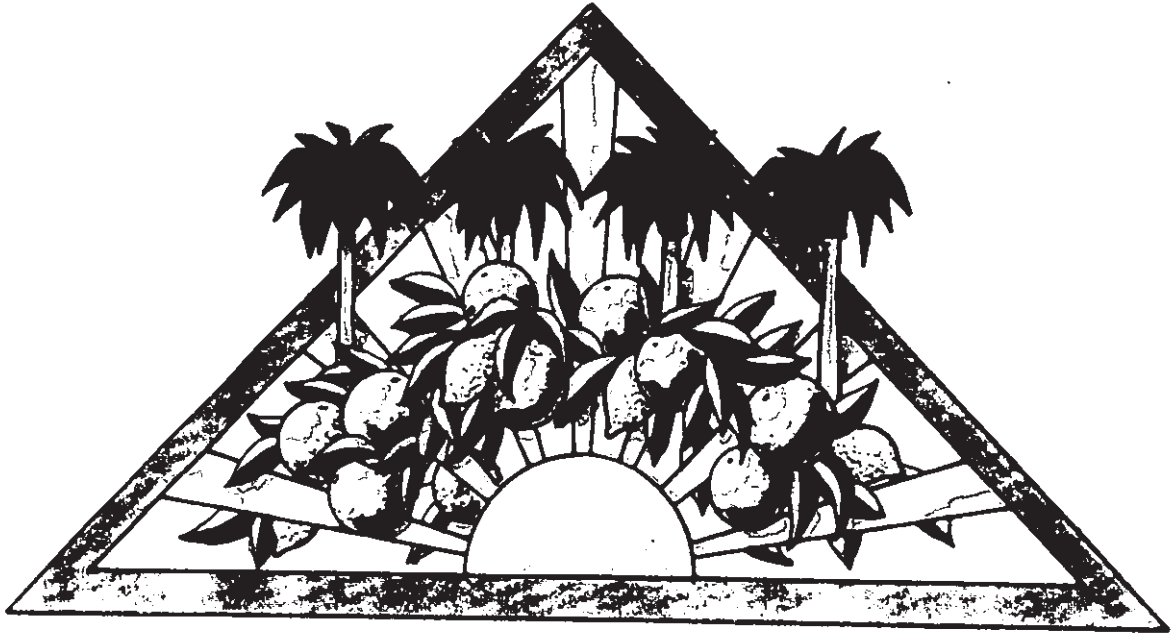


# CONCEPT PLAN



# THE CITIES PAVILLION

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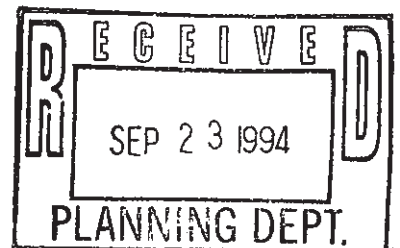
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## CHAPTER 1 - INTRODUCTION

### 1. DEFINITION OF THE CONCEPT PLAN

The Cities Pavillion Concept Plan is a planning tool which ensures the logical and orderly development of property within the development envelope. The East Valley Corridor Specific Plan is the governing document for development of this property. The EVCSF defines the intent of the Concept Plan as follows:

**"The Concept Plan functions as a development suitability analysis and land use plan which identifies development opportunities and constraints within the Development Envelope, including physical characteristics, public services and facilities, capacity of the circulation system, and existing or planned uses or adjacent properties. The intent of the Concept Plan is to establish limits, parameters, and planning objectives to guide development based on the identified development constraints and opportunities."**

The Development Envelope encompassing this site has been designated as a Special Development District. As defined in the EVCSF:

**"The Special Development District is intended to provide an alternative, more flexible site planning process which encourages creative and imaginative planning of administrative professional, commercial or industrial developments, or a mixture of such uses, within the framework of a single cohesive concept plan. The Special Development process provides greater regulatory, land use, and design flexibility than conventional land use district regulations, in order to achieve a more economical and efficient use of the land."**

### 2. ORGANIZATION OF THIS CONCEPT PLAN

The Cities Pavillion Concept Plan is divided into four chapters. Chapter 1, Introduction, provides a discussion of the purpose of the Concept Plan, the proposed project, the project setting, goals and objectives, and environmental considerations. Chapter 2, Master Plan, provides insight into land use, circulation, infrastructure, and landscaping. Chapter 3, Development Standards, sets forth the regulations and standards which govern the actual use and development of the property. Chapter 4, Implementation, provides a guideline for review and approval procedures and non-discretionary actions which will implement the Concept Plan.

### 3. THE CITIES PAVILLION PROJECT

The Cities Pavillion Project is a creative mixture of commercial and administrative professional uses designed to optimize the quality of development while showing sensitivity for the environment and surrounding properties. The project is designed to provide a buffer of landscaping, low-profile buildings, and distance between existing housing and commercial uses. The project is adjacent to State Route 30 Freeway and fronts on San Bernardino Avenue, a major arterial. The site is ideally situated for serving Redlands, Highland, Mountain Resorts and Loma Linda.

### 4. PROJECT SETTING

The site consists of 57.47 acres located South of San Bernardino Avenue between Texas Street and Tennessee Street. Pennsylvania Avenue forms the southerly boundary. The project site has been used for citrus groves for many years. Approximately 33 acres is still in citrus groves. The balance of the site is vacant. Three home-sites occupied the land in earlier years, but the homes are now gone. Aside from citrus, the significant trees include a maple tree, four avocado trees, a fig tree, two pine trees, a row of palm trees, and a row of eucalyptus trees. A storm drain and sanitary sewer cross the property. Other remaining features include two wind machines and an irrigation system. SITE FEATURES are shown on PLATE 5.

Adjacent land uses include citrus groves to the North, State Route 30 (freeway) to the West, field crops to the South, single family housing at the southeast quadrant, and vacant land to the East.

Land ownership is vested in five parties: Elden & Margaret Geib, Joy Investments, Inc., Yusuf & Jale Un, Tr., J.J. & Amelia Ramirez, James H. & Grace J. Porch.

J.J. Ramirez also owns five acres on the East side of Texas Street. The Un family has an interest in a parcel to the South.

PLATE 1 shows the project location and its relationship to surrounding communities.

## 5. GOALS AND OBJECTIVES

The Goal of The Cities Pavillion project is to create a mixture of commercial and administrative professional uses which are designed to optimize the quality of development while showing sensitivity for the environment and surrounding properties. To achieve this goal, the following principles are specifically targeted:

- a. Implement the provisions of the East Valley Corridor Specific Plan.
- b. Implement the Codes and Ordinances of the City of Redlands.
- c. Establish development standards which will ensure an aesthetically pleasing environment.
- d. Promote high quality development to enhance employment opportunities, provide a balance of jobs and housing in the region, and become a positive contributor to the economic health of the community.
- e. Maintain a friendly attitude for the continued agricultural activities during the transition of property uses.
- f. Provide an extension of public utilities and public services in a logical and orderly manner.
- g. Provide an efficient and functional traffic circulation system with capacity to accommodate projected traffic volumes.

## 6. ENVIRONMENTAL CONSIDERATIONS

### A. TOPOGRAPHY

The site topography is relatively flat and slopes uniformly at two percent from East to West. The slope from South to North is 0.3 percent. The elevation of the site ranges from 1315 feet above mean sea level (MSL) at the intersection of Texas Street and San Bernardino Avenue to 1270 feet above MSL at the intersection of Tennessee Street and San Bernardino Avenue.

## B. SOILS

The site consists of silty sandy soil underlain by granular alluvial deposits from the nearby San Bernardino mountains. Water bearing strata exists in three zones beneath the site, separated by impervious zones. The depth to water is currently 143 feet below ground surface. Historically, water levels have been as high as 60 feet below ground surface at this site.

## C. CLIMATE

The Redlands area climate is typified with hot arid summers and mild winters. The average annual temperature is 63.8° F, with an average temperature of 77.8° F in August and 51.9° F in January. Temperature extremes range from the twenties in the winter to over 110° F in the summer. The dry hot Santa Ana winds in summer and fall months can reach 80 miles per hour. These winds are a common occurrence, but do little damage. Average annual rainfall is 12.89 inches in the Redlands area, mostly occurring in the December to March time period. Rainfall amounts can vary widely, with periods of excess rainfall followed by years of drought. The groundwater storage basin serves as a buffer for water supply.

## D. STORMWATER HYDROLOGY

The project site is not a part of any major flood hazard area. The nearest flood plains are the Santa Ana River one mile to the North and the Morey Arroyo one mile to the South. The existing drainage system serving this site consists of a new storm drain system installed with the Route 30 Freeway construction. It will be necessary to perpetuate this drainage system through the project site. This site is not included in the Safety-Flood Overlay District of the EVCSP.

## E. AIR QUALITY

Air pollutants from the Los Angeles basin are pushed inland by the prevailing on-shore winds along the San Gabriel and San Bernardino Mountains. This major pollution source combines with local pollution to create an air quality problem. The marine inversion layer and solar radiation combine to produce smog. The South Coast Air Basin is monitored by the South Coast Air Quality Management District (SCAQMD). The South Coast Air Basin does not currently meet Federal EPA ambient air quality standards for ozone, carbon monoxide, nitrogen dioxide, and total suspended particulate. The California Air Resources Board (CARB) has adopted ambient air quality standards which are more stringent than the federal standards. The project site experiences unhealthy air from May to



September, but is relatively good from October to April when meteorological conditions are more favorable. Air quality has been improving in recent years as enforcement begins to show results.

#### F. NOISE

Major noise sources tributary to the project site are Route 30 and Norton Air Force Base. San Bernardino Avenue is designated as a major arterial and will eventually increase in noise production as the area develops. Norton Air Force Base is closed and is being converted to civilian use. Since commercial airliners are equipped with quieter engines than the military aircraft, it may be reasonable to assume that noise levels will decrease. The proposed nonresidential uses are more tolerant of noise levels than residential uses. An Acoustical Analysis has been prepared by Gordon Bricken and Associates. This analysis provides an evaluation of noise sources and mitigation measures

#### G. CULTURAL RESOURCES

The project site has been used for citrus production for many decades. Three ranch homes occupied the land in earlier years, but these homes have been gone for many years. The site is not included in the Preservation-Historical/Archaeological Overlay District of the EVCSP. A Cultural Resources Survey has been performed by The Chambers Group, Inc. The survey results, site significance, impacts and recommendations are presented in this report.

#### H. TRANSPORTATION

The traffic circulation system consists of Interstate 10 to the South, Route 30 adjacent on the West, and a partially-improved network of arterials. San Bernardino Avenue is designated as a major arterial and will require upgrading. Tennessee Street and Texas Street will require upgrading as development occurs on adjacent land. Pennsylvania Avenue will provide secondary access to the site but not extend into the residential area to the East. Eventually, New York Street will need to be extended to Lugonia Avenue to better distribute traffic. By completing the traffic circulation system shown in this report, it will be possible to meet the access requirements for this project while minimizing the impact on residential areas to the East. A Traffic Impact Report has been prepared by Lawrence S. Eisenhart, Consulting Engineer. This report provides insight into existing conditions, future conditions and project mitigation.

I. UTILITY SERVICES

Public utilities are provided by the following agencies:

Water, Sewer, Waste Disposal - City of Redlands  
Fire and Police Protection - City of Redlands  
Electricity - Southern California Edison Company  
Natural Gas - Southern California Gas Company  
Telephone - General Telephone Company

## CHAPTER 2 - MASTER PLAN

### 1. INTRODUCTION

The Master Plan establishes the foundation for all development proposed in this Concept Plan. The Master Plan defines specific criteria for the various components of the project, specifically:

- Land Use
- Circulation
- Infrastructure
- Landscape

Land Use designations establish zoning regulations for each parcel. Circulation addresses the vehicular traffic patterns associated with development. Infrastructure addresses the needs for extension of water, sewer, and storm drain facilities. Landscape creates the theme for visual appearance and ensures a cohesive plan for landscaping to meet the goals of the EVCSP.

Attached plates include PLATE 2 - EVCSP LAND USE DISTRICTS, PLATE 3 - EVCSP PLANNED DEVELOPMENT ENVELOPES, and PLATE 4 - EXISTING ZONING.

### 2. LAND USE

The Land Use Plan for the Pavillion defines a healthy mix of uses which address criteria unique to this site. The portions along the easterly side are devoted to the less intensive use of Administrative Professional. Frontages along the major arterial and Route 30 are devoted to General Commercial use. The various parcels are shown on PLATE 6, LAND USE PLAN. The parcel lines are approximate only at this time, and will be adjusted to fit the specific developments as they occur.

- A. GENERAL COMMERCIAL - Nine parcels of land are designated for General Commercial use, Parcels A, B, C, D, E, F, G, H, and J. Parcel A consists of 7.6 acres and is situated along Pennsylvania Avenue and New York Street at the southerly edge of the envelope. This parcel is ideally suited for a theater, restaurant, and retail stores. Parcels B and C consist of 9.4 acres and 8.5 acres, and are located in the heart of the envelope. These might be used for an outdoor retail mall, restaurants, and similar uses. It is envisioned that Parcels A, B and C might be designed together to provide a unique family entertainment, dining and shopping experience. Parcels D and E have 4.0 acres and 3.8 acres fronting on Tennessee Street and face the Route 30 Freeway.

General Commercial use is suitable for this exposure. Parcel F is 3.4 acres on San Bernardino Avenue at New York Street and is ideally sized for a hotel or similar use. Parcels G, H and J are 2.1 acres, 1.8 acres, and 1.8 acres along San Bernardino Avenue and are well-suited for small retail centers and restaurants.

General Commercial use comprises 42.3 acres (81.5%) of the total development envelope. The General Commercial District average Floor-to-Area Ratio (FAR) will not exceed 0.25 for commercial retail uses. Hotel uses are not subject to an FAR restriction, since it is evaluated during the CRA process for all factors, including site layout, architectural design and landscaping.

Vehicular access to the site is permitted at three locations on San Bernardino Avenue, a major arterial. One of these access points will be right turn only ingress and egress. Pennsylvania Avenue will extend from Tennessee Street to New York Street, but will not connect to Karon Street on the East. All access to Karon Street, vehicular and pedestrian, is prohibited. Access on other streets is not restricted.

- B. ADMINISTRATIVE PROFESSIONAL - Six parcels of land are designated Administrative Professional use, Parcels K, L, M, N, P and Q. These parcels are 1.8, 1.3, 2.8, 1.1, 1.3, and 1.3 acres respectively. This development is intended as a buffer to adjacent residential areas. One and two story office buildings, designed to be compatible with the residential character of the neighborhood, will be supplemented by serious landscaping to provide a visually attractive setting.

### 3. CIRCULATION SYSTEM

The Cities Pavillion is located in a unique position. Access is readily available from the Route 30 interchange immediately adjacent and Interstate 10 located 1/2 mile to the South. Because of the Freeway layout in this area, all traffic from Highland, Loma Linda, Yucaipa, East Redlands, and the mountain communities can access the site without traveling on any surface street except San Bernardino Avenue, a major arterial. The circulation concept for vehicular access is shown on PLATES 7 and 8 Circulation Plan and the Street Sections.

- A. SAN BERNARDINO AVENUE - San Bernardino Avenue is designated as a Major Arterial and will have six traffic lanes in a 120 foot right of way. The median will be a 12 foot wide painted lane. Access will be limited to three locations along the Development Envelope as shown on the Circulation Plan. One of these access points will be right turn only ingress and egress. Adjustments in location can be made with the approval of the Public Works Director. Intersection design is

subject to approval of the Public Works Director.

- B. **TENNESSEE STREET** - Tennessee Street is a freeway frontage road and is designated as a Collector Street. Four lanes of traffic will fit within a 66 foot right of way. This street will serve a dual purpose as business access and as a frontage road for freeway ramp access. Driveway access is not limited and will be established by the site plan approval process.
- C. **PENNSYLVANIA AVENUE** - Pennsylvania Avenue is a Collector Street with four lanes of traffic in a 66 foot right of way. This street will only extend from Tennessee Street to New York Street. there will be no connection to the residential area to the East.
- D. **NEW YORK STREET, STREET "A", STREET "B"** - These streets within this Development Envelope will be private streets. The private street designation will allow for greater flexibility of design to provide an enhanced interior theme within the development. These streets shall be distinct and separate from the parking areas.

#### 4. **INFRASTRUCTURE SYSTEMS**

The Cities Pavillion Development Envelope is located adjacent to existing domestic water, sanitary sewer, and storm drain pipelines. An extension of these facilities is readily accomplished. All facilities must be designed to the City of Redlands Standards. PLATES 9, 10, and 11 show the **DOMESTIC WATER SYSTEM, SANITARY SEWER SYSTEM, and STORM DRAIN SYSTEM.**

- A. **DOMESTIC WATER SYSTEM** - A 12 inch water line is located at the intersection of Texas Street and San Bernardino Avenue. This 12 inch water line will be extended to encompass the site in San Bernardino Avenue, Tennessee Street, Pennsylvania Avenue, and New York Street. Interior water systems will use 8 inch and 6 inch water lines. Fire Hydrants will be installed in accordance with local standards and as approved by the City Fire Department. The various water fees will be paid as mandated by City Ordinance. The construction of City master planned facilities will be credited against water fees.
- B. **SANITARY SEWER SYSTEM** - The site is currently served by an 8 inch sewer pipeline in an easement approximating the extension of New York Street from Pennsylvania Avenue to San Bernardino Avenue. An 8 inch sewer pipeline also extends along Karon Street to San Bernardino Avenue. A 21 inch and 27 inch sewer pipeline runs along San Bernardino Avenue. An internal system of 8 inch sewer pipelines will serve the areas as development occurs.

- C. **STORM DRAIN SYSTEM** - The construction of State Route 30 included an open channel storm drain system. Pipelines have been extended easterly to allow for future pickup of local drainage. The **STORM DRAIN SYSTEM - PLATE 11** - shows an extension of this storm drain system to pick up stormwater from a drain in Pennsylvania Avenue and San Bernardino Avenue. It is anticipated that internal drainage systems will tie into these drains.

5. **LANDSCAPE CONCEPT PLAN**

A. **INTENT**

Landscaping is of primary importance to the establishment of a design character for the East Valley Corridor. The **LANDSCAPE CONCEPT PLAN** shown on **PLATE 12** is designed to enhance and preserve the existing site character, to minimize the adverse visual and environmental impacts of development, to promote the conservation of water, and to provide micro-climate control for energy conservation where possible. Landscaping shall comply with AB 362 relating to water efficient landscape.

B. **ENTRY MONUMENT**

The project **ENTRY MONUMENT** shown on **PLATES 13 and 14** will be located on both sides of New York Street at San Bernardino Avenue. This upscale signage is enhanced by a Canary Island Date Palm Grove backed by a grove of Citrus. The impact from this treatment will be substantial. A detailed signage plan for all freestanding and wall signs will be provided at the time of submittal of the architectural plans for initial development.

C. **KARON STREET BUFFER**

The buffer between the AP uses and Karon Street is shown on **PLATE 15, PLANTING CONCEPT, KARON STREET BUFFER**. This plan envisions a 37 foot wide park landscaped with Nichol's Willow-Leafed Peppermint, shrubs, and ground cover on a gentle 4 foot mound, backed by a 6 foot masonry wall. On the West side of the wall, buildings will be set back a minimum of 15 feet from the wall. The total building setback shall be 70 feet from the centerline of Karon Street. Landscaping on the West side of the wall will be Palm Tree masses and Red Iron Bark Eucalyptus.

D. **STREET PLANTING**

Street Plantings shall be as shown on **PLATES 16 and 17**. Palm Trees

will play an important role in establishing a uniform theme throughout the project. The East Valley area has long been known for its endless rows of Palm Trees. This planting concept will perpetuate the visual appeal of the Palm Tree. San Bernardino Avenue will be enhanced by Mexican Fan Palms and Camphor Trees. Pennsylvania Avenue will feature Queen Palms and Red Iron Bark Eucalyptus. Texas Street will be lined with Canary Island Date Palms and Majestic Beautys. Tennessee Street will display the California Fan Palm and Nichol's Willow-Leafed Peppermint. Interior streets are private streets and will be a part of the on-site landscaping plan.

## CHAPTER 3 - DEVELOPMENT STANDARDS

### 1. GENERAL PROVISIONS

- A. INTRODUCTION - The EVCSP is the controlling document for Land Use on this site. Unless specifically modified by this document, the standards contained in the EVCSP shall prevail.
- B. LAND USE DISTRICTS - The Cities Pavillion is divided into two Land Use Districts:

- CG General Commercial District
- AP Administrative Professional District

The boundaries of Land Use Districts are shown on the attached Land Use Plan (Plate 6).

- C. PUBLIC UTILITIES - Except where specifically noted in this Concept Plan, there shall be no limitation on the construction, operation, and maintenance of public utilities such as water pipelines, sewer pipelines, storm drain facilities, electrical systems, natural gas pipelines, telephone systems, and incidental appurtenances.

### 2. GENERAL COMMERCIAL DISTRICT (CG)

#### A. PERMITTED USES

No building, structure or land shall be used, and no building or structure shall be erected, structurally altered, or enlarged except for the following purposes:

##### 1. Professional Services:

- Physicians, surgeons, chiropractors, osteopathic physicians, dentists, oral surgeons and orthodontists.

- Attorneys and legal services

- Medical and dental laboratories

- Engineering, architectural and planning

- Accounting, auditing and bookkeeping

- Counseling (marriage and family)

- Prescription pharmacy and optical services

##### 2. Business Services:

- Advertisement, business and management

- Consulting



Detective and protective services  
Stenographic, secretarial, clerical and mailing  
Collection agencies  
Blueprinting and photocopy  
Employment agencies

3. Financial Services:

Insurance carriers, agents and brokers  
Real estate developers and builders (office only)  
Title abstracting  
Real estate agents and brokers  
Commodity services  
Holding and investment services  
Banks, savings and loans, and credit unions

4. Miscellaneous Services:

Private adoption agencies  
Libraries and reading rooms  
Welfare and charitable services  
Civic, social and fraternal associations  
Business associations  
Professional membership organizations  
Museums and galleries  
Community theaters

5. Retail Sale of Goods:

Groceries  
Meat, fish and seafood  
Food caterers and delicatessens  
Liquor stores  
Drug stores and pharmacies  
Convenience markets  
Apparel  
Newspapers and magazines  
Hardware  
Five and ten variety stores  
Confectioneries and ice cream  
Cosmetics and accessories  
Florist  
Auto parts (new retail)  
Gift shop  
Hobby and yarn shops  
Furniture and home furnishings  
Paint, varnish and lacquer  
Draperies, curtains and upholstery

Interior decorating supplies  
Wall and floor coverings  
Appliances  
Dishes, china, glassware and metalware  
Lawn and garden equipment and supplies  
Home improvement centers  
Dry goods and notions  
Department and general merchandise stores  
Plumbing and heating equipment and supplies  
Swimming pools and spas equipment and supplies  
Commercial nursery, retail  
Radio, TV and stereo  
Computers and accessories  
Jewelry, precious metals, coin and stamp dealers  
Records, tapes and videotapes  
Stationary and art supplies  
Office supplies and equipment  
Fur goods and apparel  
Shoes  
Books  
Toys, sport and athletic goods  
Photographic equipment and supplies  
Automobiles, motorcycles and other motor vehicles  
Boats  
Auto and motorcycle parts and accessories (new)  
Bicycles and parts  
Secondhand merchandise and thrift shops  
Antiques  
Pets and supplies and equipment  
Art galleries, print and frame shops

6. Provision of Services:

Laundering and dry-cleaning outlets  
Self-service laundries  
Beauty salons and barber shops  
Apparel repair, alterations and tailoring  
Shoe repair  
Suntan parlors  
Photographic studios and processors  
Small appliance repair  
Radio, TV and stereo repair  
Watch, clock and jewelry repair  
Furniture repair and reupholstery  
Bicycle repair  
Locksmith  
Teen center  
Eating establishments (including service of alcoholic beverages)

Personal storage facilities (mini-warehouse)  
Pet grooming  
Veterinarians and animal hospitals  
Telephone exchanges  
Taxidermy  
Health Club  
Spa

7. Cultural, Entertainment and Recreational Facilities:

Motion picture theaters  
Live theaters (legitimate)  
Meeting halls (lodge and union)  
Nightclubs  
Recreation centers  
Gymnasiums, health and athletic clubs and figure salons

8. Transient Lodgings:

Hotels  
Motels

9. Repair and service of any article whose sale is permitted in this district.

10. Other uses similar to the above listed uses if approved by the Planning Commission pursuant to a Determination of Use request.

**B. THE FOLLOWING USES ARE ALLOWED IN THE CG, GENERAL COMMERCIAL DISTRICT WITH A CONDITIONAL USE PERMIT APPROVED BY THE PLANNING COMMISSION**

1. Institutional Facilities:

Universities  
Schools  
Conference centers  
Hospitals/Medical Clinics  
Churches, synagogues and places of worship  
Rehabilitation centers  
Day care centers  
Trade and vocational schools

2. Temporary and permanent governmental facilities

3. Temporary support facilities associated with public works projects
4. Public utilities and services
5. Social care facilities with seven (7) or more patients or clients
6. Shopping centers
7. Golf course and/or driving ranges
8. Commercial amusement establishments such as skating rinks, bowling lanes, video arcades, billiard room, dancehalls, cocktail lounges and beer bars.
9. Automobile service stations, defined as:

An area which provides for the servicing of motor vehicles, including tube and tire repairs, battery charging, storage of merchandise and supplies related to the servicing of motor vehicles, sale of gasoline and lubricants, automobile washing (not including automatic car wash) and grease racks, but excluding automobile repairs, body and fender work, engine overhauling, and other similiar activities. An Auto Service Station is subject to the following requirements:

- a. All new service stations shall be subject to CUP and all remodels shall be subject to a revised CUP. Conversion of an existing station to another use requires a CUP.
- b. Minimum lot area shall be twenty thousand (20,000) square feet.
- c. Minimum lot width and depth shall be one hundred twenty (120) feet.
- d. Site must abut and have access to a secondary highway or larger roadway as per the City of Redlands General Plan.
- e. No more than half of the corners at any one intersection shall be occupied by service stations.
- f. Parking

Off-street parking shall be provided in accordance with this plan. No outdoor parking or storage of wrecked, dismantled, or inoperative vehicles permitted. Parked

vehicles shall be limited to those directly associated with the business or awaiting service. No parking permitted in the corner cut-off area. Parking areas shall be screened. All service stations with mini-markets must provide parking for both service station and mini-markets.

g. Landscaping

- (1) Except for driveway openings there shall be a landscaped planter area not less than five (5) feet in width extending along the entire street frontage.
- (2) A minimum of twenty (20) percent of the remaining lot area shall be landscaped with not less than fifty (50) percent of said landscaping provided along the interior property lines.
- (3) All planter areas shall be enclosed by six (6) inch high concrete curbs.
- (4) A detailed landscaping plan indicating types and distribution of planting shall be provided with the application.

i. Walls

A three (3) foot high solid masonry wall shall be constructed along all interior property lines. Said wall shall be increased in height to not less than five (5) feet nor more than six (6) feet when the site is adjacent to a school, church, park, club, hospital, residential zone or use. The Planning Commission may require additional walls as determined necessary for proper development of the site.

j. Rest Room

All rest room entrances shall be screened from view of adjacent properties and street right-of-way by some form of decorative wall or similar device.

k. Customer pump areas shall be roofed. The roofs over the pump areas shall connect to the station or station roof forming one continuous roofed structure. Ridges and eaves may, under some conditions, be at different levels.

l. Trash Storage

All trash, refuse and used merchandise shall be stored in an area enclosed by three solid walls and a view-obscuring gate. Said area shall be located in the rear portion of the lot.

m. Utilities

All utilities on the site for direct service to the business shall be installed underground.

10. Drive-through restaurants and services, subject to the following requirements:

a. Minimum lot area shall be twenty thousand (20,000) square feet.

b. Minimum lot width and depth shall be one hundred twenty (120) feet.

c. Site must abut and have access to a secondary highway or larger roadway as per the City of Redlands General plan.

d. Parking

Off-street parking shall be provided in accordance with this plan.

e. Landscaping

(1) Except for driveway openings there shall be a landscaped planter area not less than ten (10) feet in width extending along the entire street frontage and not less than five (5) feet in width along all interior property lines.

(2) Landscaping shall comply with the requirements of this plan.

11. Funeral Parlors and Mortuaries

C. PROHIBITED USES

1. Residential uses other than hotels and motels

2. Manufacturing and industrial

3. Warehousing
4. Used car sales not in conjunction with new car sales
5. Truck terminals
6. Recreational vehicle parks
7. Impound, auto storage and auto dismantling yards
8. Tire retreading
9. Billboards
10. Kennels
11. Outdoor Sales and Storage

D. DEVELOPMENT STANDARDS FOR GENERAL COMMERCIAL DISTRICT

1. Lot Area:  
All lots shall have adequate width, depth and area to accommodate all required parking, setbacks, landscaping, loading, trash enclosures, and access requirements.
2. Building Height:  
No maximum building height is established. Height limits shall be determined in accordance with Part 77 of the FAA regulations.
3. Floor Area Ratio:  
The maximum Floor Area Ratio (FAR), as determined by dividing the total gross leasable floor area in square feet by the total gross lot area in square feet, shall be 0.25.
4. Setbacks:
  - a. Front yard                      25 feet  
Street side yard                25 feet  
Side and rear yards            None except where adjoining residential district as per Section EV 4.0225 of the EVCSP
  - b. Districts abutting San Bernardino Avenue shall comply with the special setback and landscaping requirements of the EVCSP.

5. Landscape Requirements:

Landscaping shall comply with the provisions set forth in this plan.

6. Parking Standards and Requirements:

Parking shall comply with the provisions set forth in this plan.

7. Loading Area Requirements:

Loading areas shall comply with the provisions set forth in the plan.

8. Site Lighting Requirements:

Site lighting shall comply with the provisions set forth in this plan.

9. Trash Enclosures:

Trash enclosures shall comply with the provisions set forth in this plan.

10. Screening, Fences and Walls:

Screening, fences and walls shall comply with the provisions set forth in this plan.

11. Signs:

Unless otherwise specified in a duly adopted Sign Program as approved by the Planning Commission, all signs shall comply with the applicable provisions set forth in the City of Redlands Sign Code.

12. Access to a Public Street:

All accessways to a public street shall be located not less than seventy-five (75) feet from the intersection of any street lines, and shall be designed in a manner conducive to safe ingress and egress. Where practical, exits shall be located on a minor street. Frequency of accessways shall be at intervals of not less than one hundred (100) feet.



3. ADMINISTRATIVE PROFESSIONAL DISTRICT (AP)

A. PERMITTED USES

1. Professional Services

Physicians, surgeons, chiropractors, osteopathic physicians,  
dentists, oral surgeons, orthodontists  
Attorneys and legal services  
Medical and dental laboratories  
Engineering, architectural and planning  
Accounting, auditing, bookkeeping  
Counseling (marriage and family)  
Prescription pharmacy and optical services

2. Business Services:

Advertisement, business and management  
Consulting  
Detective and protective services  
Stenographic, secretarial, clerical and mailing  
Collection agencies  
Blueprinting and photocopy  
Employment agencies

3. Financial Services:

Insurance carriers, agents and brokers  
Real estate developers and builders (office only)  
Title abstracting  
Real estate agents and brokers  
Commodity services  
Holding and investment services  
Banks, savings and loans, and credit unions

4. Miscellaneous Services:

Private adoption agencies  
Libraries and reading rooms  
Welfare and charitable services  
Civic, social and fraternal associations  
Business associations  
Professional membership organizations  
Museums and galleries  
Community theaters

5. Other uses similar to the above listed uses, if approved by the  
Planning Commission at a public hearing.

6. Uses Permitted Subject to Conditional Use Permit

The following uses may be permitted in any land use district except where expressly prohibited, when such uses are deemed to be essential or desirable to the public convenience or welfare, and consistent with the goals and policies of this Specific Plan and the applicable General Plan.

- a. Temporary and permanent governmental facilities and enterprises (Federal, State and local) where buildings and/or property are publicly owned or leased.
- b. Temporary support facilities associated with the construction of highways and other public facilities including, but not limited to, batch plants and equipment storage yards.
- c. Institutional uses including, but not limited to, schools and universities, conference centers, hospitals, churches, rehabilitation centers, and day care centers.
- d. Public utilities and public service uses or structures including, but not limited to, reservoirs, pumping plants, electrical substations, central communication office, microwave and repeater huts and towers, and satellite receiving stations.
- e. Social care facilities with seven or more patients or clients.

B. PROHIBITED USES

Establishment of the following uses is prohibited. Any expansion or alteration of such uses that were in existence on the effective date of this Specific Plan shall adhere to the applicable regulations of the governing jurisdiction.

1. Residential uses
2. Retail commercial uses other than pharmacy and optical services.
3. Manufacturing and Industrial
4. Storage and warehousing
5. Billboards

### C. DEVELOPMENT STANDARDS

1. Minimum lot area shall be ten thousand (10,000) square feet.
2. Minimum parcel width shall be eighty (80) feet and minimum parcel depth shall be one hundred twenty (120) feet.
3. Maximum structure height shall be thirty-five (35) feet.
4. Maximum building coverage shall be sixty (60) percent.
5. Minimum building setbacks shall be as follows:
  - a. Front yard 25 feet
  - Street side yard 25 feet
  - Side and rear yards 15 feet (except where adjoining residential district as shown on Plate 15)
6. San Bernardino Avenue is designated as a Special Landscaped Street. The attached Landscape Section on Plate 16 shows the required treatment.
7. The project abuts a residential area along Karon Street. A landscaped buffer is shown on the attached landscape Buffer Plan. (See Plate 15)
8. For requirements on parking, landscaping, access, loading, storage, signs, and other design standards, the provisions given in later Sections of this Concept Plan shall apply.

### 4. SITE DESIGN STANDARDS AND GUIDELINES

The Site Design Standards and Guidelines are given in the East Valley Corridor Specific Plan. Portions of the listing which do not apply are as follows:

- Section EV 4.0201 Parking Requirements  
(a) Parking requirements for Residential Uses do not apply.
- Section EV 4.0225 Compatibility Standards  
(a)(3) References to Residential Uses do not apply.  
(e) References to Science Research Park do not apply.
- Section EV 4.0240 Architectural Guidelines  
(e) References to Multiple Residential Uses do not apply.

Section EV 4.0260 Other Site Landscaping Provisions

- (e) References to Industrial Uses, Science Research Park Uses and Residential Uses do not apply.
- (d) This section does not apply.

Section EV 4.0265 Planting Guidelines

- (a)(e) References to Residential Areas do not apply.

Section EV 4.0270 Landscape Maintenance

- (e) References to Residential Areas do not apply.

## CHAPTER 4 - IMPLEMENTATION

### 1. GENERAL

Implementation of The Cities Pavillion development is comprised of several review and approval steps by the City of Redlands. The following paragraphs describe the required actions.

### 2. ENVIRONMENTAL REVIEW

The East Valley Corridor Specific Plan was adopted after certification of an Environmental Impact Report (EIR) for the plan. The EVCSP EIR is defined as a Program EIR, addressing the impacts and mitigation for development of the area as a whole. The City will now evaluate The Cities Pavillion project against the already adopted EIR for conformity to the previously identified impacts. Local conditions may vary and require additional consideration. The City of Redlands Environmental Review Committee will make these determinations.

### 3. SUBDIVISION MAPS

The project site may be divided into several parcels by the filing of a Parcel Map. A Tentative Parcel Map is being submitted with this Concept Plan. The installation of public infrastructure improvements shall not be a condition of approval of this Parcel Map. Public infrastructure improvements shall be a condition of approval for specific development at the time of processing for a Conditional Use Permit or Commission Review and Approval in accordance with City codes and ordinances.

### 4. CONDITIONAL USE PERMIT (CUP) COMMISSION REVIEW AND APPROVAL (CRA)

Development applications for projects within The Cities Pavillion shall be processed with the Planning Department as a CUP or CRA. The Development Plan required by the EVCSP may be an integral part of the CUP or CRA processing and need not be a separate process. Development may occur for any portion of a Land Use District as established by the Concept Plan.

## 5. AMENDMENTS TO THE CONCEPT PLAN

Amendments to the Concept Plan shall be processed in accordance with the adopted procedures of the City of Redlands. An amendment may be initiated by the City Council, Planning Commission, or the property owner of the affected land. An amendment may be initiated for any single Planning Area, or any contiguous Planning Areas, and may not amend the regulations or land use districts in affect for those Planning Areas outside of the boundaries of the proposed amendment. Public hearings and actions by the Planning Commission and City Council shall be limited to the Planning Area identified as the subject of the proposed amendment.

The procedures for amending the Concept Plan shall be the same as those procedures established for the adoption of the Concept Plan, or by the submittal and approval of a Development Plan.

Technical refinements to the Concept Plan may be approved by the Director of Community Development without public hearing and without amending the plan when the following conditions are met:

- a. The addition of new information to the Concept Plan maps or text which does not change the effect of any concepts or regulations.
- b. Changes to the community infrastructure such as storm drains, water, and sewer systems, which do not have the effect of increasing or decreasing capacity in the plan area, and do not change the concepts of the plan.
- c. Minor adjustments to Planning Area or Land Use District boundaries which result in change of not more than ten (10) percent of the land area of any district.

## 6. DEVELOPMENT PLAN

The property owners may elect to process a Development Plan covering any or all Planning Areas within the Concept Plan boundaries. The Development Plan purposes and procedures are defined in the following text taken directly from the EVCSF sections EV 1.0405 and EV 1.0415.

## 7. DEVELOPMENT AGREEMENT

California Government Code Sections 65864 through 65869.5 make provision for a Development Agreement between the developer and the City of Redlands. This provision is optional with the Developer. This contract will establish discretionary entitlements to use of the property and the related requirements for the developer to provide public improvements or benefits.

## 8. INFRASTRUCTURE

Public infrastructure improvements for street, water, sewer, and storm drain shall be designed and constructed in accordance with the established City codes and standards. Infrastructure improvements may be phased with development when it is determined by the City Engineer that such phasing is appropriate for proper operation of the developed site. Deferred improvements shall be secured by surety bond unless such improvements are determined to be the responsibility of another party.

## 9. FEES

The project owner/developer shall be required to pay all fees in accordance with the current fee schedules for development impact, processing, and plan checking. The construction cost of master-planned infrastructure by the developer shall be credited against the required fees. The extension of improvements beyond the proposed project shall be reimbursed by future benefiting development pursuant to the provisions of a Recorded Reimbursement Agreement.

## 10. BUILDING PLANS

All building plans are subject to review and permit by the City of Redlands Department of Building and Safety. All buildings shall comply with the currently adopted editions of the Uniform Building Code, Uniform Plumbing Code, and the policies and practices of the City.

## 11. PHASING PROGRAM

### A. GENERAL

The Cities Pavillion will be developed in phases. The EVCSP specifies that the phasing of the project be addressed in the Concept Plan. This section provides an evaluation of the phasing program. The Cities Pavillion will be developed in a manner which optimizes the existing infrastructure. Certain elements must be constructed at the initial phase to ensure proper access and fire protection. San Bernardino Avenue will be improved with the initial phase to provide access from the freeway. New York Street is a major internal circulation element and is necessary for the development of Parcels A, B, K, L and M. Other necessary elements at the initial phase include the storm drain system and the 12 inch water line in San Bernardino Avenue. The attached Infrastructure Phasing Matrix will serve as a guide for evaluating the improvements needed for each parcel.

B. PHASING

Phase 1    Parcels A, K    9 months after initial approval

Theater                    40,000 s.f.  
Restaurants (3)        10,000/6,000/6,000 s.f.  
Office Building        10,000 s.f.  
Plaza (outdoor)

Phase 2    Parcels B,C,L,M    24 months after initial approval

Retail Stores            116,000 s.f.  
Restaurants (2)        9,000/8,000 s.f.  
Health Center          20,000 s.f.  
Offices                    27,000 s.f.

Phase 3    Parcel F                36 months after initial approval

Hotel                      153 rooms

Phase 4    Parcels G,H,J,N,P,Q    36 months after initial approval

Retail Stores            79,000 s.f.  
Office Building        24,000 s.f.

Phase 5    Parcels D, E          48 months after initial approval

Retail Stores            68,000 s.f.

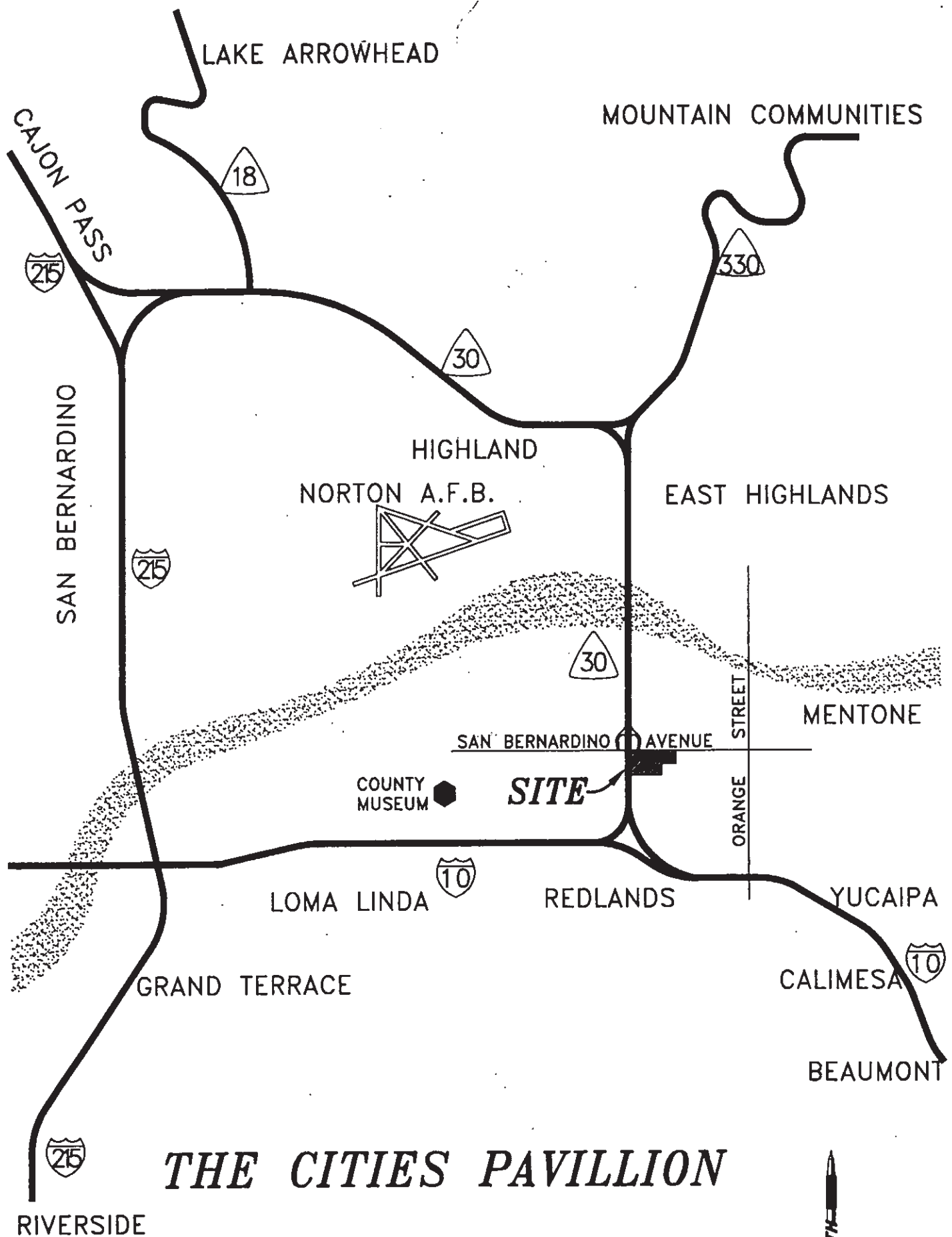


# THE CITIES PAVILLION INFRASTRUCTURE PHASING MATRIX

ITEM #	INFRASTRUCTURE ELEMENT	PARCEL														
		A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q
<b>STREETS</b>																
1	SB (TN - K)	X	X	X			X				X	X	X			
2	SB (K - TX)							X	X	X				X	X	X
3	TN (SB - P)				X	X										
4	TX (SB - E)							X	X	X				X	X	X
5	NY (SB - P)	X	X	X			X				X	X	X			
6	P (TN - NY)	X	X								X	X	X			
7	A (NY - K)						X						X			
8	A (K - TX)							X	X	X				X	X	X
9	B (A - SB)							X	X	X				X	X	X
10	K (P - E)	X	X	X	X	X	X				X	X	X			
<b>WATER</b>																
11	SB - 12" (TN - TX)	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
12	NY - 12" (SB - A)	X	X	X			X				X	X	X			
13	NY - 12" (A - P)	X	X	X							X	X	X			
14	P - 12" (TN - NY)	X					X									
15	P - 8" (NY - K)	X	X								X	X	X			
16	TN - 12" (SB - P)				X	X										
17	TX - 12" (SB - E)							X	X	X				X	X	X
18	A - 8" (NY - K)						X						X			
19	A - 8" (K - TX)							X	X	X				X	X	X
<b>SEWER</b>																
20	A - 8" (NY - K)						X						X			
21	A - 8" (K - TX)							X	X	X				X	X	X
<b>STORM DRAIN</b>																
22	SB (TN - NY)	X	X	X			X				X	X	X			
23	P (TN - NY)	X	X	X			X				X	X	X			

## LEGEND

SB	San Bernardino Avenue
TN	Tennessee Street
TX	Texas Street
NY	New York Street
P	Pennsylvania Street
K	Karon Street
A	"A" Street
B	"B" Street
E	Elise Drive



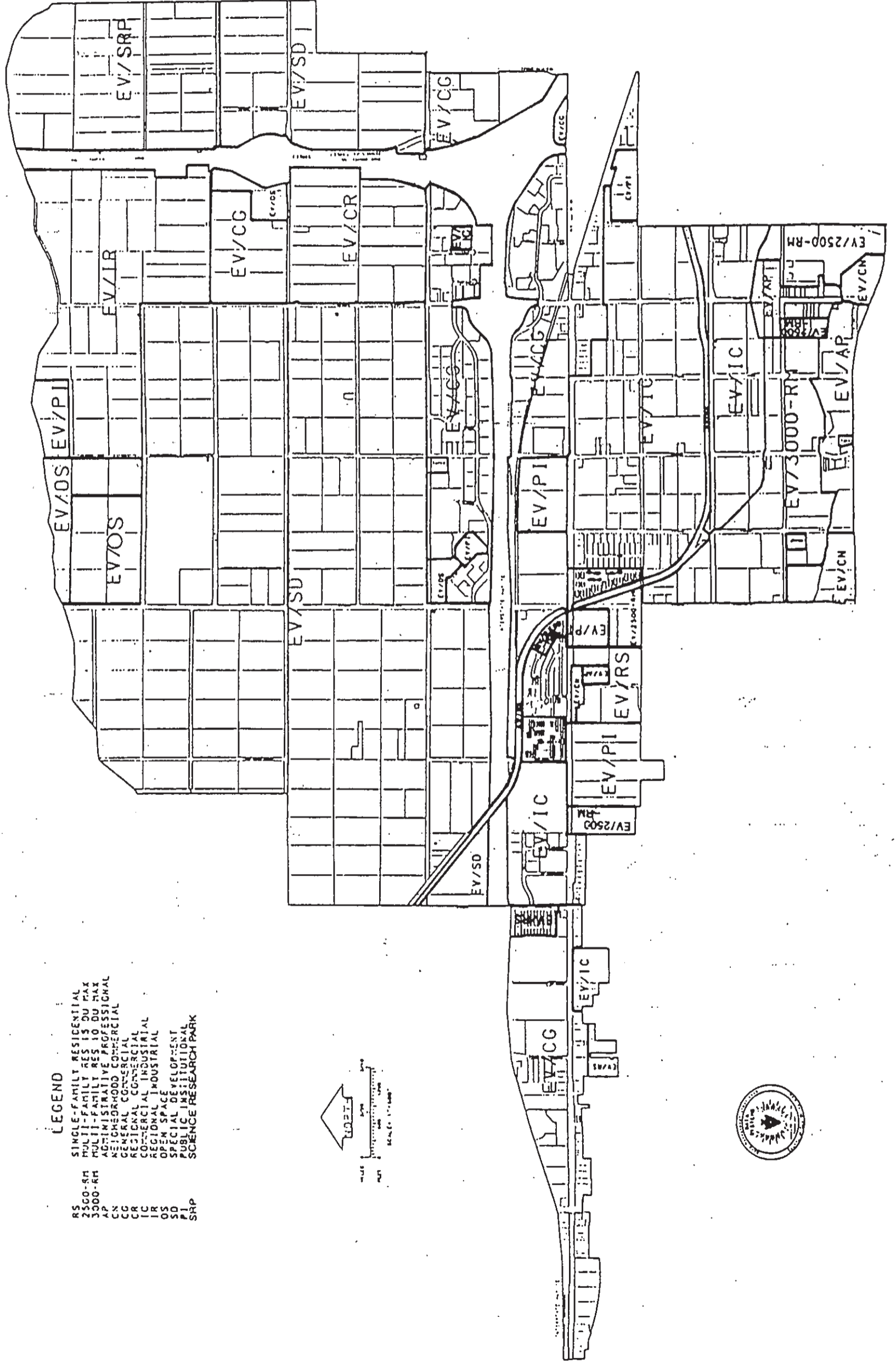
# THE CITIES PAVILLION

## MARKET LOCATION MAP

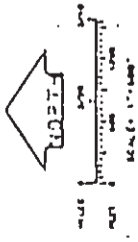
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 REDLANDS, CA

# EAST VALLEY CORRIDOR SPECIFIC PLAN

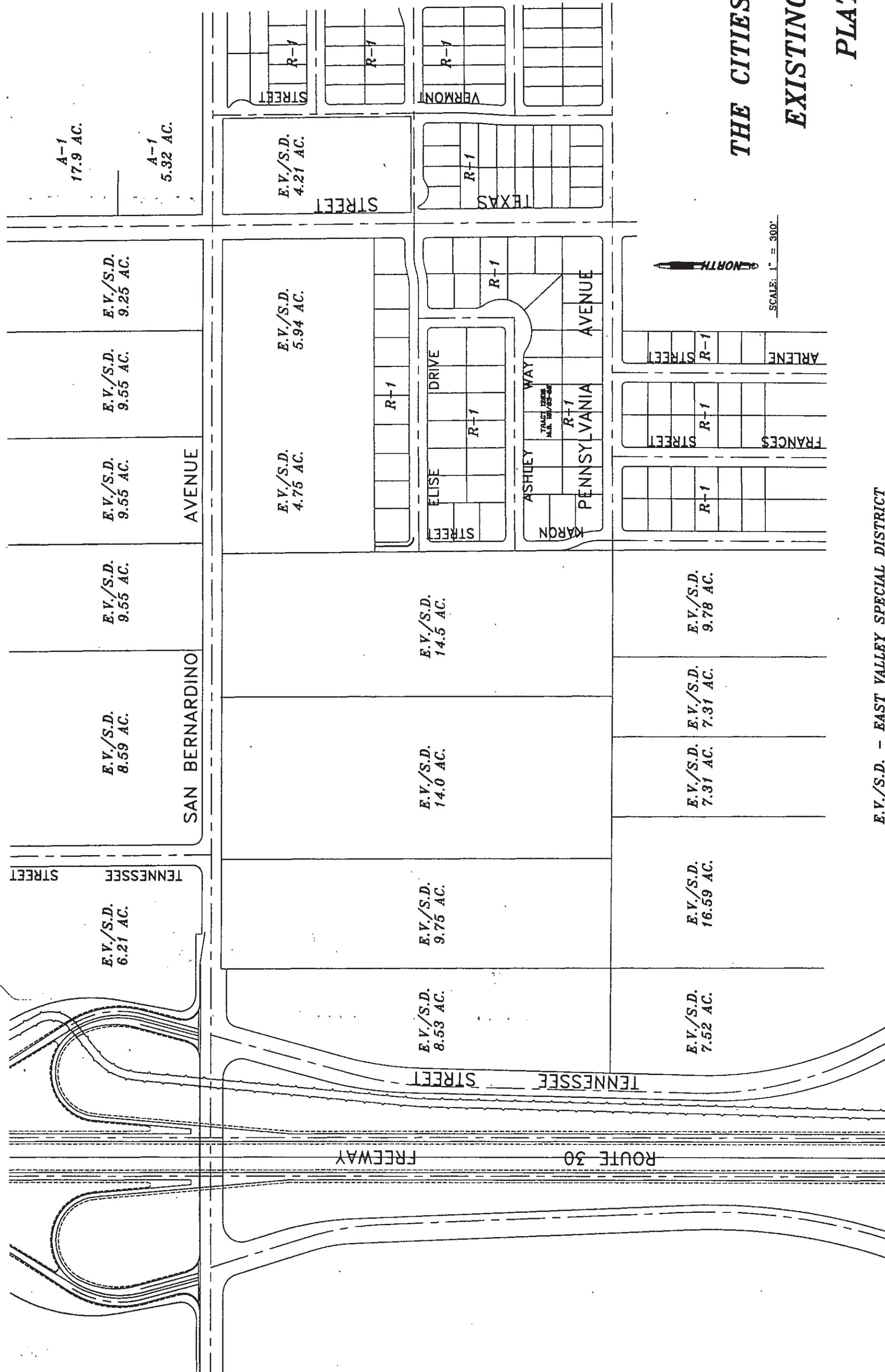
## LAND USE DISTRICTS



- LEGEND**
- RS SINGLE-FAMILY RESIDENTIAL
  - 2500-RH MULTI-FAMILY RES 15 DU MAX
  - 2500-RM MULTI-FAMILY RES 10 DU MAX
  - 2K ADMINISTRATIVE PROFESSIONAL
  - 2N NEIGHBORHOOD COMMERCIAL
  - 2C GENERAL COMMERCIAL
  - 2R REGIONAL COMMERCIAL
  - 2I REGIONAL INDUSTRIAL
  - OS OPEN SPACE
  - SD SPECIAL DEVELOPMENT
  - PI PUBLIC INSTITUTIONAL
  - SHP SCIENCE RESEARCH PARK







A-1  
17.9 AC.

A-1  
5.32 AC.

E.V./S.D.  
9.25 AC.

E.V./S.D.  
9.55 AC.

E.V./S.D.  
9.55 AC.

E.V./S.D.  
9.55 AC.

E.V./S.D.  
8.59 AC.

E.V./S.D.  
6.21 AC.

E.V./S.D.  
4.21 AC.

E.V./S.D.  
5.94 AC.

E.V./S.D.  
4.75 AC.

E.V./S.D.  
14.5 AC.

E.V./S.D.  
14.0 AC.

E.V./S.D.  
9.75 AC.

E.V./S.D.  
8.53 AC.

E.V./S.D.  
9.78 AC.

E.V./S.D.  
7.31 AC.

E.V./S.D.  
7.31 AC.

E.V./S.D.  
16.59 AC.

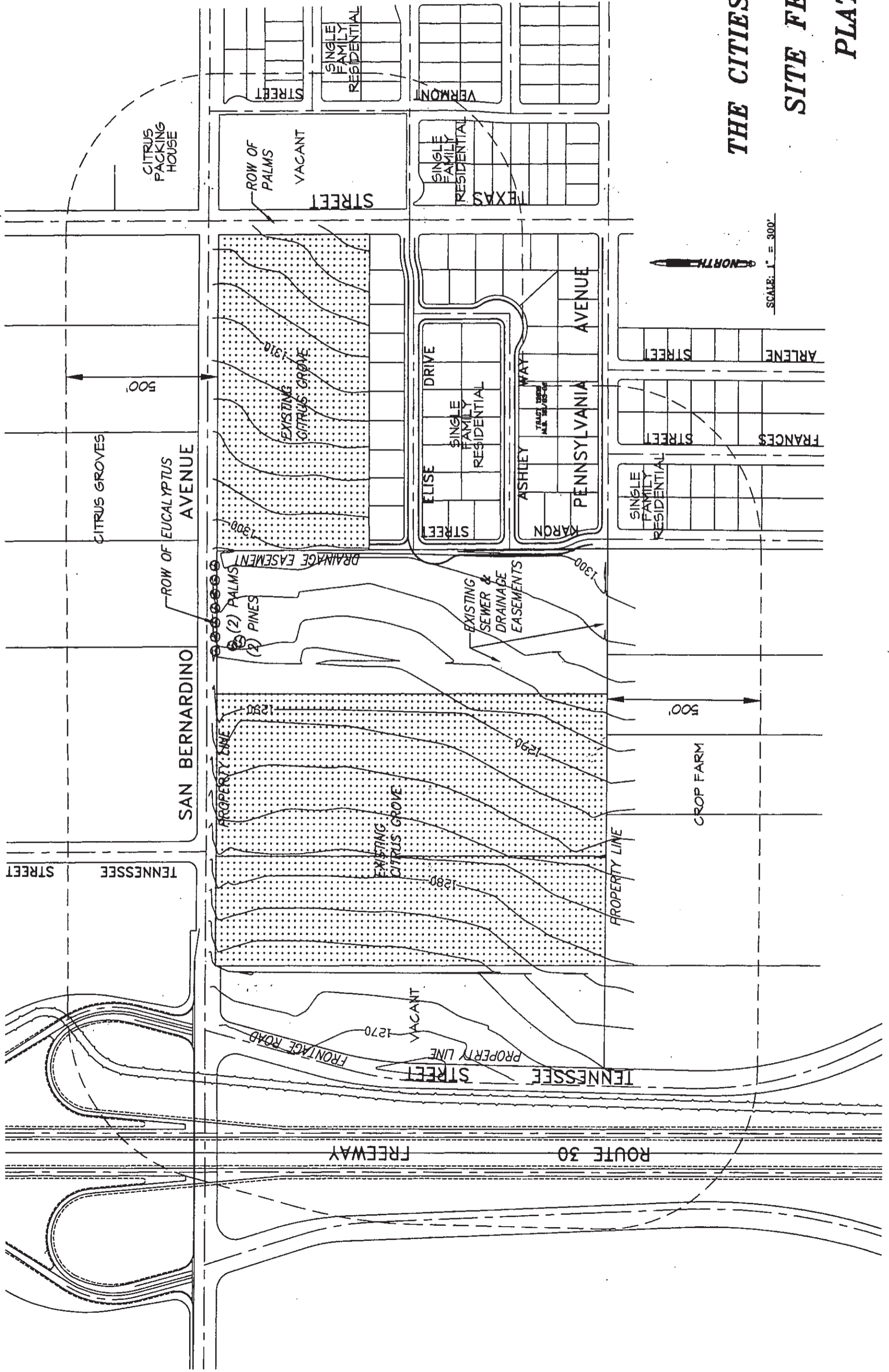
E.V./S.D.  
7.52 AC.

THE CITIES PAVILLION  
EXISTING ZONING  
PLATE 4

NORTH  
SCALE: 1" = 300'

E.V./S.D. - EAST VALLEY SPECIAL DISTRICT  
E.V./C.G. - EAST VALLEY GENERAL COMMERCIAL

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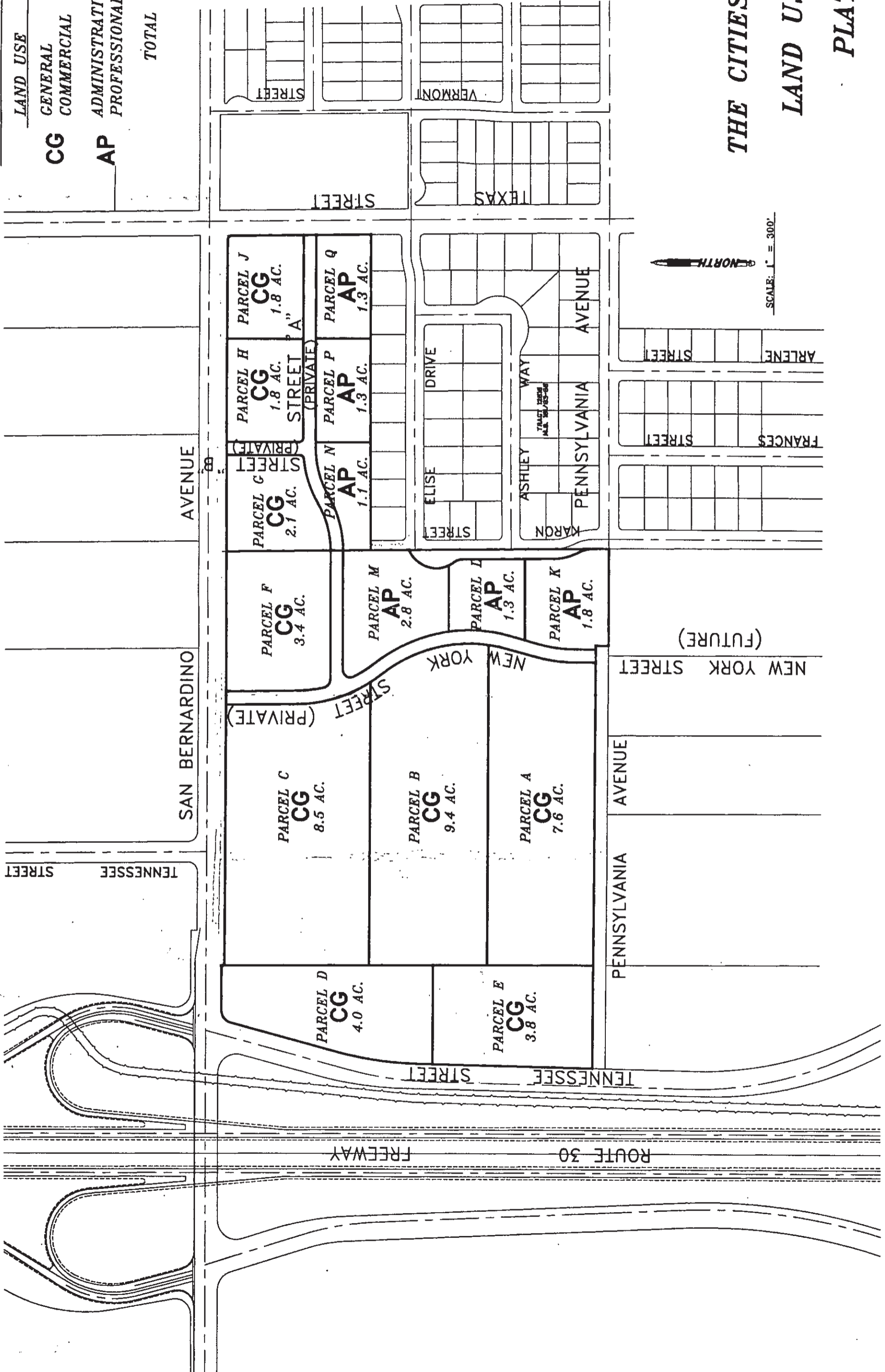


**THE CITIES PAVILLION**  
**SITE FEATURES**  
**PLATE 5**

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 REDLANDS, CA

LAND USE SUMMARY

LAND USE	ACRES	PCT(%)
CG GENERAL COMMERCIAL	42.3	81.5
AP ADMINISTRATIVE PROFESSIONAL	9.6	18.5
TOTAL	51.9	100.0

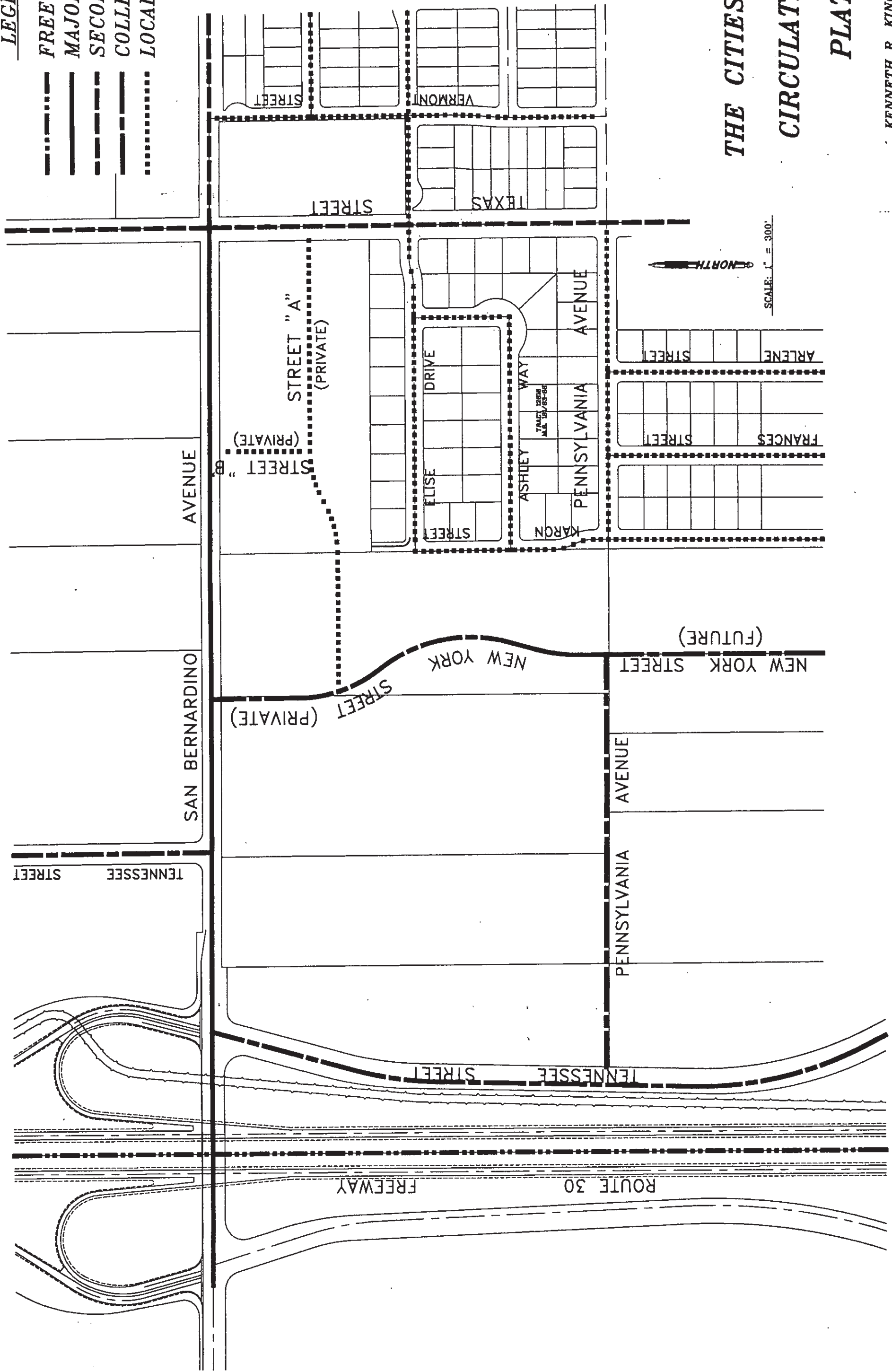


THE CITIES PAVILLION  
LAND USE PLAN  
PLATE 6

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LEGEND

- FREEWAY
- MAJOR ARTERIAL
- SECONDARY HIGHWAY
- COLLECTOR STREET
- LOCAL STREET

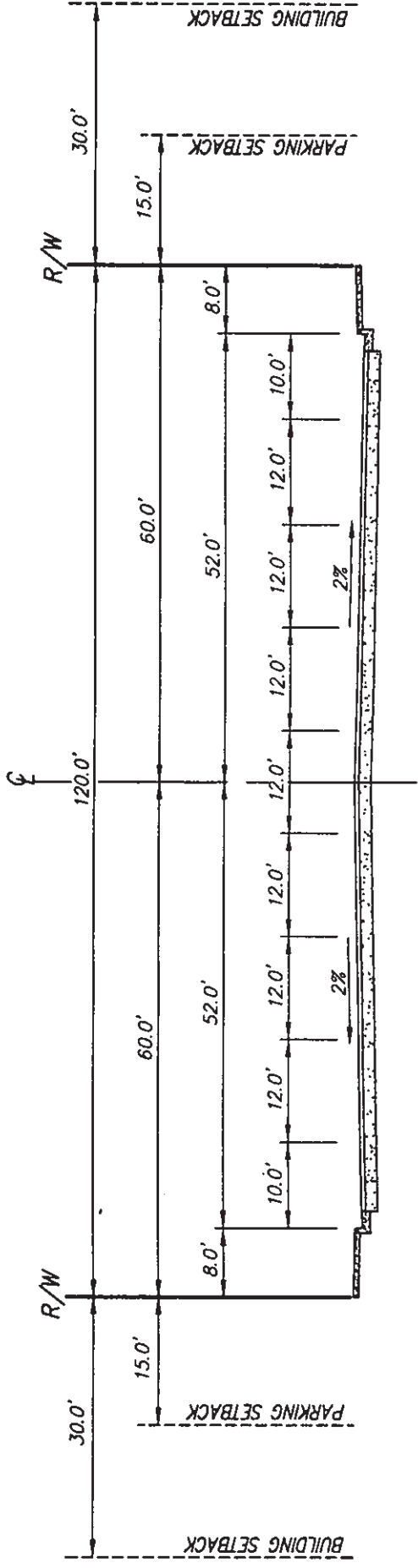


THE CITIES PAVILLION  
CIRCULATION PLAN

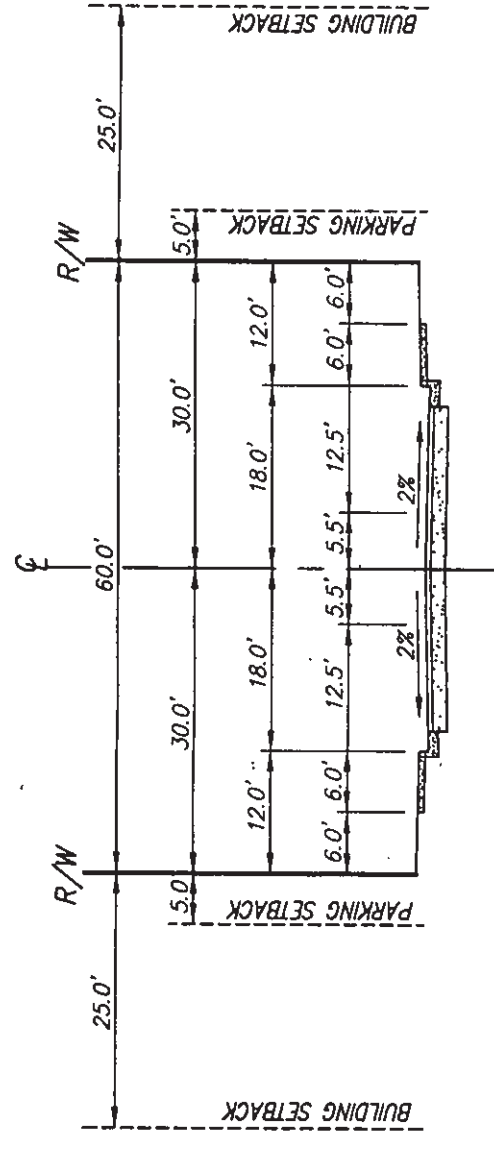
PLATE 7

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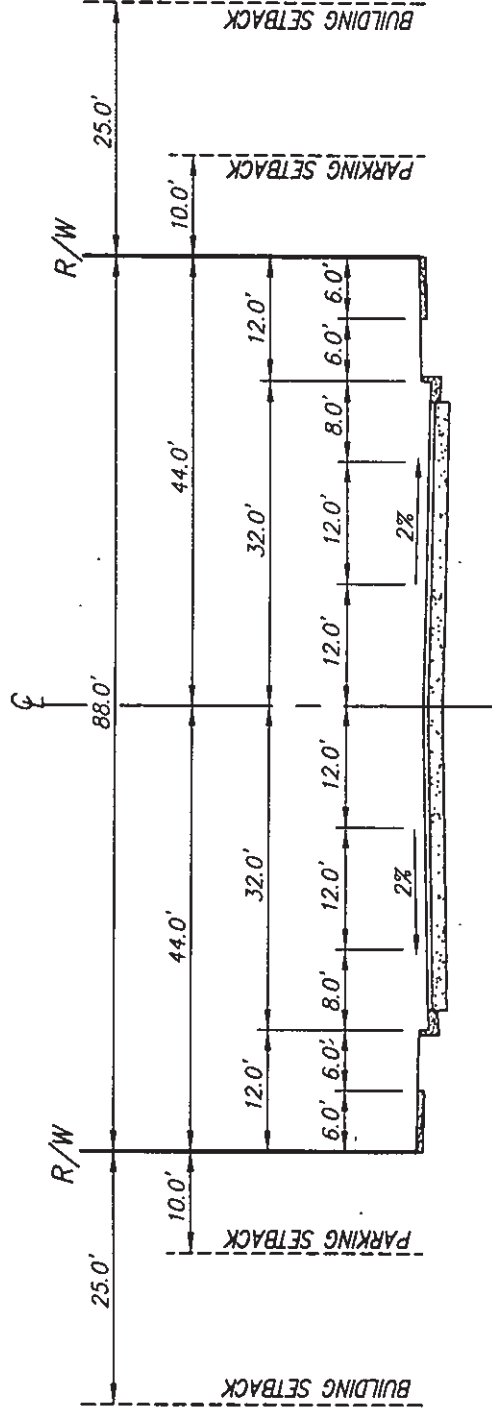




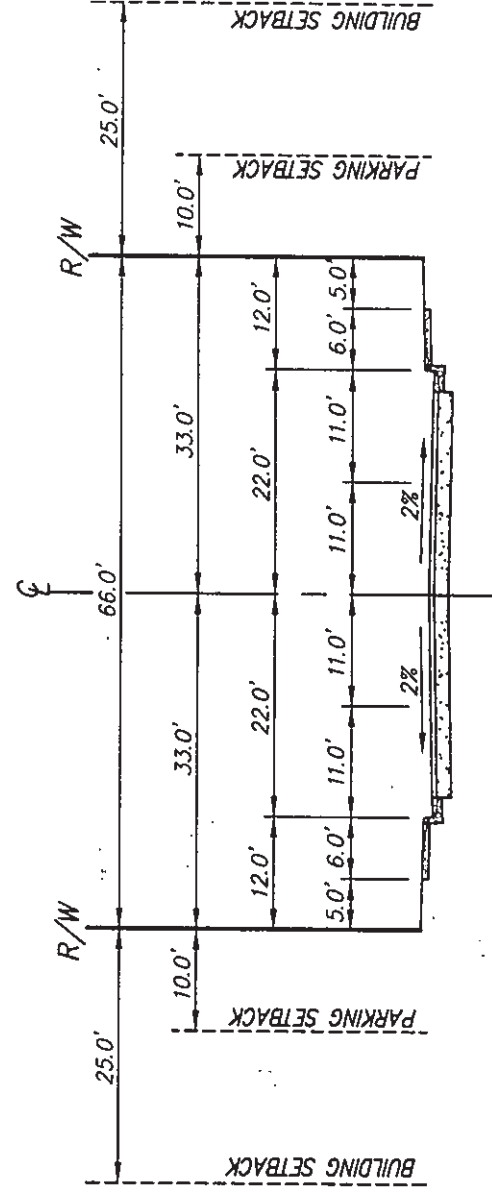
SAN BERNARDINO AVENUE  
MAJOR ARTERIAL



INTERIOR STREETS\*  
LOCAL STREET



TEXAS STREET  
SECONDARY HIGHWAY



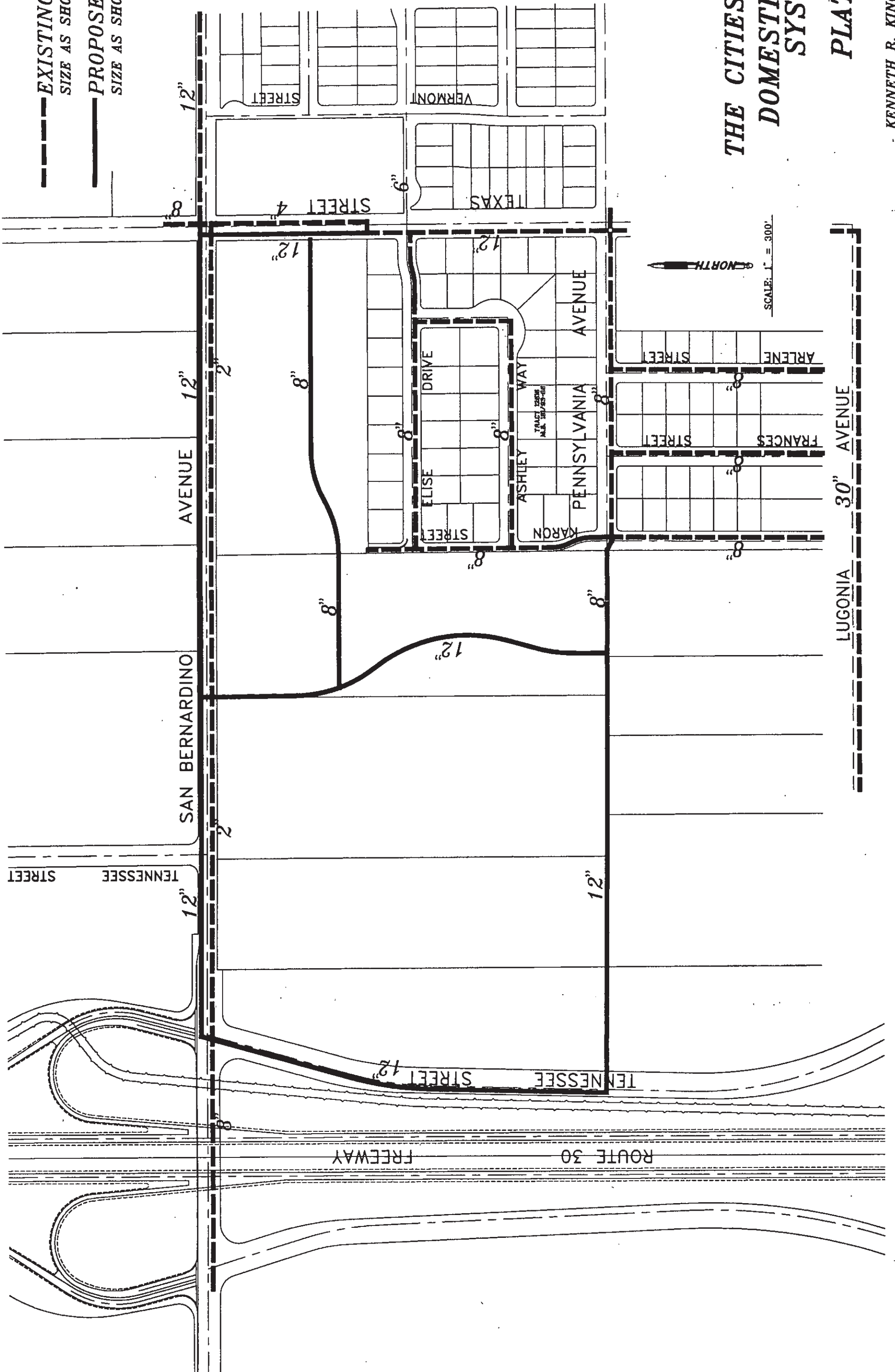
NEW YORK STREET\*  
PENNSYLVANIA AVENUE  
TENNESSEE STREET  
COLLECTOR STREET

\* PRIVATE STREETS SHALL HAVE R/W LINE  
AT BACK OF CURB - SIDEWALKS WILL BE  
DESIGNED WITH ON-SITE LANDSCAPING.

SCALE: 1" = 20'

**THE CITIES PAVILLION**  
**STREET SECTIONS**  
**PLATE 8**

--- EXISTING WATER MAIN  
 SIZE AS SHOWN  
 — PROPOSED WATER MAIN  
 SIZE AS SHOWN

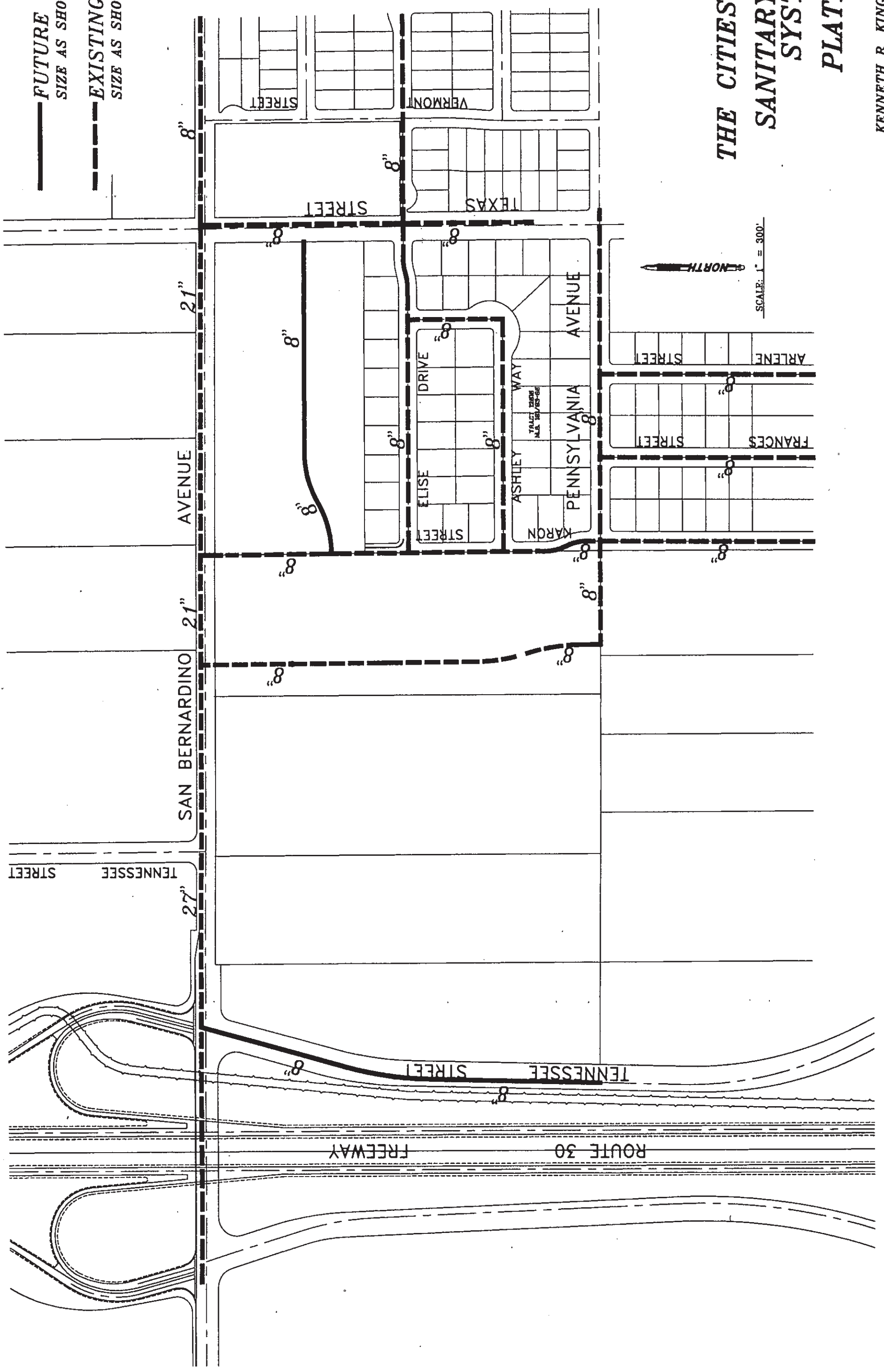


THE CITIES PAVILLION  
 DOMESTIC WATER  
 SYSTEM

PLATE 9

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 REDLANDS, CA

——— FUTURE SEWER MAIN  
 SIZE AS SHOWN  
 - - - EXISTING SEWER MAIN  
 SIZE AS SHOWN



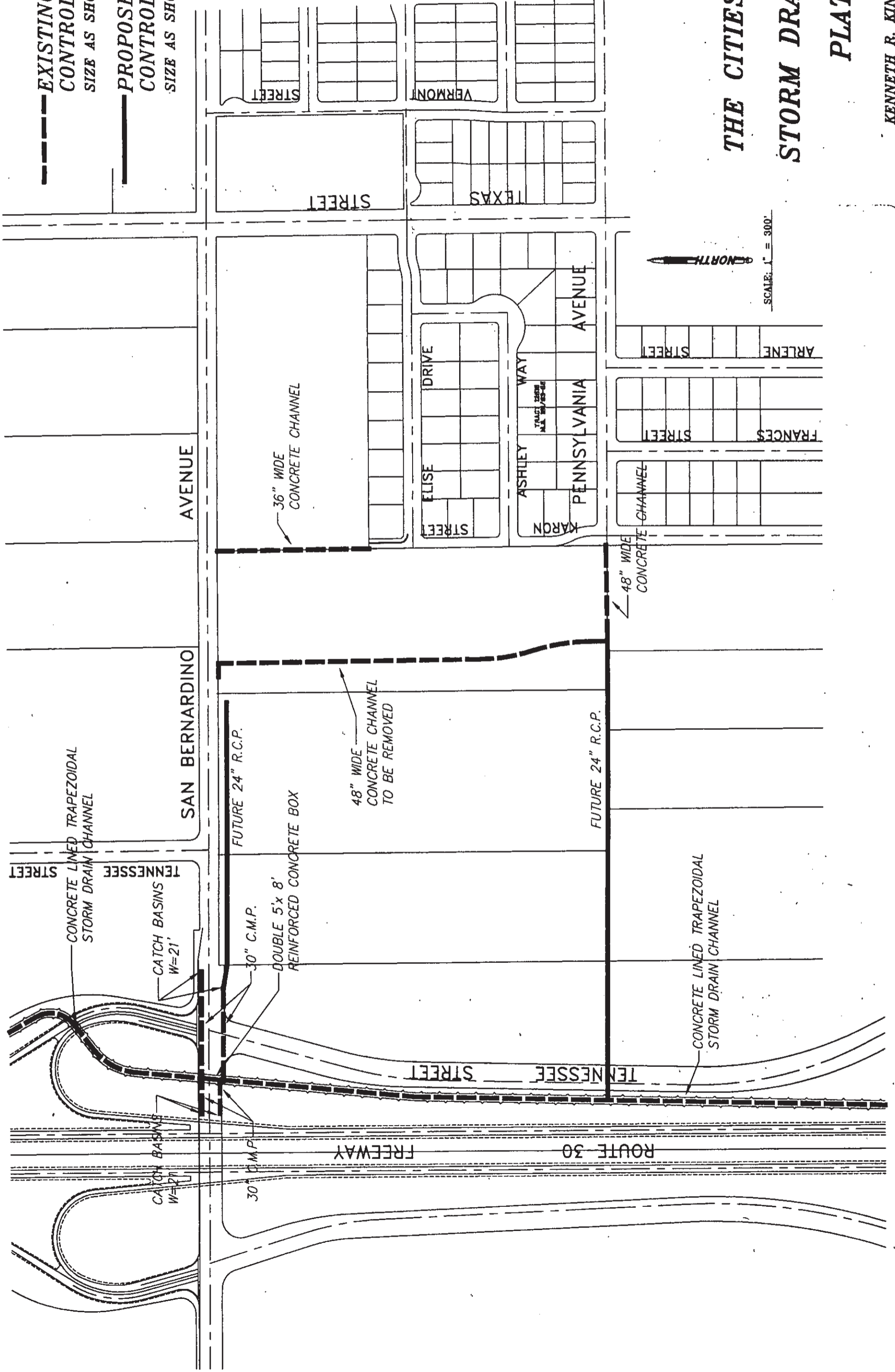
SCALE: 1" = 300'

THE CITIES PAVILLION  
 SANITARY SEWER  
 SYSTEM  
 PLATE 10

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--- EXISTING DRAINAGE CONTROL  
SIZE AS SHOWN

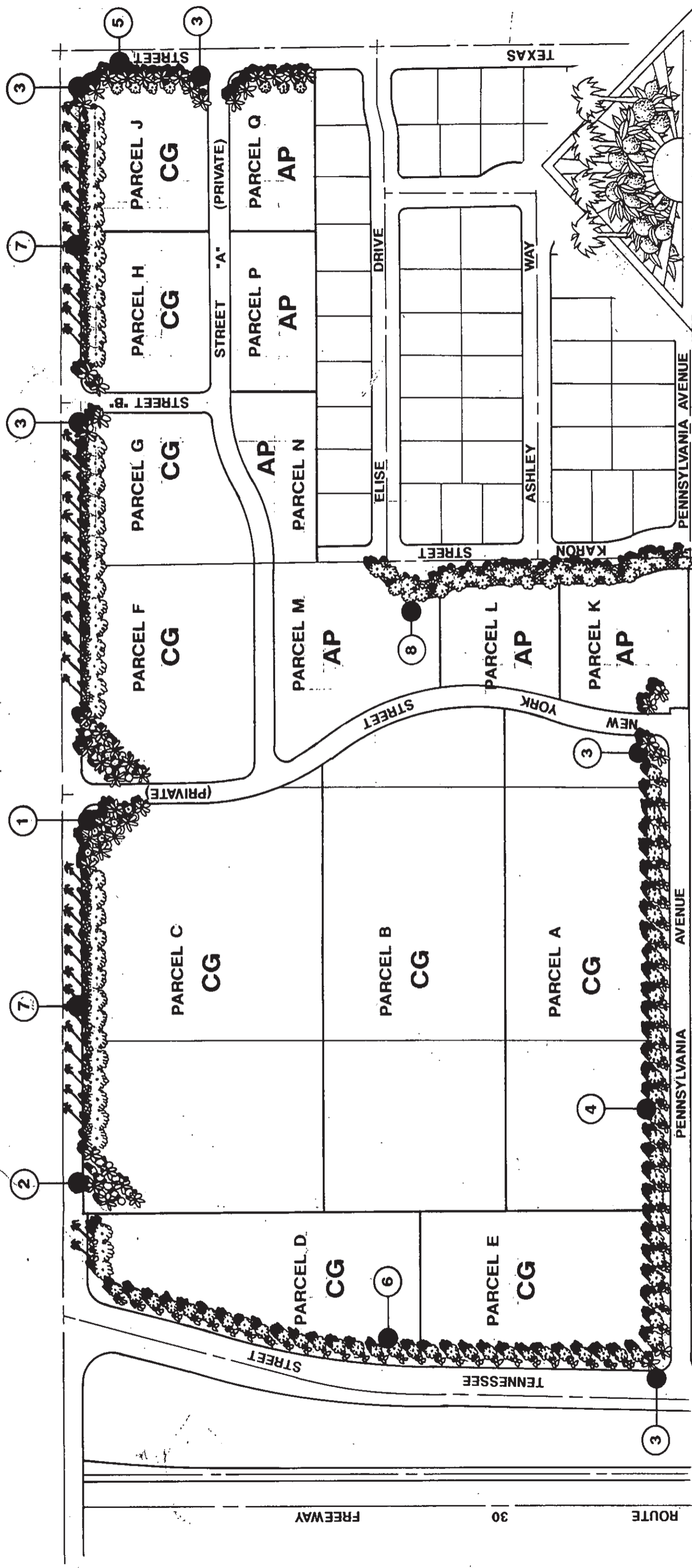
— PROPOSED DRAINAGE CONTROL  
SIZE AS SHOWN



# THE CITIES PAVILLION STORM DRAIN SYSTEM

## PLATE 11

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REDLANDS, CA



**THE CITIES PAVILLION**  
**LANDSCAPE CONCEPT PLAN**  
**PLATE 12**



SCALE: 1" = 200'

**LEGEND CONT.**

- ⑤ TEXAS ST. STREET SCENE  
SEE PLANTING CONCEPT
- ⑥ TENNESSEE ST. STREET SCENE  
SEE PLANTING CONCEPT
- ⑦ SAN BERNARDINO AVE.  
STREET SCENE SEE PLANTING  
CONCEPT
- ⑧ KARON STREET BUFFER  
SEE PLANTING CONCEPT

**LEGEND CONT.**

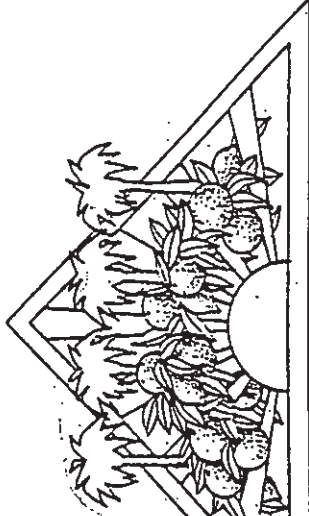
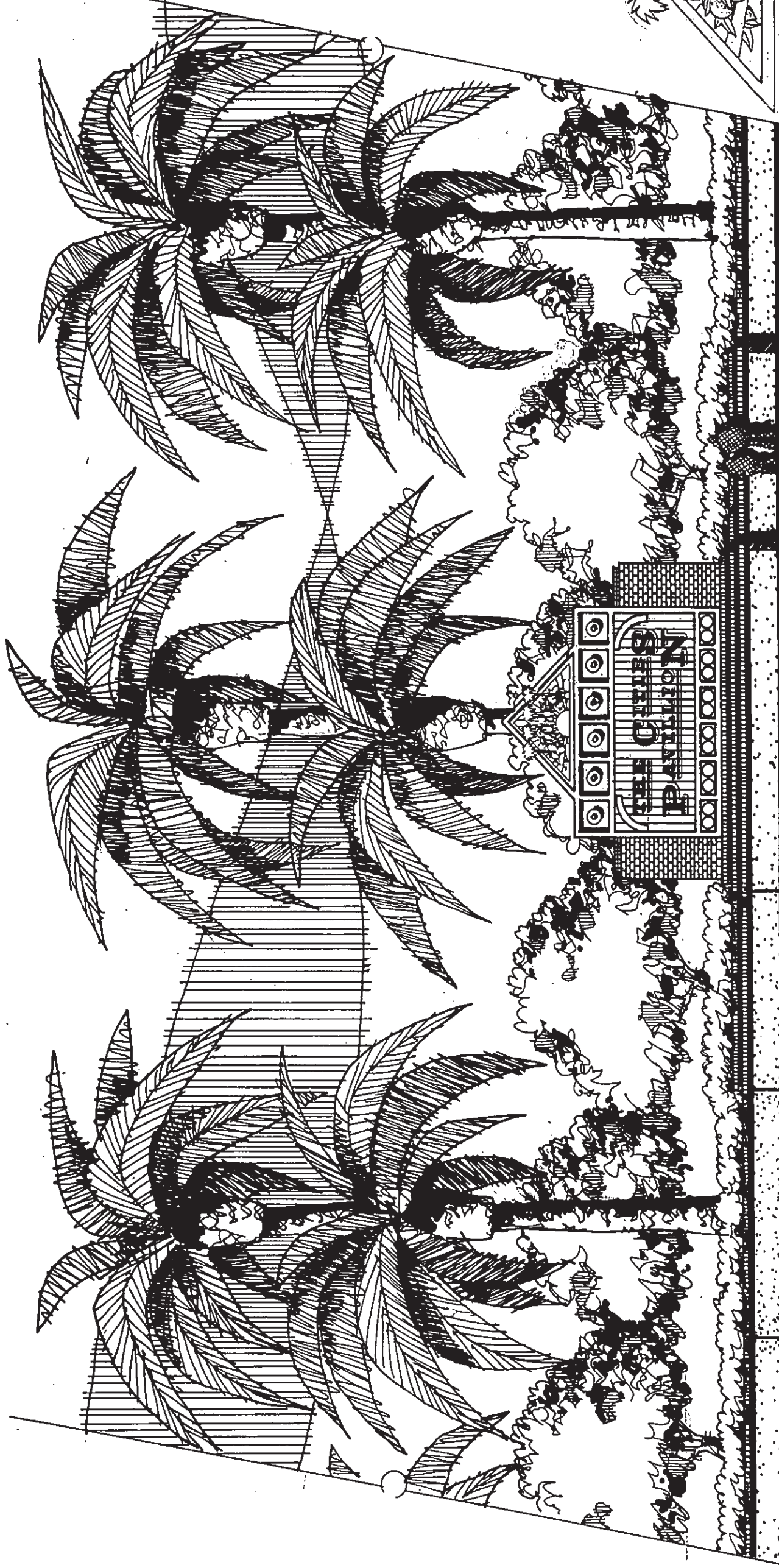
- ① PRIMARY MONUMENT ENTRY  
SEE DESIGN CONCEPT
- ② SECONDARY MONUMENT ENTRY
- ③ TERTIARY ENTRY PLANTING
- ④ PENNSYLVANIA AVE. STREET  
SCENE SEE PLANTING CONCEPT

**LEGEND**

- ① PRIMARY MONUMENT ENTRY  
SEE DESIGN CONCEPT
- ② SECONDARY MONUMENT ENTRY
- ③ TERTIARY ENTRY PLANTING
- ④ PENNSYLVANIA AVE. STREET  
SCENE SEE PLANTING CONCEPT

KENNETH R. KING  
(909) 793-3858

KAMMEYER  
& ASSOCIATES  
(909) 371-2444



THE  
**CITIES PAVILLION**

DESIGN CONCEPT  
**ENTRY MONUMENT**  
PLAT 13

CITRUS GROVE BEHIND PLANTER WALL	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM GROVE W/ CITRUS BEHIND PLANTER WALL	CITRUS GROVE BEHIND PLANTER WALL	WROUGHT IRON ENTRY MONUMENT SIGNAGE W/ BRICK PILASTERS	CITRUS GROVE BEHIND PLANTER WALL	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM GROVE W/ CITRUS BEHIND PLANTER WALL
-------------------------------------	--	--	---	--	---

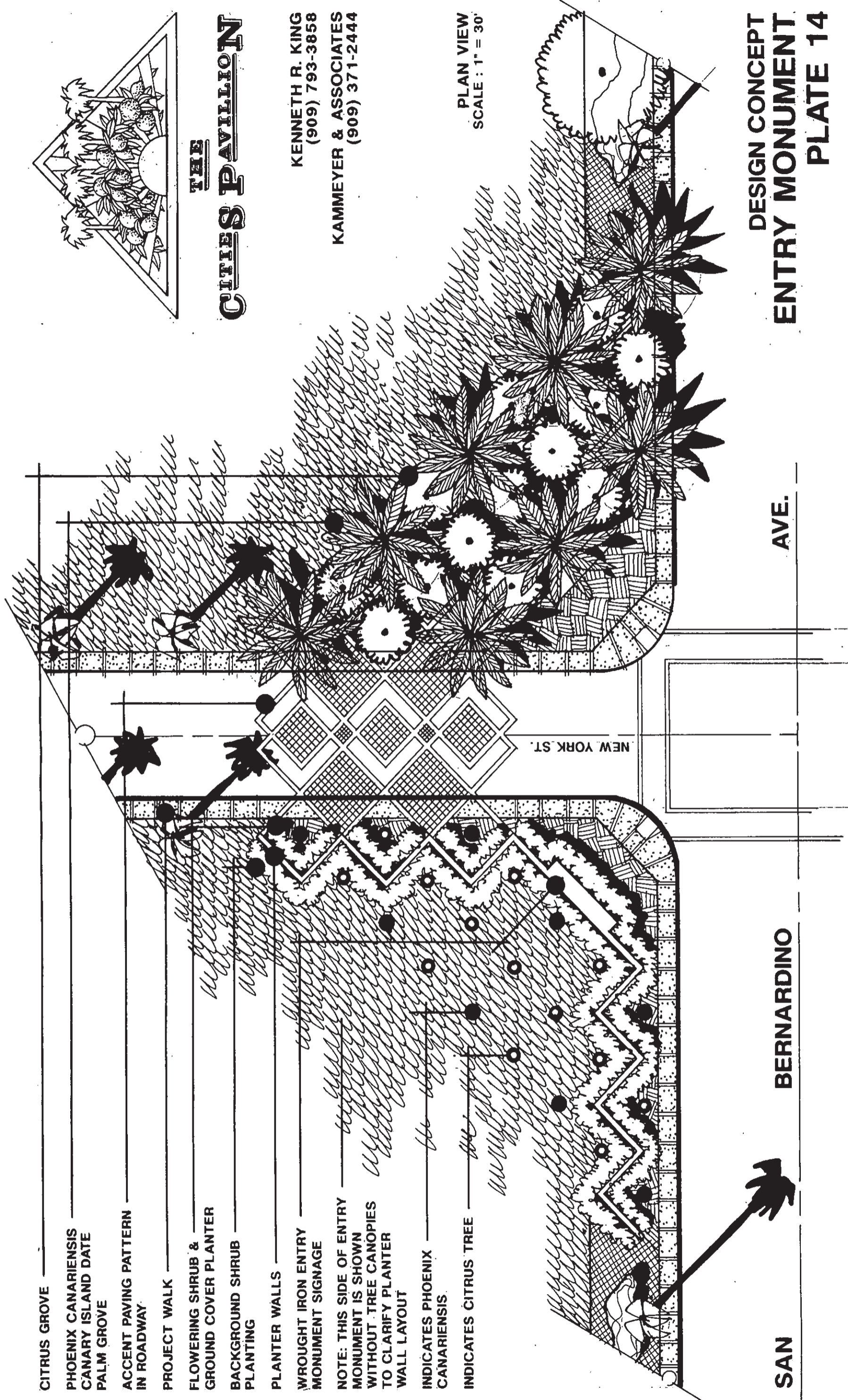
ELEVATION  
NOT TO SCALE



**THE CITIES PAVILLION**

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KAMMEYER & ASSOCIATES  
(909) 371-2444

PLAN VIEW  
SCALE: 1" = 30'



CITRUS GROVE

PHOENIX CANARIENSIS  
CANARY ISLAND DATE  
PALM GROVE

ACCENT PAVING PATTERN  
IN ROADWAY

PROJECT WALK

FLOWERING SHRUB &  
GROUND COVER PLANTER

BACKGROUND SHRUB  
PLANTING

PLANTER WALLS

WROUGHT IRON ENTRY  
MONUMENT SIGNAGE

NOTE: THIS SIDE OF ENTRY  
MONUMENT IS SHOWN  
WITHOUT TREE CANOPIES  
TO CLARIFY PLANTER  
WALL LAYOUT

INDICATES PHOENIX  
CANARIENSIS

INDICATES CITRUS TREE

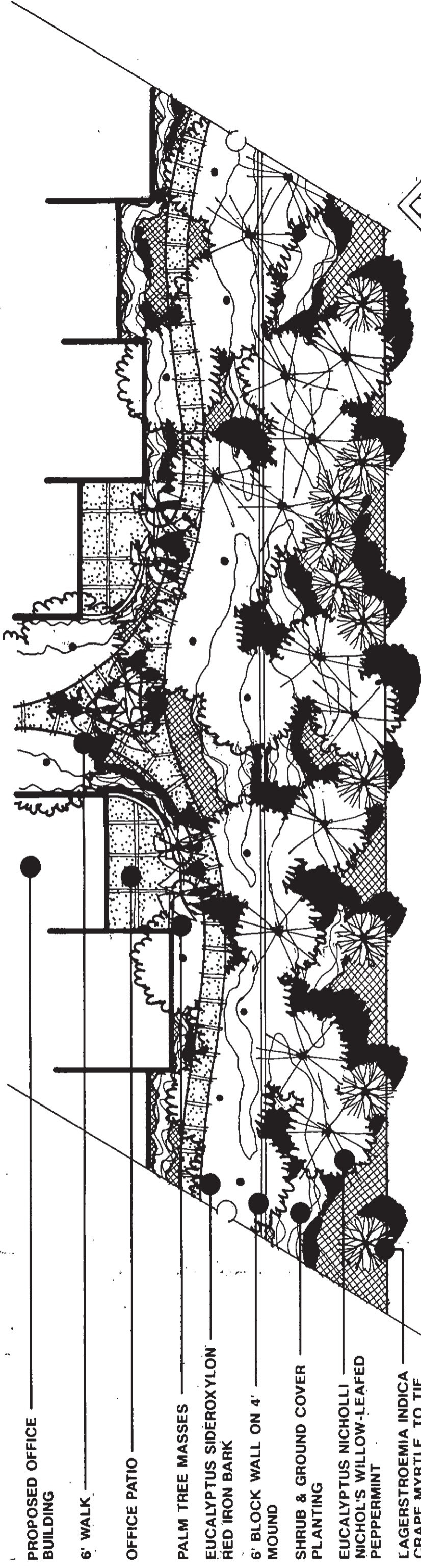
SAN

BERNARDINO

AVE.

NEW YORK ST.

DESIGN CONCEPT  
ENTRY MONUMENT  
PLATE 14



PROPOSED OFFICE BUILDING

6' WALK

OFFICE PATIO

PALM TREE MASSES

EUCALYPTUS SIDEROXYLON  
RED IRON BARK

6' BLOCK WALL ON 4'  
MOUND

SHRUB & GROUND COVER  
PLANTING

EUCALYPTUS NICHOLLI  
NICHOL'S WILLOW-LEAFED  
PEPPERMINT

LAGERSTROEMIA INDICA  
GRAPE MYRTLE TO TIE  
TO EXISTING PLANTING @  
EAST SIDE OF KARON  
STREET

KARON STREET

KARON STREET

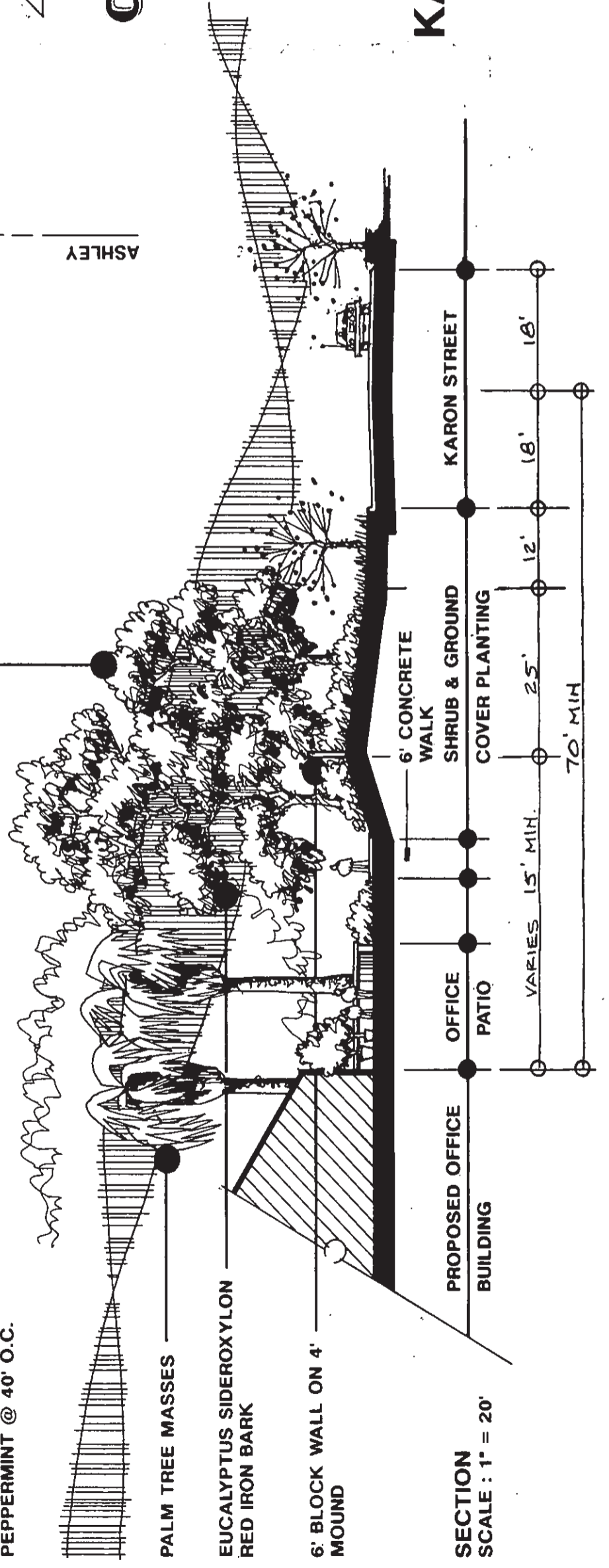
ASHLEY WAY



**THE CITIES PAVILLION**

KENNETH R. KING  
(909) 793-3858  
KAMMEYER & ASSOCIATES  
(909) 371-2444

**PLANTING CONCEPT  
KARON ST. BUFFER  
PLATE 15**



SECTION SCALE : 1" = 20'

PROPOSED OFFICE BUILDING

OFFICE PATIO

6' CONCRETE WALK  
SHRUB & GROUND COVER PLANTING

KARON STREET

18'

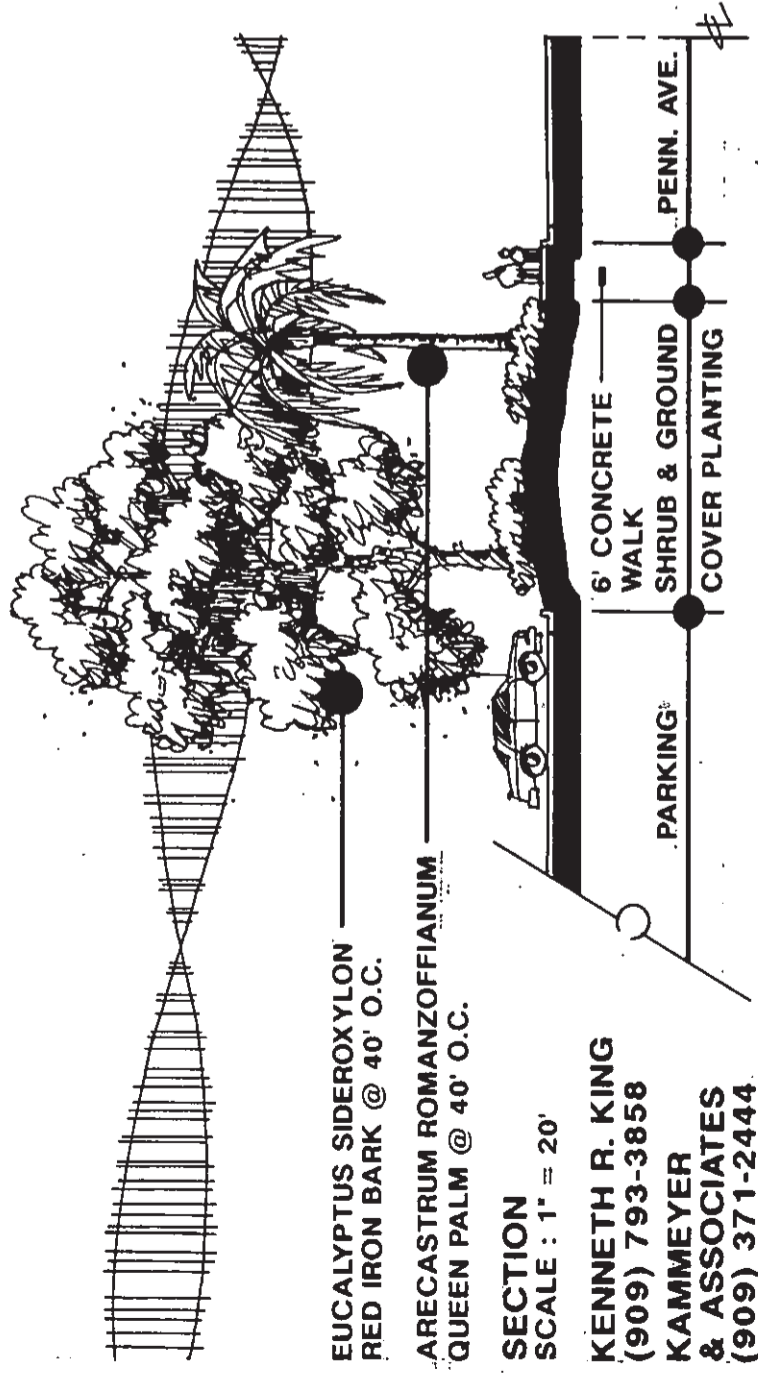
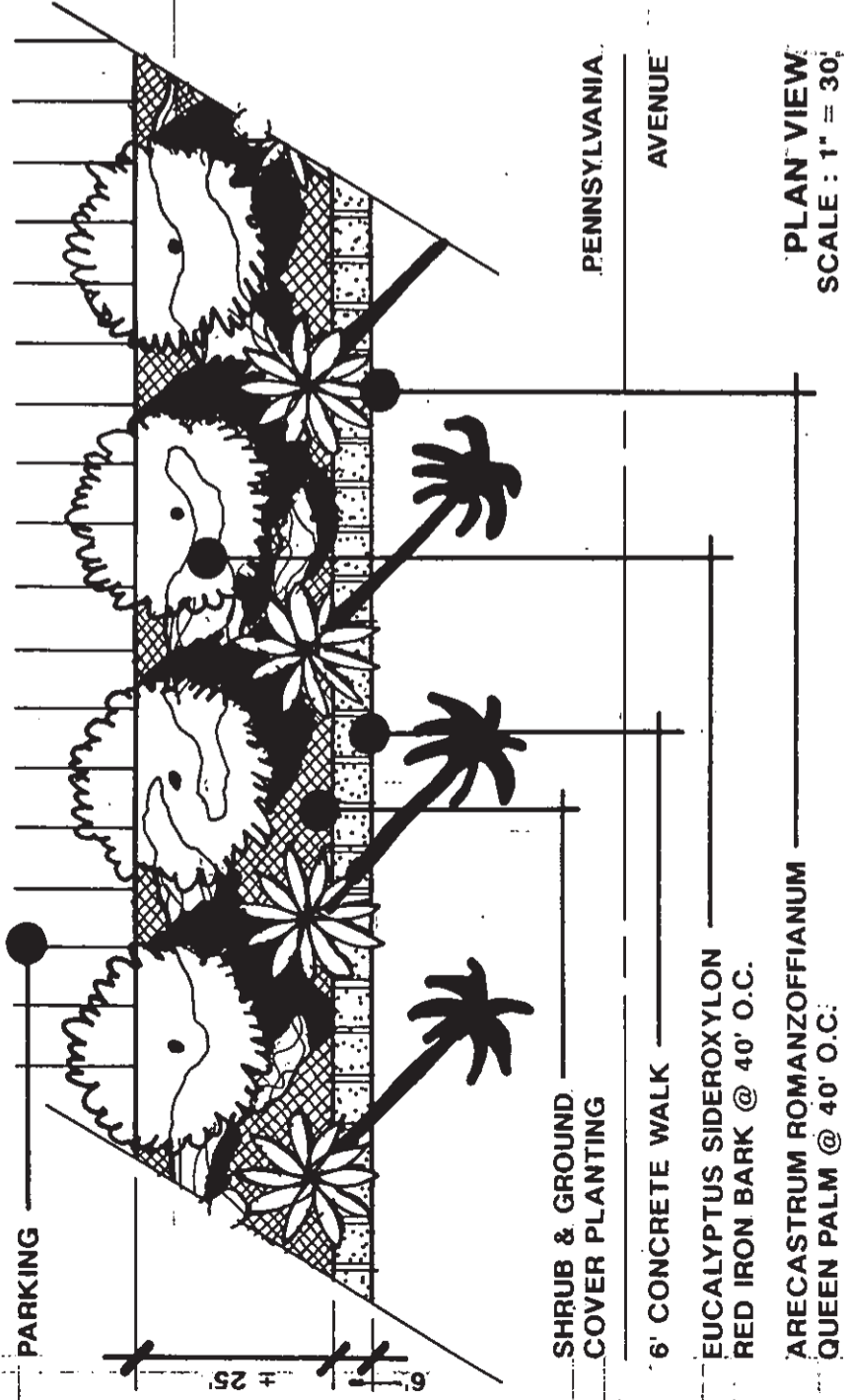
12'

VARIES 15' MIN.

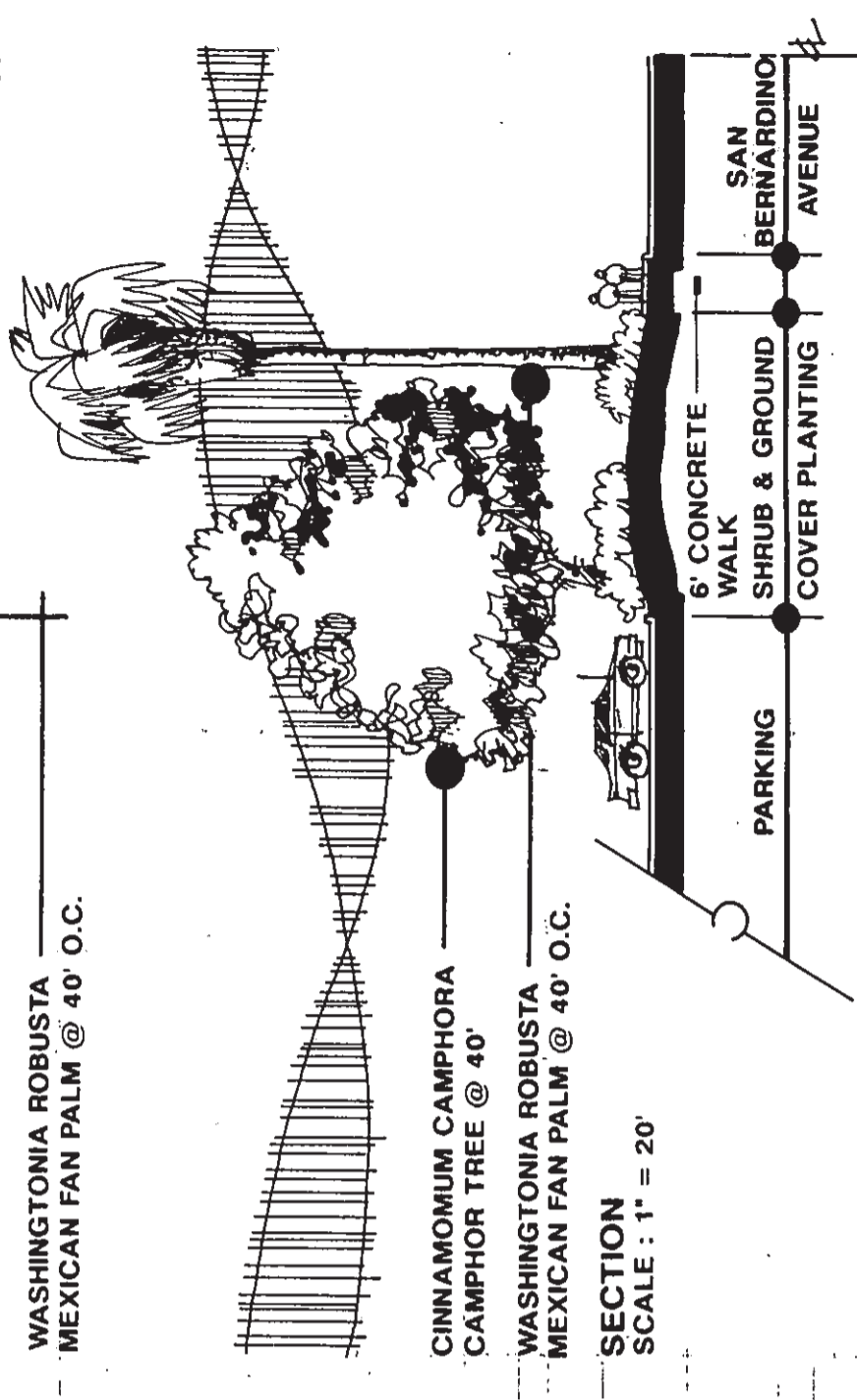
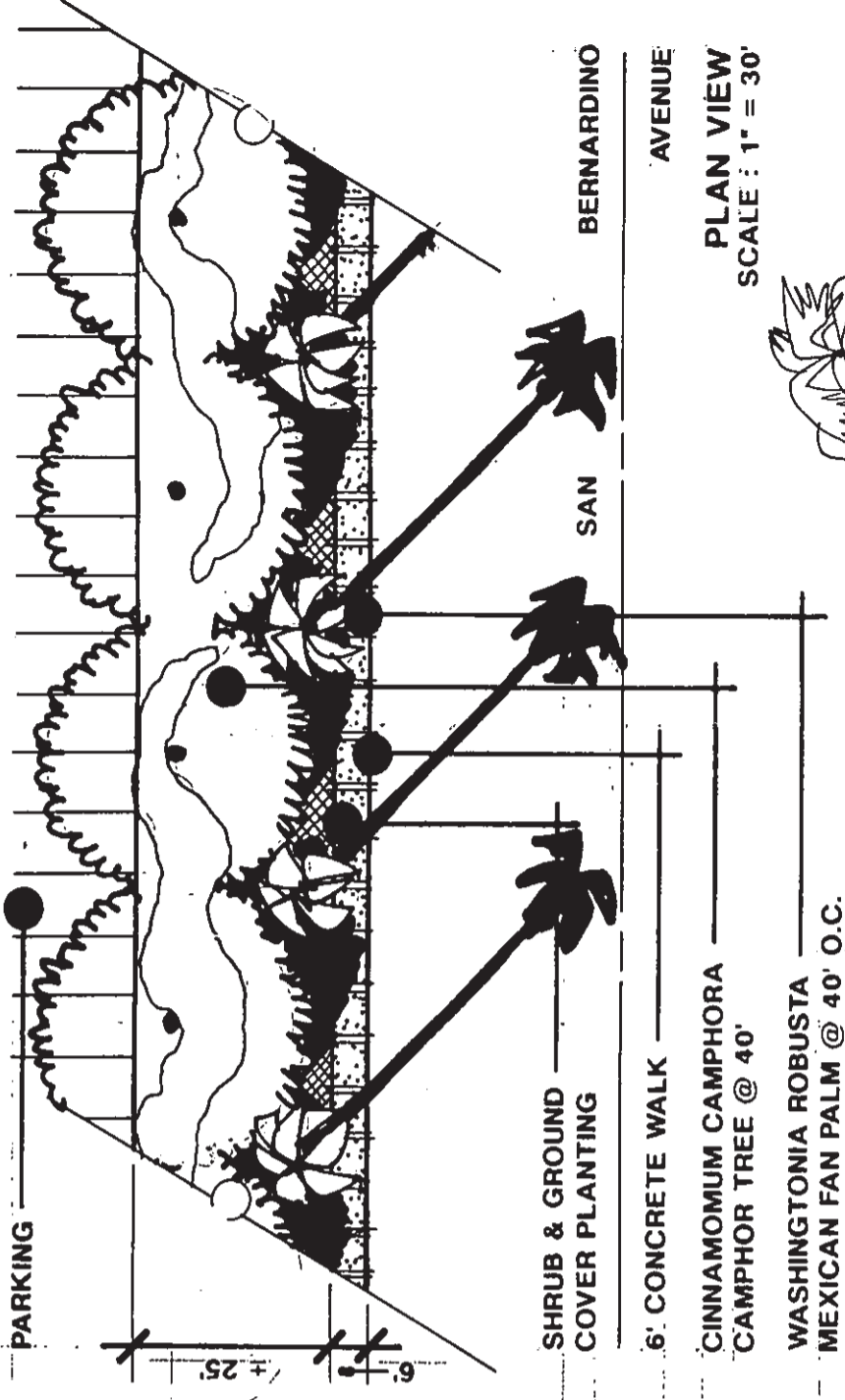
25'

70' MIN

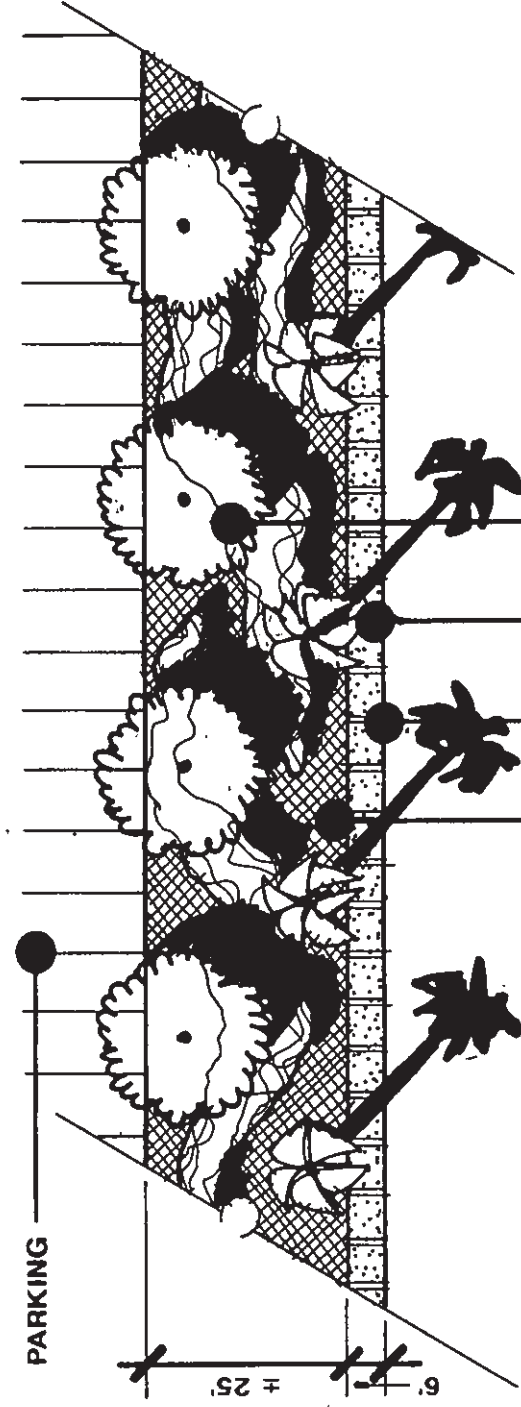




**PLANTING CONCEPT  
PENNSYLVANIA AVE.**



**PLANTING CONCEPT  
SAN BERNARDINO AVE.**



PARKING

SHRUB & GROUND COVER PLANTING

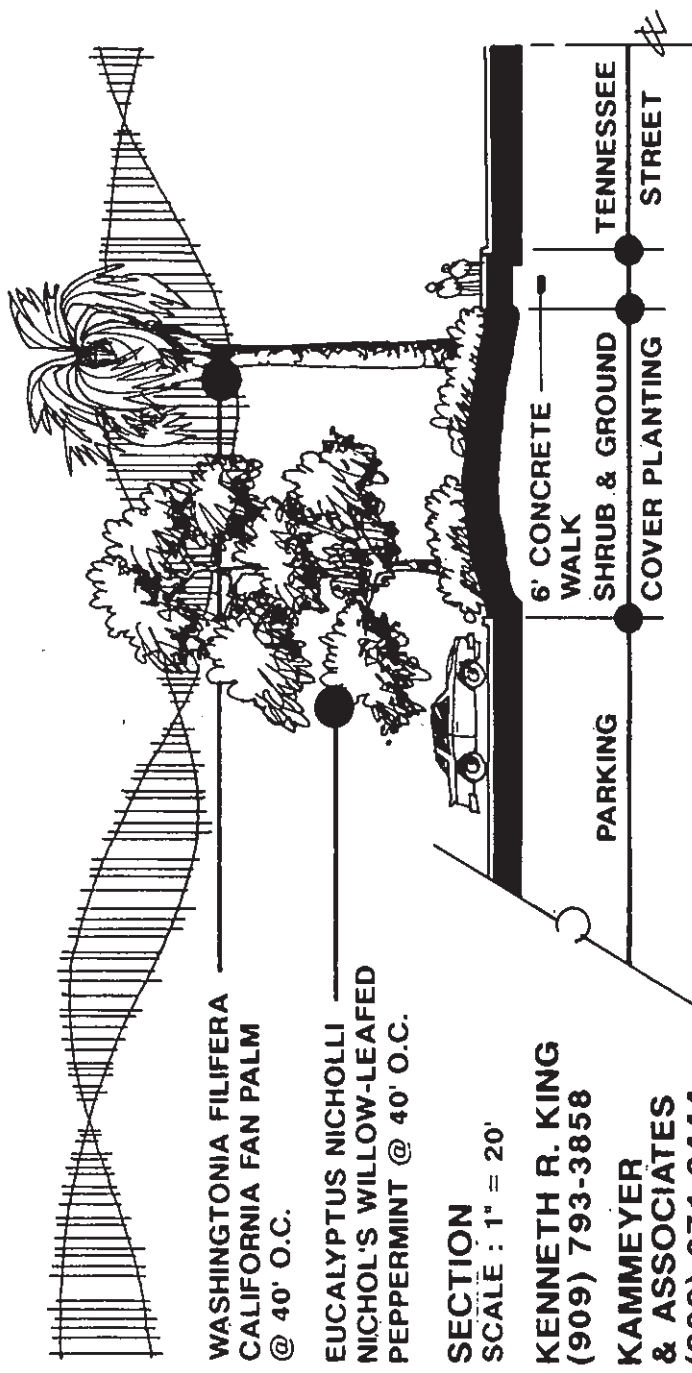
TENNESSEE STREET

6' CONCRETE WALK

WASHINGTONIA FILIFERA  
CALIFORNIA FAN PALM  
@ 40' O.C.

EUCALYPTUS NICHOLLI  
NICHOL'S WILLOW-LEAFED  
PEPPERMINT @ 40' O.C.

PLAN VIEW  
SCALE : 1" = 30'



SECTION  
SCALE : 1" = 20'

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(909) 371-2444

PLANTING CONCEPT  
TENNESSEE STREET



PARKING

SHRUB & GROUND COVER PLANTING

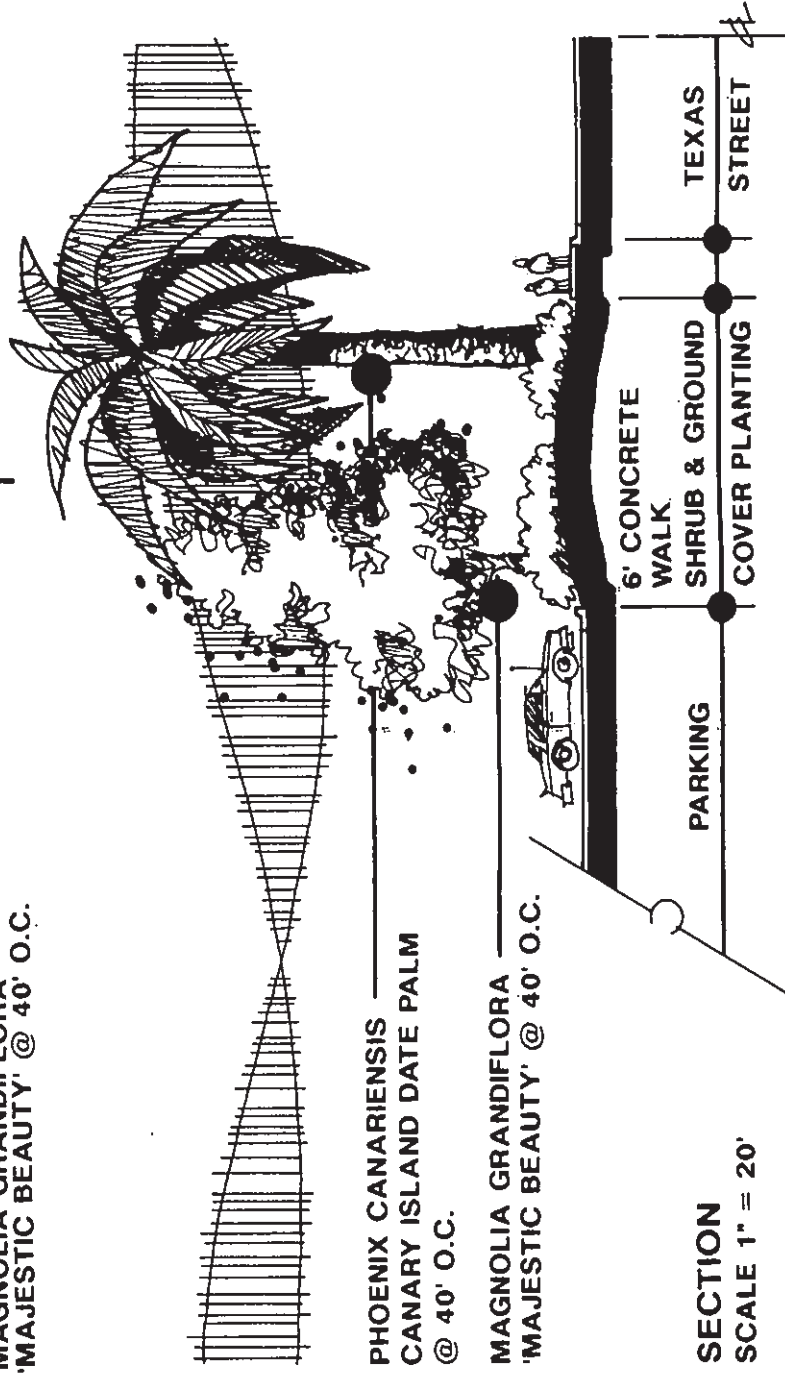
Texas STREET

6' CONCRETE WALK

PHOENIX CANARIENSIS  
CANARY ISLAND DATE PALM  
@ 40' O.C.

MAGNOLIA GRANDIFLORA  
'MAJESTIC BEAUTY' @ 40' O.C.

PLAN VIEW  
SCALE : 1" = 30'



SECTION  
SCALE 1" = 20'

PLANTING CONCEPT  
TEXAS STREET

PLATE 17



54 1100

LOOKING S/W FROM SAN BERNARDINO AVE. TO PROP.

CP 4  
PHOTOS



LOOKING N/W FROM KARON STREET TO PROPERTY

CP 4

PHOTOS



LOOKING S/E FROM INT. SAN BERNARDINO AVE. & TENNESSEE ST. TO PROPERTY

CP #4  
PHOTOS





LOOKING N/W FROM TEXAS STREET TO PROPERTY



LOOKING S/W FROM INT. TEXAS STREET & SAN BERNARDINO AVENUE TO PROPERTY



LOOKING N/E FROM TENNESSEE STREET TO PROPERTY



LOOKING N/W FROM KARON STREET TO PROPERTY



LOOKING S/E FROM SAN BERNARDINO AVE. TO PROP.



LOOKING S/W FROM SAN BERNARDINO AVE. TO PROP.