

REQUEST FOR HISTORIC AND SCENIC PRESERVATION COMMISSION ACTION

JAMES CARRITTE, APPLICANT

(PROJECT PLANNER: SEAN REILLY)

PUBLIC HEARING to consider **Certificate of Appropriateness No. 651** – A request to remove an existing 1,484 square-foot open lattice patio cover and construct a new 1,614 square-foot solid patio cover in its place for a single-family residence located at 1165 West Highland Avenue (APN: 0175-091-05-0000) in the West Highland Avenue Historic and Scenic District. This project qualifies for exemption from environmental review per Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines.

HISTORIC AND SCENIC PRESERVATION MEETING: JUNE 2, 2022

Planner: Sean Reilly, Senior Planner

PROCEDURE FOR PUBLIC HEARING

1. Chairperson declares the meeting open as a public hearing.
2. Chairperson calls upon staff for report.
3. Chairperson calls for questions/comments from members of the Commission.
4. Chairperson calls upon applicant, or its representative, for comments/testimony.
5. Chairperson calls for comments/questions/testimony from members of the public (3 minutes per speaker).
6. Chairperson calls upon the applicant, or representative, for rebuttal comments (5 minutes).
7. Chairperson closes the public hearing.
8. Commission considers the motion(s) and votes.

SYNOPSIS

1. Historic Designation: The house is a contributing structure located within the West Highland Avenue Historic and Scenic District.
2. Existing Land Use: Zoning: Suburban Residential (R-S)
General Plan: Low Density Residential
3. Historic and Scenic Preservation Commission submittal dates:
 - (A) Submittal Dates: March 24, 2022
 - (B) Date Accepted as Complete: April 4, 2022
 - (C) Historic and Scenic Preservation Commission Meeting: June 2, 2022

4. Attachments:

- (A) Location Map and Aerial Photographs
- (B) Site Photographs
- (C) Project Plans
- (D) Resolution No. 2022 - 12 with Exhibit A (Conditions of Approval)

PROPOSAL

The applicant is proposing to remove an existing lattice patio cover and replace it with a solid, tile roofed patio cover on the west and south sides (rear) of the home located at 1165 W. Highland Avenue. The applicant is proposing to remove all but a 28-foot portion of the lattice cover that is currently attached to the west side of the home. The new cover will meet the existing lattice portion on the west side and continue around the south side of the house. The proposed cover will be constructed with a solid tiled roof intended to closely match the original roof material on the house as well as the patio cover at the front of the house. The new patio cover will utilize 18" x 18" columns with stucco plaster for support. The columns will be placed 8 feet from the exterior wall of the home, with a roof overhang of 3 feet, giving the patio cover a total depth of 11 feet. In total, the new patio cover will provide 1,614 square-feet of covered space.

Following construction of the patio cover, a new concrete patio will be poured, and new non-original double French door will be removed and replaced by a window on the rear elevation of the home (the door is not original to the home and was installed following the approval of Certificate of Appropriateness No. 474 in 2013). The door will be replaced with a new wood-frame window to match the other windows and doors along the rear portion of the home.

BACKGROUND

The inventory sheets for this property describe the main building as having a Mediterranean style of architecture with Prairie characteristics. It is a two-story residence with a double hipped, tile roof and wide eave overhangs. Chimneys are plastered as are the exterior walls. An outstanding feature of the home is a long, open veranda extending the full front width of the house with large, plastered pillars. The porch extends to a porte-cochere at the east side. Many of the main home's windows are grouped in threes with a stationary center pane and smaller sash type windows on either side. Located at the rear is a pueblo house and detached garage. The residence was originally constructed in 1913 by Taylor Brothers for John Fisher who was a pioneer within the innovative technology business. His son, Henry Fisher, bought the mule powered Redlands Street Railway and electrified it while John Fisher managed the system. This business became the San Bernardino Valley Traction Company and was later bought by Henry Huntington for the inclusion in his Pacific Electric streetcar

system. In 1926 the house was bought by "Capt." Theodore Krumm who served on the Redlands City Council for fourteen years, from 1928 until 1942. During the time that he owned the property his wife enhanced the gardens by constructing a fish and duck pond which has since been removed.

There are no permits on file for the construction of the lattice cover and historic aerial photos do not clearly show when it may have been constructed. Aerial photos dating to 2004 clearly show the lattice cover; however, due to the open nature of the cover, it is not distinguishable in earlier photos of lesser quality. Based on discussions with the applicant's representative and the style of the cover, it is believed to have been constructed in the late 1970s or early 1980s, around the same time as the pool and spa located on the property.

ANALYSIS

Site Design and Architecture:

The existing building is a two-story, short U-shaped structure with wings facing the rear yard creating a small court area. The primary elevation (facing north) incorporates an open front patio area which spans the entire width of the home. The patio is covered by a low-pitched, tile roof supported by stucco plastered columns with decorative knee bracing and decorative florets on the beams.

The proposed project will construct a similar patio cover on the rear elevation (facing south) to replace the existing lattice patio cover. It will use matching materials such as stucco on the columns and red clay roof tiles. It will be differentiated from the existing materials on the house by including slightly modified features which will allow it to be differentiated from the original building construction. The new patio cover will not utilize the decorative knee bracing on the stucco columns or architectural florets as used on the front of the home. Additionally, the exposed rafter tails used on the roof of the existing portions of the home will not be included in the patio cover. The proposed patio cover will not be readily visible from the front of the home.

The home is located within the R-S, Suburban Residential District. With the proposed patio addition, the property continues to comply with all development standards for the R-S zone as shown in the table below.

Development Standard	Requirement	Proposed	Complies (Yes/No)
Front Yard Setback	25'	No Change	Yes
Side Yard Setback (West)	5'	110'	Yes
Side Yard Setback (East)	10'	No Change	Yes
Rear Yard Setback	25'	52'	Yes

Lot Coverage	Less than 30%	11%	Yes
Building Separation	10'	23'	Yes

Secretary of Interior Standards:

The existing house is a contributing structure within the Historic District. The Secretary of Interior standards relating to new additions suggest that the addition should be compatible in terms of mass, materials, solids to voids, color, and that additions should not result in the loss of the historic character of the resource or damage character-defining features of the historic building. Furthermore, the goal of the Secretary of the Interior Standards is to maintain the general appearance of the historic structure.

The proposal involves constructing a solid patio cover on the rear of the home with a tiled roof and stucco columns (similar to what presently exists on the front side of the home). The new patio cover will not be easily visible from the public right-of-way due to existing vegetation and its location on the rear elevation of the home. The architectural style and materials proposed for the addition will incorporate the character-defining features of the existing home such as maintaining the existing roof pitches, red tile roof, and smooth stucco finish.

The project is a patio cover addition/alteration, which will continue the home's original use. It will preserve the portions and features of the home that convey its historical value; therefore, it is considered a rehabilitation project as defined in the Secretary of the Interior Standards. An analysis of the project's consistency with the rehabilitation guidelines is included below.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The property was originally developed for residential use in 1913 and this has been the property's primary use since that time. The project does not propose any change to the existing residential use and it will allow the owner to continue to use and enjoy the home for the foreseeable future. The addition of the solid patio cover does not remove or alter any character-defining features, and is located at the rear of the house where it will have little or no visibility from the public street at the front of the property.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the property will remain unchanged, historic

materials will remain unchanged, and the view of the home from the street will remain unchanged. The project does not include any additional interior building square-footage or change the footprint of the home. Therefore, changes to the setbacks, yards, and spatial relationships to other features of the property will be avoided.

- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The project proposes to construct a new solid patio cover with similar features to the rest of the house. While the project intends to closely match the design of the existing home, the patio cover will be constructed with slightly modified features which will allow it to be differentiated from the original building construction. This will prevent the creation of a false sense of historical development. The new patio cover will not utilize the decorative knee bracing on the stucco columns or architectural florets as used on the front of the home. Additionally, the exposed rafter tails used on the roof of the existing portions of the home will not be included in the patio cover. No architectural features or elements from other buildings are included.

- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The project is a patio cover addition, and it will not remove any features that have acquired historic significance. The project will remove an existing lattice patio cover believed to have been constructed in the late 1970s or early 1980s at approximately the time frame that the pool in the rear yard had been installed. The existing patio cover feature is not believed to have any historic significance.

- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

As stated above, the project does not remove any distinctive features. The proposed patio cover will not require the demolitions of walls, expansion of the existing building footprint or changes to any original features.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features*

shall be substantiated by documentary, physical, or pictorial evidence.

The project is the replacement of a non-historic lattice patio cover with a solid roof patio cover. The lattice cover is not considered to be a distinctive feature.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

No chemical or physical treatments are proposed as a part of the patio construction.

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

The proposed project is a small scale patio and it is not anticipated to impact any significant archeological resources.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

As stated in response number three above, the new work will be differentiated from the old, but will utilize compatible massing and architectural features (including roof tiles). The patio cover will be constructed to the rear of the home and is not expected to be visible from the front of the home or the public right-of-way. The project will be compatible and will not destroy any historic materials that characterize the property.

- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The patio cover will be attached to the home along the back side at the roofline/ledger of the patio cover. This attachment does not require the demolition of any exterior walls or major modifications to the existing structure. If the current homeowner or a future homeowner chooses to remove the patio cover, the essential form of the home would remain unchanged, and the integrity of the historic property would be unimpaired, as no architectural features are being removed or modified for the installation of

the patio cover.

Summary:

The proposed rehabilitation project, with the incorporation of standard conditions of approval, will not adversely affect or change the contributing historical resource located on the subject property or its context within the District. The scope of work is consistent with the Redlands Municipal Code and the Secretary of the Interior's Standards for Rehabilitation Projects.

STAFF RECOMMENDATION

Staff recommends that the Historic and Scenic Preservation Commission approve Certificate of Appropriateness No. 651, subject to the recommended Conditions of Approval.

MOTIONS

If the Historic and Scenic Preservation Commission deems it appropriate, staff recommends the following motion:

"I move that the Historic and Scenic Preservation Commission adopt Resolution No. 2022-12 and approve Certificate of Appropriateness No. 651, based on the facts within this staff report and subject to the attached Conditions of Approval."

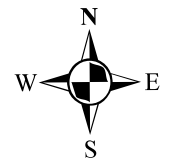
Attachment A

Location Map and Aerial Photographs



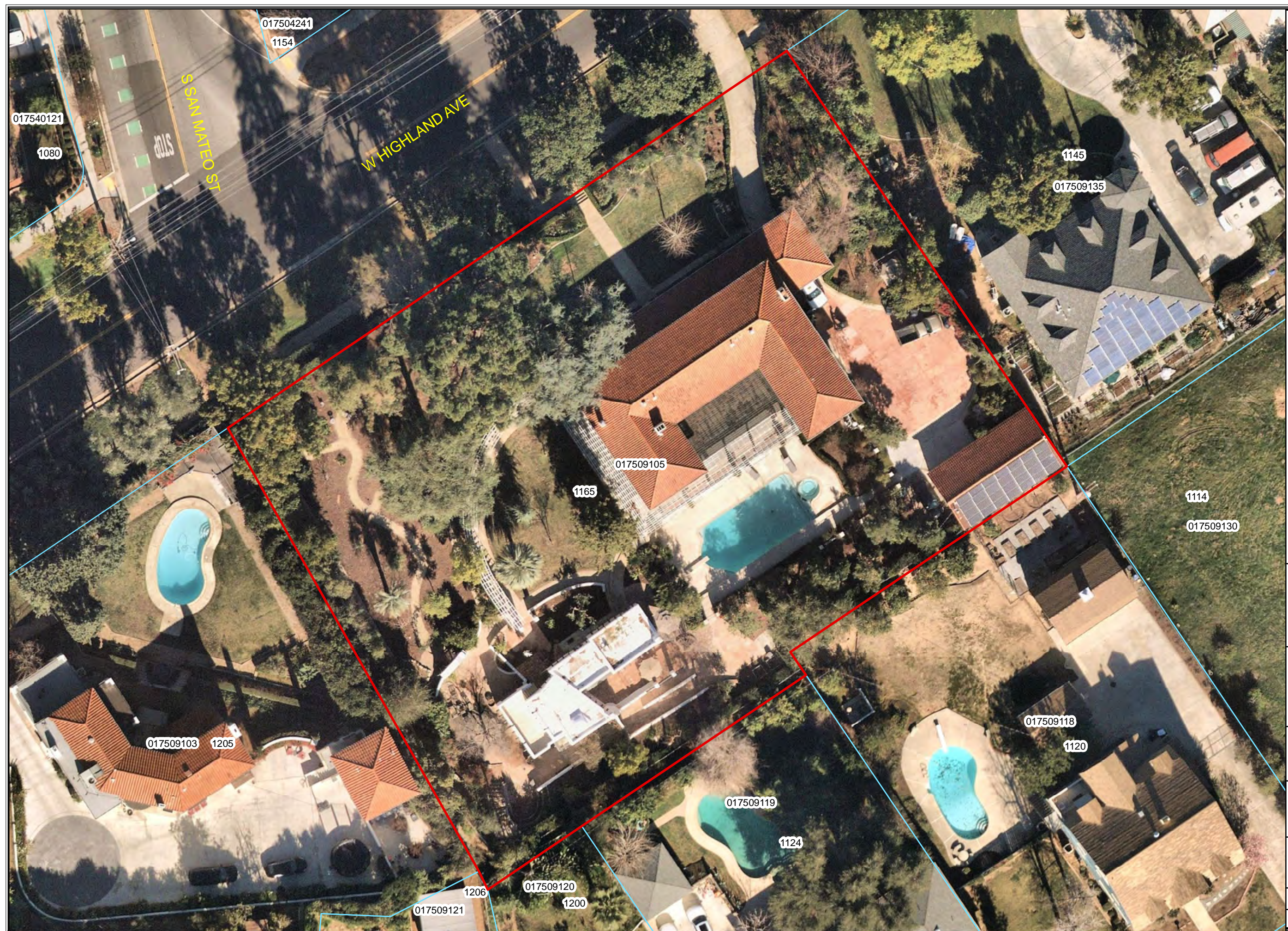
Project Location

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May 11, 2022

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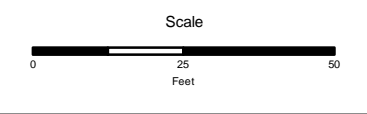
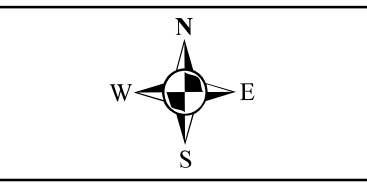
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City of *Redlands*
Department of Innovation & Technology
Geographic Information Systems



May 11, 2022

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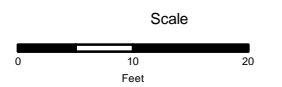
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May 11, 2022

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Attachment B
Site Photographs



1165













Attachment C
Project Plans

A COVERED PATIO ADDITION TO The Carritte Residence

1165 West Highland Avenue / Redlands, CA. 92373

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SITE DATA

1.	ASSESSOR'S PARCEL NO.:	0175-091-05
2.	PROJECT ADDRESS:	1165 WEST HIGHLAND AVENUE REDLANDS, CA. 92373
3.	OWNERS:	JAMES CARRITTE & DEBORAH CHUNG -CARRITTE
4.	LOT AREA:	44,800 sq.ft. (1.03 acre)
5.	ZONE:	"RS" SINGLE FAMILY RESIDENTIAL
6.	OCCUPANCY GROUP:	& "U" ATTACHED SOLID PATIO COVER
7.	TYPE OF CONSTRUCTION:	VB
8.	EXISTING SQUARE FOOTAGE CALCS.	
	A. EXIST. RESIDENCE (2 STORY TOTAL):	6,166 sq.ft. COMBINED FLOORS
	B. EXIST. 3 CAR GARAGE:	840 sq.ft.
	C. EXIST. POOL HOUSE:	922 sq.ft.
	TOTAL EXISTING LOT COVERAGE:	5,162 sq.ft. (11%)
	C. PROPOSED SOLID ROOF PATIO COVER:	1,614 sq.ft.
	TOTAL COMBINED LOT COVERAGE:	6,776 sq.ft. (15%)
	TOTAL ALLOWABLE BUILDING TO LOT COVERAGE:	30% MAX

SHEET INDEX

A-1	SITE PLAN, SITE DATA AND SHEET INDEX
A-2	EXISTING CONDITIONS / DEMOLITION PLAN AND PARTIAL SITE PLAN
A-3	NEW COVERED PATIO FLOOR PLAN
A-4	ROOF PLAN AND REAR EXTERIOR ELEVATION
A-5	COVERED PATIO FOUNDATION PLAN
A-6	COVERED PATIO ROOF FRAMING PLAN AND DETAILS
A-7	COVERED PATIO ROOF BUILDING CROSS SECTION
A-8	COVERED PATIO ROOF ELECTRICAL FLOOR PLAN

CITY OF REDLANDS STANDARD CONSTRUCTION NOTES:

Business license requirement for architects, engineers, construction and sub-contractors per City of Redlands ordinance: 9.04.090 Business License Requirement. It is unlawful for any person, whether as principal or agent, clerk or employee, either for himself or for any person, or for any body corporate, or as an officer of any corporation, or otherwise to commence or carry on any lawful business, trade, calling, profession or occupation in the city without first having procured a license from this city so to do or without complying with any and all regulations of such trade, calling, profession or occupation contained in this chapter and chapter 9.03 of this title.

All new construction shall meet or exceed the minimum requirements of the: California Building Code (CBC) - 2019 edition; California Residential Code (CRC) - 2019 edition; California Plumbing Code (CPC) - 2019 edition; California Mechanical Code (CMC) - 2019 edition; California Electric Code (CEC) - 2019 edition; and Fire and Green building standards and the 2019 Energy Commission series. These codes are amended in the City of Redlands Municipal Code by Ordinances 25109, 25110, 25111 and 25112 respectively. In cases where the Codes may conflict with the provisions in these plans or specifications, the more restrictive provisions shall govern.

"Anyone who is involved with the construction of this project shall comply with all applicable Best Management Practices (BMP) to contain or prevent any illegal discharge or storm water pollution within the project boundary until the project is completed and accepted by the Public Works Inspector of the City."

Results of construction and demolition debris is required as mandated by AB 929 and SB 1066 and as amended under City of Redlands Ordinance 2544."

Construction noise shall be permitted only between the hours of 7:00 a.m. to 6:00 p.m. Monday through Saturday (EMG B.06.C6C7)

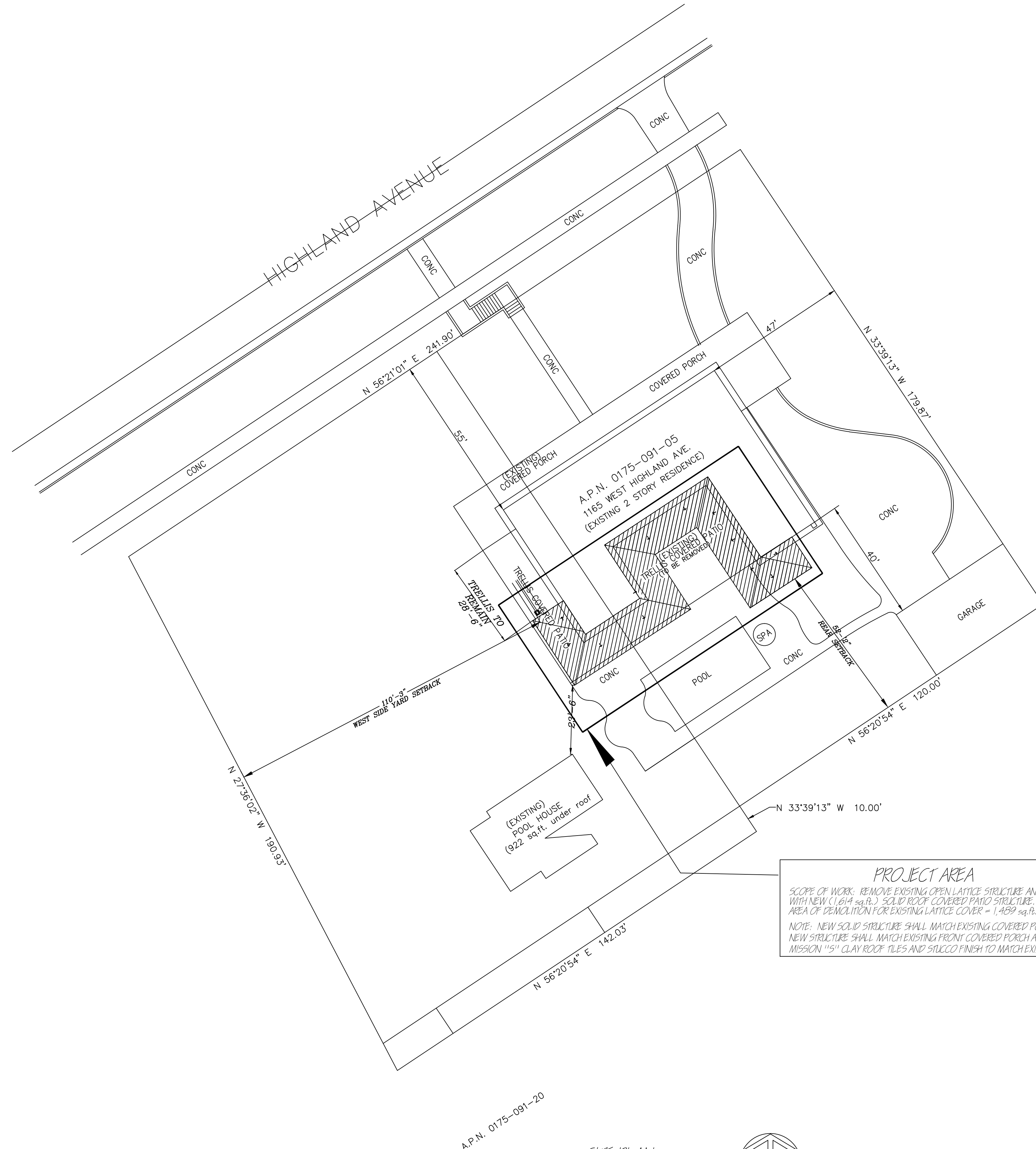
Every permit issued under the provisions of these plans shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 180 days from date of such permit, or if the building or work authorized by such permit is suspended or abandoned for a period of 180 or more days after work is commenced. Before such work can be recommenced, a new permit shall be first obtained, and a fee there for shall be one-half the amount required for a new permit for such work, provided no changes have been made or will be made in the original plans and specifications for such work, and providing further that such suspension or abandonment has not exceeded one year. In order to renew action on a permit after expiration, the permittee shall pay a new full permit fee.

Any permittee holding and expired permit may apply for an extension of the time within which to commence work under that permit for good and satisfactory reasons (unforeseeable causes beyond the control and without fault or omission of the permittee, including but not restricted to, acts of God, strikes, fires, floods, epidemics, or severe weather). Any fee imposed by the City as a condition of issuance of a building permit which was established or increased subsequent to the issuance of the original permit shall be paid in the amount required for a new permit at the date of the extension of the permit. The chief building official may extend the time for commencement of work by the permittee for a period not exceeding 180 days upon written request by the permittee providing evidence of the circumstances beyond control of the permittee which have prevented work from commencing. No permit shall pay a new full permit fee.

It shall be the responsibility of the permittee to show evidence of the "start of construction" by arranging for the building inspections within 180 days after issuance of the permit and to verify non-suspension or abandonment of work by arranging for building inspections which will show the work is progressing within any 180 day time period.

"Fire Sprinklers are required and shall be accomplished by separate permit."

"FRAMER STUDS FOR HEADERS OR LINTELS SHALL BE A MINIMUM OF 1-1/2" THICK, FULL WIDTH BEAMS AND FULL HEIGHT MUDSILL - TYPICAL AT ALL WALL OPENINGS."



SITE PLAN
SCALE: 1" = 20.00'

Revisions:
Date:
Remarks:

ROBERTSON DESIGN GROUP
P.O. BOX 431
CALIFESCA, CA. 92320
(909) 557-5674

Sheet Title:
SITE PLAN AND SITE DATA

Project Title:
**A COVERED PATIO ADDITION TO
The Carritte Residence
1165 West Highland Avenue / Redlands, CA. 92373**

Scale: 1" = 20.00'

Drawn By: BRAD R.

Job Number:

Iteration Number: /

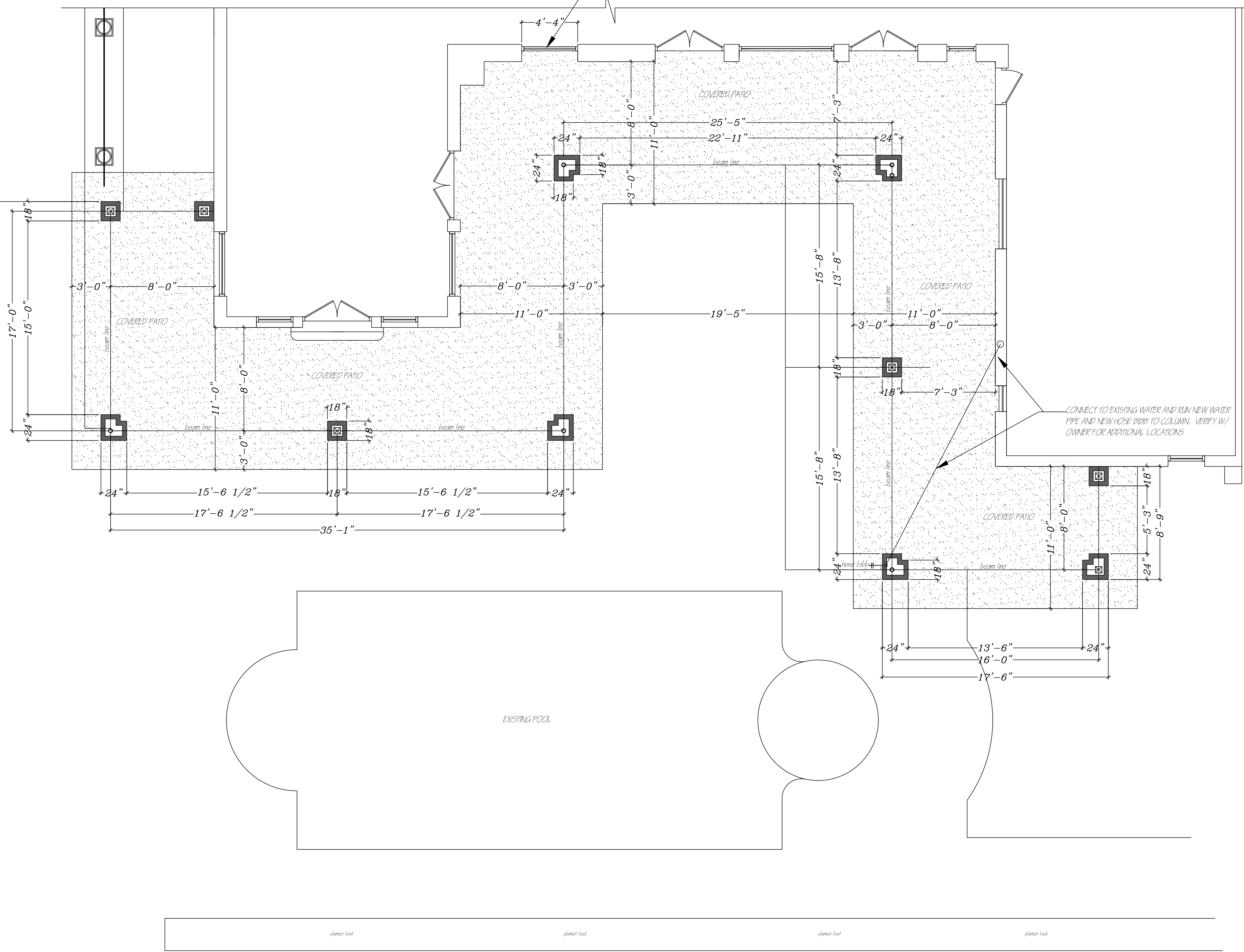
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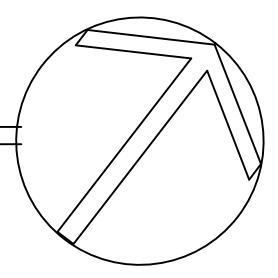
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EXISTING WEST SIDE TRELLIS TO REMAIN FROM THIS POINT TO END OF HOUSE

REMOVE EXISTING DOORS, INSTALL NEW WINDOW (MATCH CONDITIONS OF EXISTING RESIDENCE)
 FRAME IN BOTTOM OF WINDOW AND FINISH NEW WALL ON BOTH SIDES TO MATCH EXISTING CONDITIONS
 NEW WINDOW TO BE WOOD FRAMED AND APPROXIMATELY 4'-4" WIDE X 5'-4" TALL. WINDOW TO BE AN EXACT MATCH FOR THE EXISTING WINDOWS AND SHALL ALSO MATCH HEADER AND SILL HEIGHTS.



COVERED PATIO ADDITION / FLOOR PLAN
 FLOOR AREA = 1,614 SQUARE FEET UNDER ROOF



WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO BE REMOVED
	NEW WALLS / ADDITIONS

REMODEL CONDITIONS

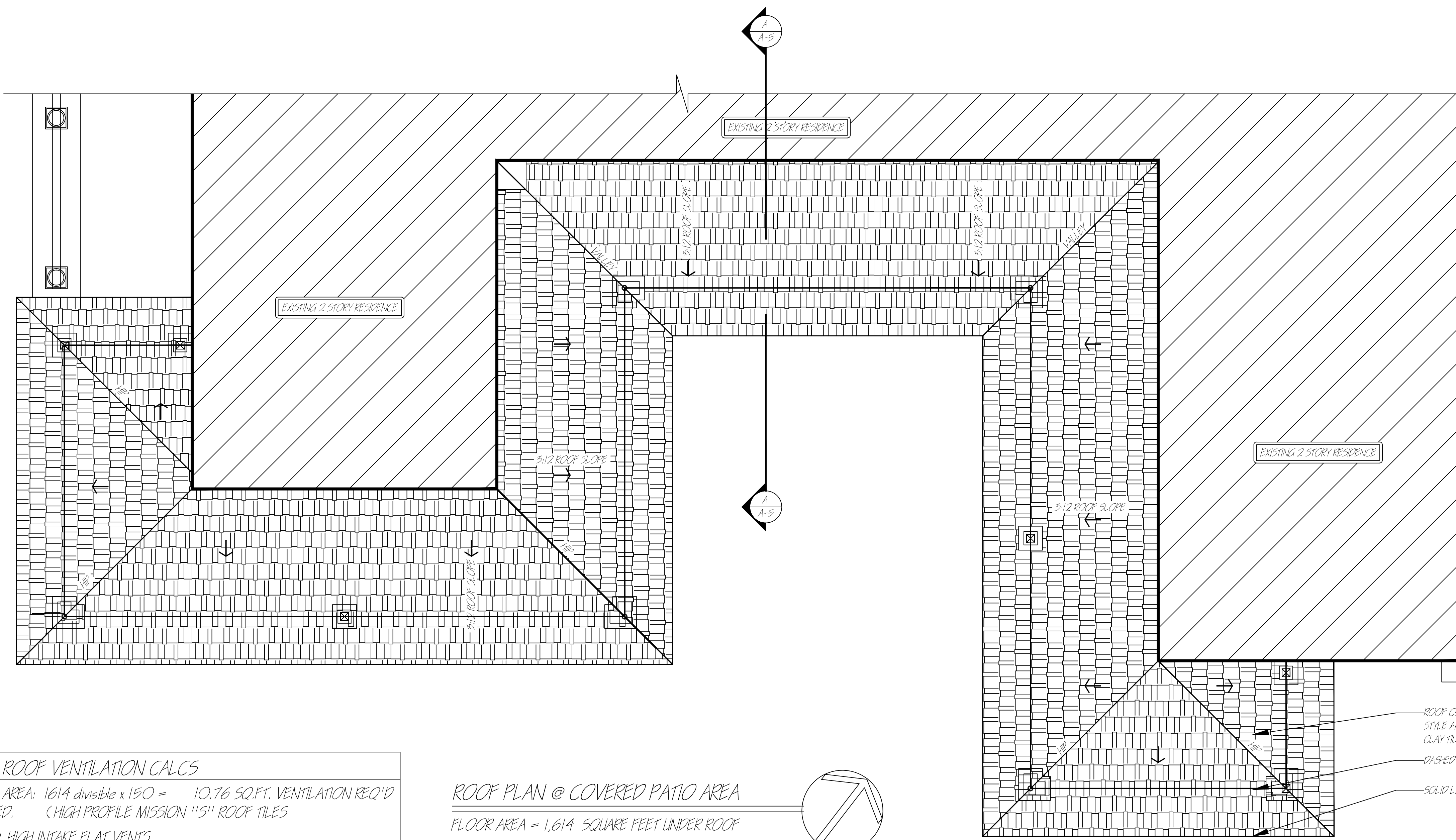
Revisions:	Date:	Remarks:

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Sheet Title: COVERED PATIO ADDITION FLOOR PLAN
 Project Title: A COVERED PATIO ADDITION TO The Carritte Residence
 1165 West Highland Avenue / Redlands, CA. 92373

Scale:	1/4" = 1'-0"
Drawn By:	BRAD R.
Job Number:	
Iteration Number:	1
Print Date:	09/16/22
Drawing Date:	04/2021
Sheet:	A-3

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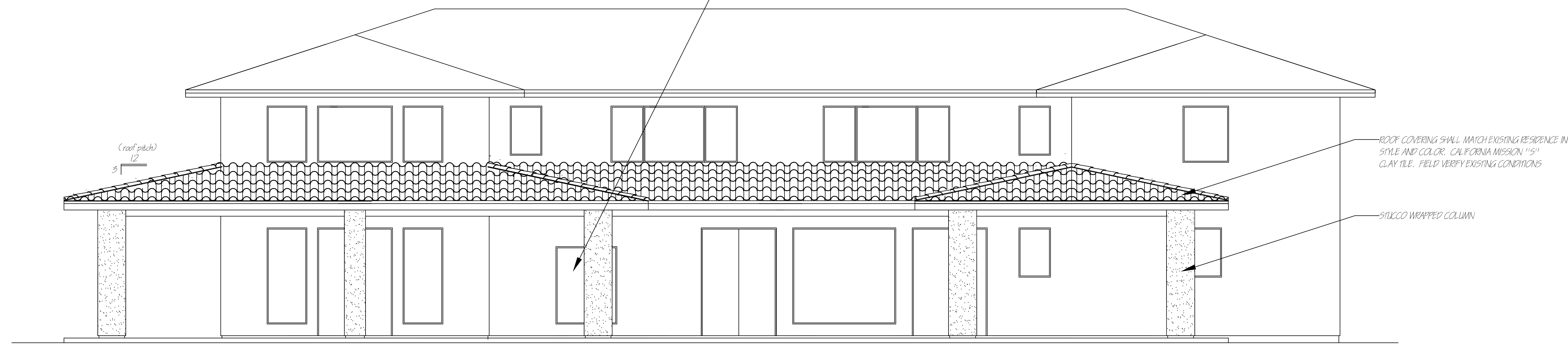


ROOF VENTILATION CALCS
 1614 SQ.FT. OF SOLID ROOF AREA: $1614 \text{ divisible} \times 150 = 10.76 \text{ SQ.FT. VENTILATION REQ'D}$
 97.50 (16) VENTS REQUIRED. (HIGH PROFILE MISSION "5" ROOF TILES)
 INSTALL (8) LOW AND (8) HIGH INTAKE FLAT VENTS

ROOF PLAN @ COVERED PATIO AREA
 FLOOR AREA = 1,614 SQUARE FEET UNDER ROOF

ROOF COVERING SHALL MATCH EXISTING RESIDENCE IN STYLE AND COLOR. CALIFORNIA MISSION "5" CLAY TILE. FIELD VERIFY EXISTING CONDITIONS
 DASHED LINES INDICATE BEAM LINE BELOW ROOF
 SOLID LINE INDICATES ROOF OVERHANG LINE

REMOVE EXISTING DOORS, INSTALL NEW WINDOW (MATCH CONDITIONS OF EXISTING RESIDENCE)
 FRAME IN BOTTOM OF WINDOW AND FINISH NEW WALL ON BOTH SIDES TO MATCH EXISTING CONDITIONS
 NEW WINDOW TO BE WOOD FRAMED AND APPROXIMATELY 4'-4" WIDE X 5'-4" TALL. WINDOW TO BE AN EXACT MATCH FOR THE EXISTING WINDOWS AND SHALL ALSO MATCH HEADER AND SILL HEIGHTS.



REAR (SOUTH) ELEVATION

REMODEL CONDITIONS

Revisions:	Date:	Remarks:

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Sheet Title: **ROOF PLAN AND REAR (SOUTH) ELEVATION**
 Project Title: **A COVERED PATIO ADDITION TO The Carritte Residence**
 1165 West Highland Avenue / Redlands, CA. 92373

Scale: 1/4" = 1'-0"
 Drawn By: **BRAD R.**
 Job Number:
 Iteration Number: /
 Print Date: 08/16/22
 Drawing Date: 04/2021
 Sheet: **A-4**

Attachment D
Resolution No. 2022 - 12 with Exhibit A (Conditions of Approval)

RESOLUTION NO. 2022-12

A RESOLUTION OF THE HISTORIC AND SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS APPROVING CERTIFICATE OF APPROPRIATENESS NO. 651 TO REMOVE AN EXISTING OPEN LATTICE PATIO COVER ON THE REAR ELEVATION AND REPLACE WITH A NEW 1,614 SQUARE-FOOT SOLID PATIO COVER, LOCATED AT 1165 W. HIGHLAND AVENUE (APN: 0175-091-05-0000) WITHIN THE WEST HIGHLAND AVENUE HISTORIC AND SCENIC PRESERVATION DISTRICT (HISTORIC DISTRICT NO. 2).

WHEREAS, James Carritte, has submitted an application for Certificate of Appropriateness No. 651 to construct a new solid patio cover in the place of an existing open lattice patio cover or a residence located at 1165 W. Highland Avenue (APN: 0175-091-05-0000) within the West Highland Avenue Historic and Scenic Preservation District (Historic District No. 2); and

WHEREAS, notice of this Historic and Scenic Preservation Commission public hearing for the Project was duly published in the Redlands Daily Facts by the Secretary to the Historic and Scenic Preservation Commission; and

WHEREAS, on June 2, 2022, the Historic and Scenic Preservation Commission held a public hearing and considered the staff report, oral report, the testimony and the written evidence submitted by and on behalf of the applicant and by members of the public; and

WHEREAS, Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines provides for exemption from environmental review, there is no substantial evidence of any potentially significant impacts, and the project qualifies for this exemption.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC & SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS AS FOLLOWS:

Section 1. The proposed project is exempt from the California Environmental Quality Act per Section 15301 (Existing Facilities), and there is no potential for any significant environmental impacts.

Section 2. This Certificate of Appropriateness is hereby approved subject to the conditions of approval contained in Exhibit A attached hereto.

Section 3. This Resolution shall become effective upon adoption.

ADOPTED, SIGNED AND APPROVED this 2nd day of June, 2022.

Kurt Heidelberg, Chair
Historic & Scenic Preservation Commission

ATTEST:

Linda McCasland, Secretary

I, Linda McCasland, Historic and Scenic Preservation Commission Secretary of the City of Redlands, hereby certify that the foregoing resolution was duly adopted by the Historic and Scenic Preservation Commission at a regular meeting thereof held on the 2nd day of June, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Linda McCasland, Secretary
Historic & Scenic Preservation
Commission

EXHIBIT A
CONDITIONS OF APPROVAL
CERTIFICATE OF APPROPRIATENESS NO. 651

1. This approval is for Certificate of Appropriateness No. 651 to remove an existing open lattice patio cover and to construct a new 1,614 square-foot solid patio cover in its place located at 1165 W. Highland Avenue (APN: 0175-091-05-0000) within the West Highland Avenue Historic and Scenic Preservation District (Historic District No. 2).
2. All plans submitted to the City as part of this Certificate of Appropriateness application shall reflect the plans approved on June 2, 2022, and shall comply with all provisions of the Redlands Municipal Code.
3. Unless construction has commenced pursuant to a building permit, or a time extension is granted in accordance with Code, this application shall expire in eighteen (18) months from the approval date.

Note: This project can be extended by staff per RMC Section 2.62.200(K) for a period not to exceed thirty-six (36) months.

4. The applicant for this permit, and its successors and assigns, shall defend, indemnify and hold harmless the City of Redlands, and its elected officials, officers, agents and employees, from and against any and all claims, actions, and proceedings to attack, set aside, void or annul the approval of this permit by the City, or brought against the City due to acts or omissions in any way connected to the applicant's project that is the subject of this permit. This indemnification shall include, but not be limited to, damages, fees, costs, liabilities, and expenses incurred in such actions or proceedings, including damages for the injury to property or persons, including death of a person, and any award of attorneys' fees. In the event any such action is commenced to attack, set aside, void or annul all, or any, provisions of this permit, or is commenced for any other reason against the City for acts or omissions relating to the applicant's project, within fourteen (14) City business days of the same, the applicant shall file with the City a performance bond or irrevocable letter of credit (together, the "Security") in a form and in an amount satisfactory to the City, to ensure applicant's performance of its defense and indemnity obligations under this condition. The failure of the applicant to provide the Security shall be deemed an express acknowledgement and agreement by the applicant that the City shall have the authority and right, without objection by the applicant, to revoke all entitlements granted for the project pursuant to this permit. The City shall have no liability to the applicant for the exercise of City's right to revoke this permit.
5. The applicant shall not make any modifications or changes during construction that are in conflict or contrary to the project's approved site design, or building elevations without first consulting with the Development Services Director or his designee.

Brian Foote, Planning Manager
Historic Preservation Officer