) Roof Deck	10% of total lot area	20 ft. x 20 ft.

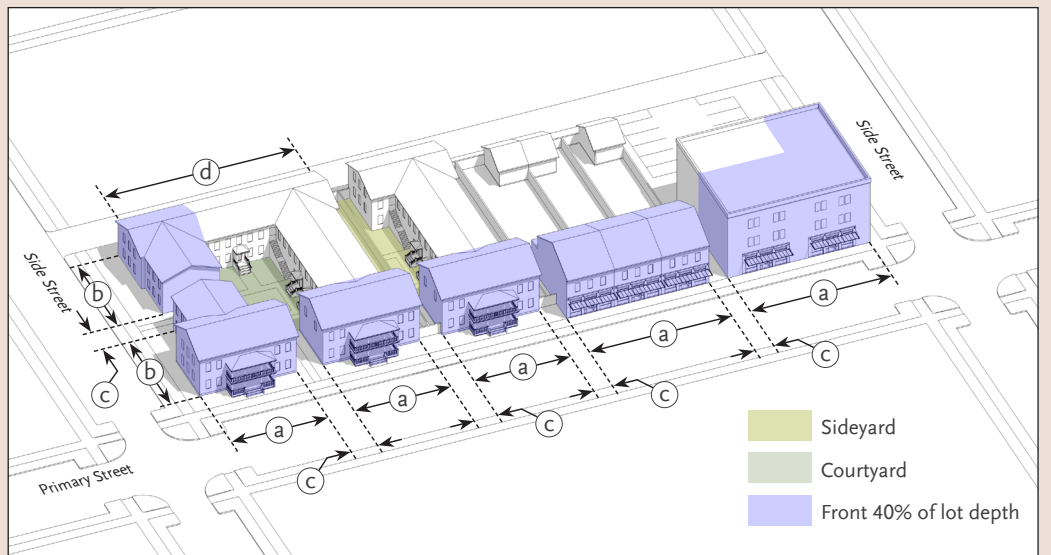
- Residential projects without a Back Yard shall provide for each residential unit a private open space in the form of a Balcony, Door Yard, or Yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.



F. Building Size and Separation. See Section 4.5 (Building Articulation and Massing) for additional standards.

- Buildings shall be designed according to the following building length and building separation standards:

(a) Building length along Primary Street on front 40% of lot depth (max.)	75 ft.
(b) Building length along Side Street for 40% of lot width (max.)	75 ft.
(c) Building separation along front 40% of lot (min.). Building separation must extend entire lot depth or width or lead to Courtyard.	15 ft.
(d) Building length along rear property line.	150 ft.



G. Frontage Elements, Allowed Encroachments, and Access. See Section 4.6 (Frontage Standards) for additional standards.

- Required Frontage Elements.** All Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. Required Frontage Elements may encroach into the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Arcade, Gallery	To R.O.W. line
b. Shopfront	0 ft.
c. Stoop	5 ft.
d. Door Yard	To R.O.W. line
e. Porch	5 ft.
f. Front Yard	0 ft.

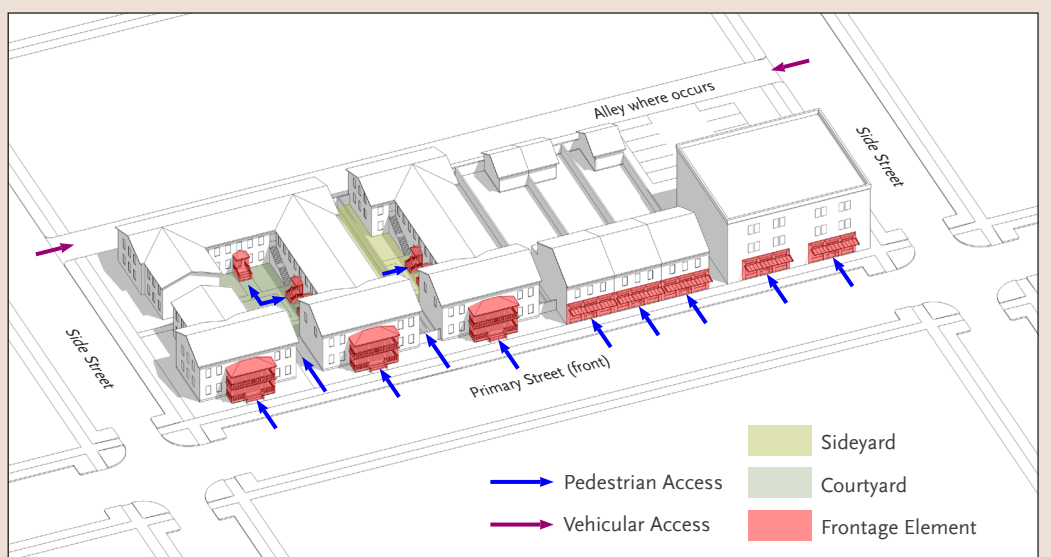
- Optional Frontage Elements.** The following Frontage Elements may be provided on all Street- and Courtyard-facing facades. Optional Frontage Elements may encroach into in the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Balcony*	3 ft.
b. Bay Window	3 ft.
c. Cantilevered Room*	2 ft.
d. Awning, Canopy	Within 2 ft. of curb

* Architectural Element only permitted on upper floors

3. Pedestrian Access.

- All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate Frontage Element, Lobby, or On-site Open Space, such as a Court or Side Garden.
- Upper floor uses may be accessed through an Exterior Stair, Interior Stair, or Lobby.



4. Vehicular Access.

- Parking shall be accessed from an alley.
- Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible.
- Parking/service areas for corner lots shall be accessed from side street.

H. Signage. See Section 4.9 (Sign Standards) for additional standards.

- Allowed Signage Types.** A maximum of two of the below sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Signage Type	Encroachment	Signage Type	Encroachment
a. Porch Sign	0 ft.	d. Projecting	3 ft.
b. Yard Sign	0 ft.	e. Wall	sign thickness
c. Awning, Canopy	Within 2 ft. of curb	f. Blade	3 ft.
d. Window Sign	0 ft.	g. Directory	Sign Thickness

4. DEVELOPMENT CODE

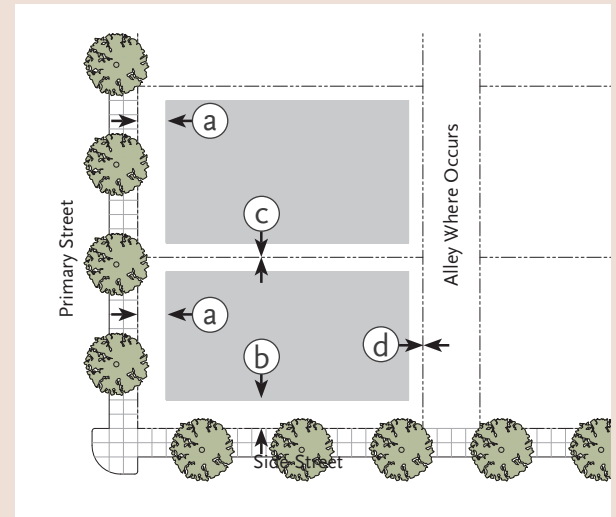
4.3. DEVELOPMENT STANDARDS (CONTINUED)

4.3.5. NEIGHBORHOOD GENERAL 1

A. Building Setbacks as measured from property lines

1. Buildings shall be located on the site as indicated below and shown at right. Setbacks shall apply to all floors (for example, if the ground floor is set back 5 ft. from the Primary Property Line, upper floors shall be set back a minimum of 5 ft. from the Primary Property Line).

(a) Primary Street Setback		
i. Ground Floor Non-Residential		10 ft. / 25 ft. max.
ii. Ground Floor Residential		10 ft. / 25 ft. max.
(b) Side Street Setback		
i. Ground Floor Non-Residential		5 ft. min.
ii. Ground Floor Residential and Upper Floors		10 ft. min.
(c) Side Yard Setback		
i. Non-Residential (front 40% of lot/rear 60% of lot)		7.5 ft. min. / 5 ft. min.
ii. Residential (front 40% of lot/rear 60% of lot)		7.5 ft. min. / 5 ft. min.
(d) Rear Setback		
i. With Alley		10 ft. min.
ii. Without Alley		15 ft. min.

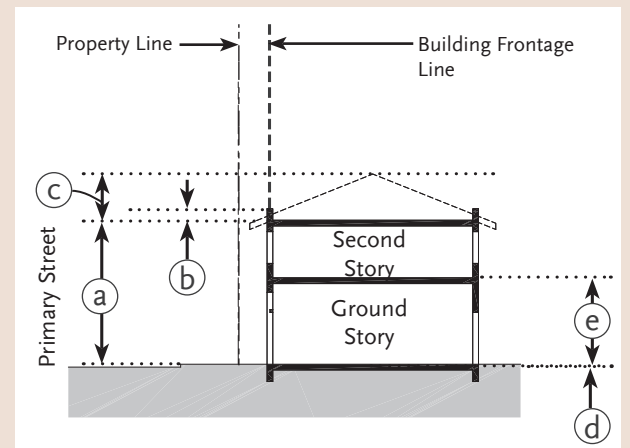


B. Building Height

1. Building heights shall comply with the below standards and as shown at right.

(a) Top of plate height above adjacent sidewalk (max.)		2 stories / 30 ft.
(b) Top of parapet height above top of plate (max.)		4 ft.
(c) Pitched roof height above top of plate (max.)		allowed
(d) Ground floor above grade at building setback line (max.)		
i. Non-residential		0 ft. ¹
ii. Residential		3.5 ft. max.
(e) Ground story floor to floor height (min.)		
i. Non-residential		12 ft. min.
ii. Residential		10 ft. min.

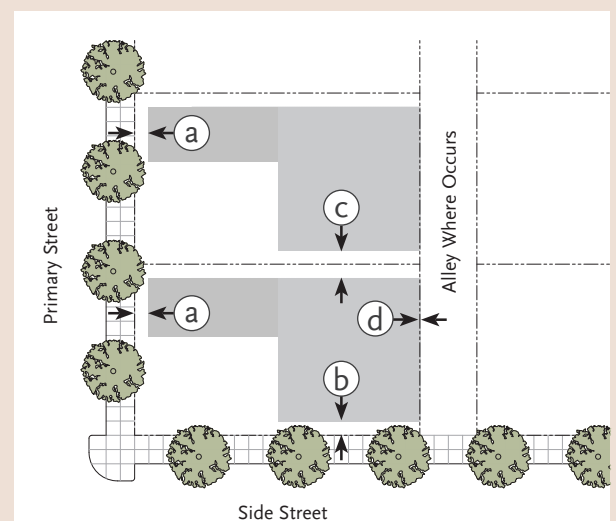
¹ The intent of non-residential ground floor height above grade is to enable direct access from the adjacent sidewalk into ground floor commercial spaces. Ground floor height may be higher than zero (0) ft. in response to existing sloping grades, subject to Director of Development Services approval.



C. Parking Placement

1. On-site parking shall be located as indicated below and shown at right. See Section 4.12 (Parking Design Standards) for additional standards.

(a) Primary Street Setback		
i. Surface		5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners.
ii. Podium		50% of lot depth
iii. Subterranean		10 ft. min.
(b) Side Street Setback		
i. Surface		5 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		5 ft. min.
(c) Side Yard Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		5 ft. min.
(d) Rear Setback		
i. Surface		5 ft. min.
ii. Podium		20 ft. min.
iii. Subterranean		5 ft. min.



D. Parking Requirements

1. Off-street parking spaces shall be provided for each land per the below standards. See Section 4.12 for additional parking requirements.

a. Residential		d. Commercial (Retail/Office)	
i. Units up to 999 sf	1.0 space/unit	i. Ground floor commercial	1/300 sf gross ground floor building area
ii. Units between 1,000 – 1,499 sf	1.5 spaces/unit	ii. Upper Floor commercial	1/350 sf gross upper floor building area
iii. Units 1,500 sf and greater	2.0 spaces/unit	e. Restaurant, Cafes, or similar	
iv. Guest	0.25/unit	i. Up to 24.99% gross building area	1/300 sf restaurant area
b. Lodging:		ii. 25% of gross building area or greater	1/300 sf restaurant for first 24.99%; per RMC Section 18.164.240
0.75 space/room		f. Civic	
c. Live/Work		1/350 sf gross building area	
i. Units up to 1,499 sf	1.0 space/unit	g. Mixed-Use: See Section 4.12.C.4 (Spaces for Multiple Uses and Mixed-use Developments).	
ii. Units 1,500 sf and greater	See Commercial		

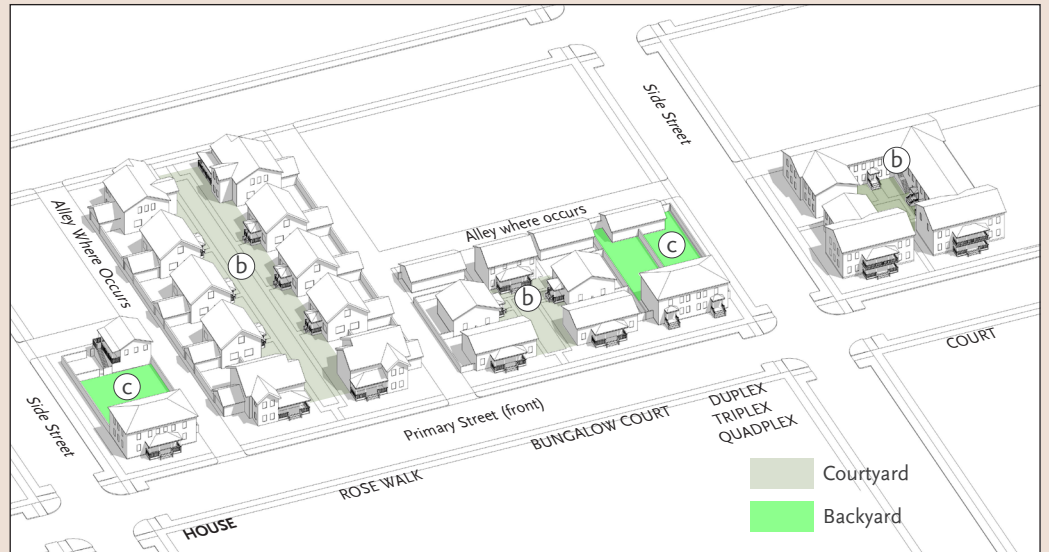
4.3.5. NEIGHBORHOOD GENERAL 1 (CONTINUED)

E. On-Site Open Space. See Section 4.4 (On-Site Open Space Types) for additional standards.

- One (1) or more of the On-Site Open Space Types listed below shall be provided on each lot. The required On-Site Open Space shall be generally rectangular in form with the below-listed minimum size requirements and must be accommodated behind the Primary Street setback line.

Open Space Type	Minimum Area	Minimum Dimensions
(a) Side Garden	15% of total lot area	20 ft. x 20 ft.
(b) Courtyard	15% of total lot area	20 ft. x 20 ft.
(c) Back Yard	15% of total lot area	20 ft. x 20 ft.

- Residential projects without a Back Yard shall provide for each residential unit a private open space in the form of a Balcony, Door Yard, or Yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.



F. Building Size and Separation. See Section 4.5 (Building Articulation and Massing) for additional standards.

- Buildings shall be designed according to the following building length and building separation standards:

(a) Building length along Primary Street on front 40% of lot depth (max.)	60 ft.
(b) Building length along Side Street for 40% of lot width (max.)	75 ft.
(c) Building separation along front 40% of lot (min.). Building separation must extend entire lot depth or width or lead to Courtyard.	15 ft.
(d) Building length along rear property line.	150 ft.



G. Frontage Elements, Allowed Encroachments, and Access. See Section 4.6 (Frontage Standards) for additional standards.

- Required Frontage Elements.** All Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. Required Frontage Elements may encroach into the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Shopfront	n/a
b. Stoop	5 ft.
c. Door Yard	To R.O.W. line
d. Porch	5 ft.
e. Front Yard	n/a

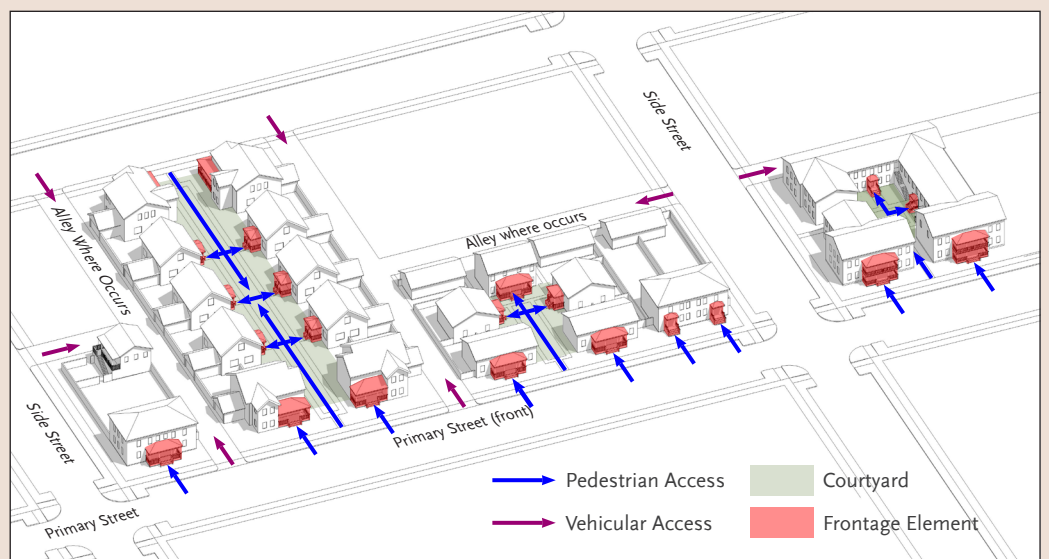
- Optional Frontage Elements.** The following Frontage Elements may be provided on all Street- and Courtyard-facing facades. Optional Frontage Elements may encroach into in the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Balcony*	3 ft.
b. Bay Window	3 ft.
c. Cantilevered Room*	2 ft.
d. Awning, Canopy	To R.O.W. line

* Architectural Element only permitted on upper floors

- Pedestrian Access.**

- All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate Frontage Element, Lobby, or On-site Open Space, such as a Court or Side Garden.
- Upper floor uses may be accessed through an Exterior Stair, Interior Stair, or Lobby.



- Vehicular Access.**

- Parking shall be accessed from an alley.
- Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible.
- Parking/service areas for corner lots shall be accessed from side street.

H. Signage. See Section 4.9 (Sign Standards) for additional standards.

- Allowed Signage Types.** A maximum of two of the below sign types are allowed per business. Signs may encroach into Primary Street and Side Street setbacks as identified below.

Signage Type	Encroachment
a. Porch Sign	5 ft. in conjunction with Porch or Stoop frontage element
b. Yard Sign	within 3 ft. of R.O.W. line
a. Awning	To R.O.W. line in conjunction with Awning frontage element

4. DEVELOPMENT CODE

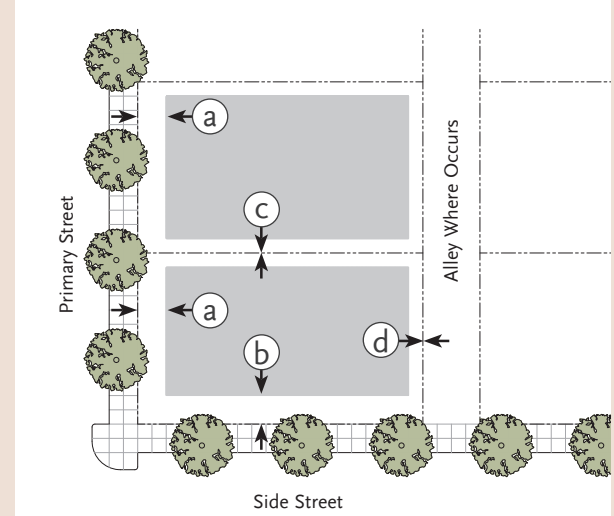
4.3. DEVELOPMENT STANDARDS (CONTINUED)

4.3.6. NEIGHBORHOOD GENERAL 2

A. Building Setbacks as measured from property lines

1. Buildings shall be located on the site as indicated below and shown at right. Setbacks shall apply to all floors (for example, if the ground floor is set back 5 ft. from the Primary Property Line, upper floors shall be set back a minimum of 5 ft. from the Primary Property Line).

(a) Primary Street Setback		
i. Ground Floor Non-Residential		10 ft. / 25 ft. max.
ii. Ground Floor Residential		10 ft. / 25 ft. max.
(b) Side Street Setback		
i. Ground Floor Non-Residential		5 ft. min.
ii. Ground Floor Residential and Upper Floors		10 ft. min.
(c) Side Yard Setback		
i. Non-Residential (front 40% of lot/rear 60% of lot)		7.5 ft. min. / 5 ft. min.
ii. Residential (front 40% of lot/rear 60% of lot)		7.5 ft. min. / 5 ft. min.
(d) Rear Setback		
i. With Alley		15 ft. min.
ii. Without Alley		20 ft. min.

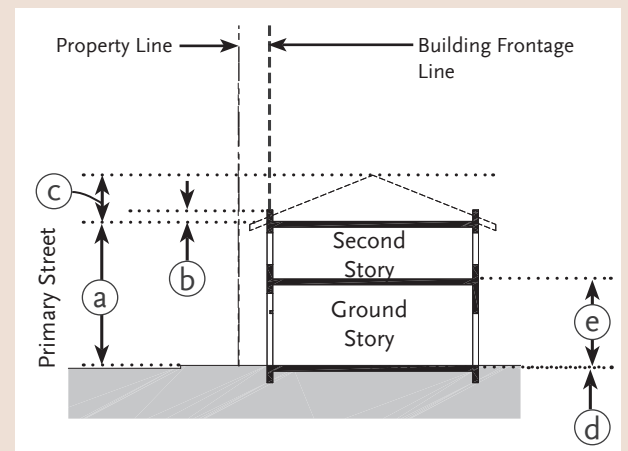


B. Building Height

1. Building heights shall comply with the below standards and as shown at right.

(a) Top of plate height above adjacent sidewalk (max.)		2 stories / 30 ft.
(b) Top of parapet height above top of plate (max.)		4 ft.
(c) Pitched roof height above top of plate (max.)		allowed
(d) Ground floor above grade at building setback line (max.)		
i. Non-residential		0 ft. ¹
ii. Residential		3.5 ft. max.
(e) Ground story floor to floor height (min.)		
i. Non-residential		12 ft. min.
ii. Residential		10 ft. min.

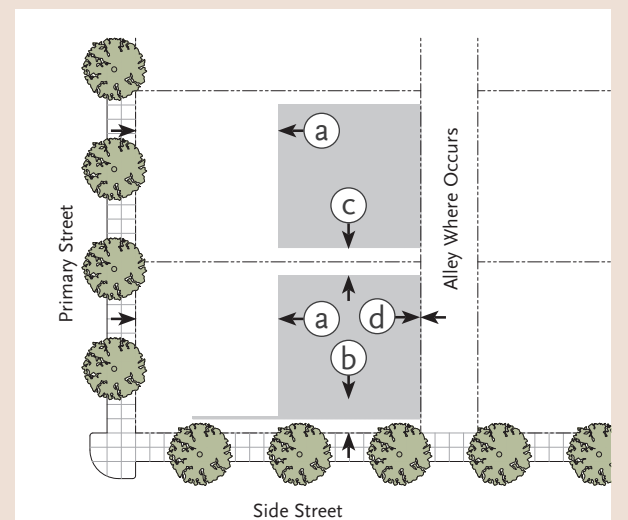
¹ The intent of non-residential ground floor height above grade is to enable direct access from the adjacent sidewalk into ground floor commercial spaces. Ground floor height may be higher than zero (0) ft. in response to existing sloping grades, subject to Director of Development Services approval.



C. Parking Placement

1. On-site parking shall be located as indicated below and shown at right. See Section 4.12 (Parking Design Standards) for additional standards.

(a) Primary Street Setback		
i. Surface		50% of lot depth
ii. Podium		50% of lot depth
iii. Subterranean		10 ft. min.
(b) Side Street Setback		
i. Surface		5 ft. min.
ii. Podium		25 ft. min.
iii. Subterranean		5 ft. min.
(c) Side Yard Setback		
i. Surface		5 ft. min.
ii. Podium		15 ft. min.
iii. Subterranean		5 ft. min.
(d) Rear Setback		
i. Surface		5 ft. min.
ii. Podium		20 ft. min.
iii. Subterranean		5 ft. min.



D. Parking Requirements

1. Off-street parking spaces shall be provided for each land per the below standards. See Section 4.12 for additional parking requirements.

a. Residential		d. Commercial (Retail/Office)	
i. Units up to 999 sf	1.0 space/unit	i. Ground floor commercial	1/300 sf gross ground floor building area
ii. Units between 1,000 – 1,499 sf	1.5 spaces/unit	ii. Upper Floor commercial	1/350 sf gross upper floor building area
iii. Units 1,500 sf and greater	2.0 spaces/unit	e. Restaurant, Cafes, or similar	
iv. Guest	0.25/unit	i. Up to 24.99% gross building area	1/300 sf restaurant area
b. Lodging:	0.75 space/room	ii. 25% of gross building area or greater	1/300 sf restaurant for first 24.99%; per RMC Section 18.164.240
c. Live/Work		f. Civic	
i. Units up to 1,499 sf	1.0 space/unit	1/350 sf gross building area	
ii. Units 1,500 sf and greater	See Commercial	g. Mixed-Use: See Section 4.12.C.4 (Spaces for Multiple Uses and Mixed-use Developments).	

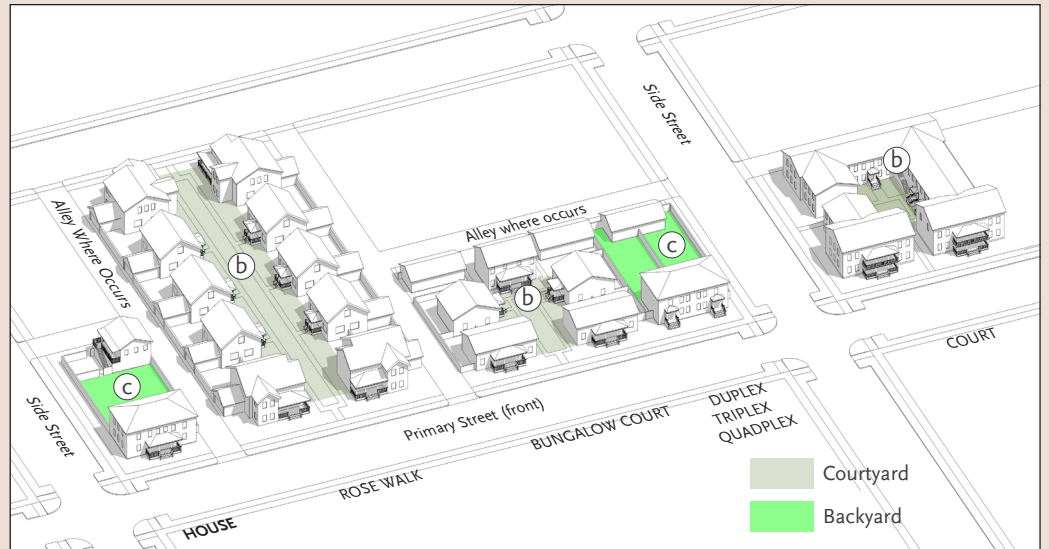
4.3.6. NEIGHBORHOOD GENERAL 2 (CONTINUED)

E. On-Site Open Space. See Section 4.4 (On-Site Open Space Types) for additional standards.

- One (1) or more of the On-Site Open Space Types listed below shall be provided on each lot. The required On-Site Open Space shall be generally rectangular in form with the below-listed minimum size requirements and must be accommodated behind the Primary Street setback line.

Open Space Type	Minimum Area	Minimum Dimensions
① Side Garden	15% of total lot area	20 ft. x 20 ft.
② Courtyard	15% of total lot area	20 ft. x 20 ft.
③ Back Yard	15% of total lot area	20 ft. x 20 ft.

- Residential projects without a Back Yard shall provide for each residential unit a private open space in the form of a Balcony, Door Yard, or Yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.



F. Building Size and Separation. See Section 4.5 (Building Articulation and Massing) for additional standards.

- Buildings shall be designed according to the following building length and building separation standards:

Ⓐ Building length along Primary Street on front 40% of lot depth (max.)	60 ft.
Ⓑ Building length along Side Street for 40% of lot width (max.)	75 ft.
Ⓒ Building separation along front 40% of lot (min.). Building separation must extend entire lot depth or width or lead to Courtyard.	15 ft.
Ⓓ Building length along rear property line.	150 ft.



G. Frontage Elements, Allowed Encroachments, and Access. See Section 4.6 (Frontage Standards) for additional standards.

- Required Frontage Elements.** All Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. Required Frontage Elements may encroach into the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Shopfront	n/a
b. Stoop	5 ft.
c. Door Yard	To R.O.W. line
d. Porch	5 ft.
e. Front Yard	n/a

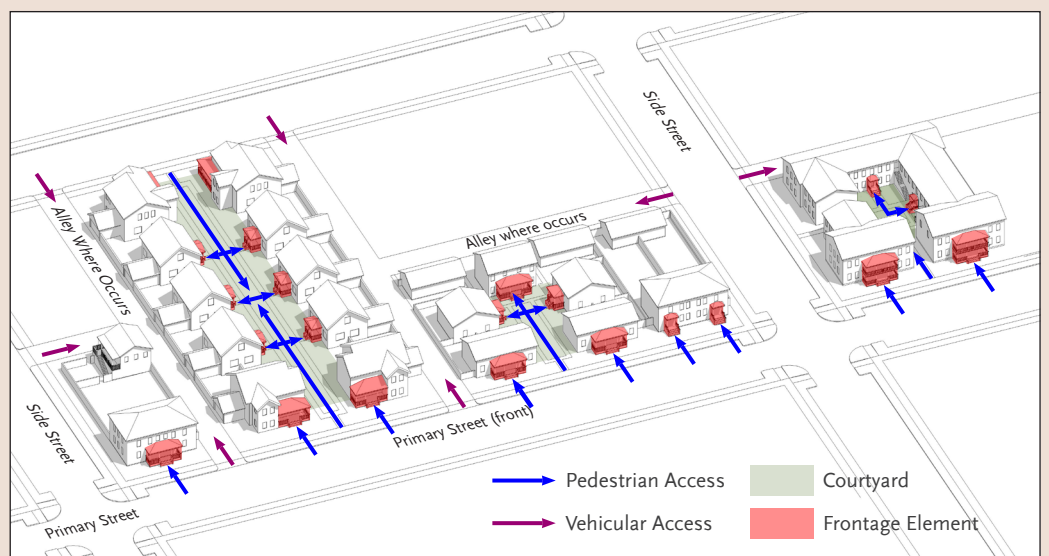
- Optional Frontage Elements.** The following Frontage Elements may be provided on all Street- and Courtyard-facing facades. Optional Frontage Elements may encroach into in the Primary Street and Side Street setbacks as measured from the building facade as identified below.

Frontage Element	Encroachment
a. Balcony*	3 ft.
b. Bay Window	3 ft.
c. Cantilevered Room*	2 ft.
d. Awning, Canopy	To R.O.W. line

* Architectural Element only permitted on upper floors

- Pedestrian Access.**

- All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate Frontage Element, Lobby, or On-site Open Space, such as a Court or Side Garden.
- Upper floor uses may be accessed through an Exterior Stair, Interior Stair, or Lobby.



- Vehicular Access.**

- Parking shall be accessed from an alley.
- Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible.
- Parking/service areas for corner lots shall be accessed from side street.

H. Signage. See Section 4.9 (Sign Standards) for additional standards.

- Allowed Signage Types.** A maximum of two of the below sign types are allowed per business. Signs may encroach into Primary Street and Side Street setbacks as identified below.

Signage Type	Encroachment
a. Porch Sign	5 ft. in conjunction with Porch or Stoop frontage element
b. Yard Sign	within 3 ft. of R.O.W. line