

# **Long-Range Property Management Plan**

*(Amended 06.02.15)*

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***Successor Agency to the  
Redlands Redevelopment Agency***





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## **Appendices**

*Appendix A – Mill Creek Zanja By-Pass Storm Drain Engineering Profile Sheet*

*Appendix B – Original Grant Deeds (APN: 0169-301-20 and 0169-301-30)*

*Appendix C – Redlands Redevelopment Agency Meeting Minutes  
(Property Purchase Authorization)*

*Appendix D – City of Redlands Park and Open Space Plan (Page Excerpts)*

*Appendix E – City of Redlands Mill Creek Zanja Trail and Greenway Concept Plan (Page Excerpts)*

*Appendix F – Redlands Redevelopment Agency Five-Year Implementation Plan (Page Excerpts)*

*Appendix G – Redlands Passenger Rail Project Presentation*

*Appendix H – Downtown Specific Plan - Specific Plan 45*

*Appendix I – Initial Study - Redlands Park Once Transit Center*

*Appendix J – City of Redlands/San Bernardino Associated Governments Cooperative Agreement*

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**INTRODUCTION**

Assembly Bill (“AB”) 1484, enacted in June of 2012, requires that all successor agencies to former redevelopment agencies that owned property at the time of redevelopment dissolution in 2011 prepare a Long-Range Property Management Plan (“PMP”). The PMP governs the disposition and use of property held by the former redevelopment agency pursuant to legal requirements as detailed in the “Statement of Legal Requirements” section. This is the Amended Long-Range Property Management Plan for the Successor Agency to the former Redlands Redevelopment Agency (“Successor Agency”).

**EXECUTIVE SUMMARY**

The Successor Agency currently holds ten (10) properties in Redlands. These properties include vacant and undeveloped properties, storm drain rights-of-way, public park space and public parking facilities. Two properties include structures (one vacant) and four of six properties now designated for Governmental Use were previously transferred to the City of Redlands. However, the State Department of Finance has requested that these four properties be added to the Amended Long-Range Property Management Plan and have been listed herein.

As required under AB 1484, the properties included in the PMP must be designated by the Successor Agency for future disposition. The disposition categories include:

1. The retention of the property for a governmental use pursuant to subdivision (a) of Section 34181 of the Health and Safety Code;
2. The retention of the property for future development (to allow the Successor Agency to complete projects planned prior to redevelopment dissolution);
3. The sale of the property;
4. The use of the property to fulfill an enforceable obligation.

Six of the properties listed in the Redlands’ PMP are proposed for governmental use; two properties are proposed to be held for future development purposes, as allowed by law, to allow the Successor Agency to complete projects planned prior to redevelopment dissolution for retention for future development; two properties have been designated for sale pursuant to current legal requirements. The table below provides a summary of all PMP property categories:

<b>Redlands Successor Agency Summary of Property Disposition Categories</b>	
<b>Permissible Use (AB 1484)</b>	<b>Number of Properties in Category</b>
Governmental Use	6
Retention for Future Development	2
Sale of Property	2
Use of Property for Enforceable Obligation	0
<b>Total</b>	<b>10</b>

*Table 1. Redlands Successor Agency – Summary of Property Disposition by Category.*



STATEMENT OF LEGAL REQUIREMENTS

Pursuant to Health and Safety Code section 34191.5 (part of AB 1484), each successor agency that holds property from a former redevelopment agency is required to submit a PMP to the State Department of Finance (“DOF”) within six months after receiving a “Finding of Completion” from DOF. Prior to submittal of the PMP to the DOF, the Successor Agency’s oversight board must approve the PMP.

In general, the PMP addresses the disposition and use of the real properties of the former redevelopment agency. AB 1484 requires that the PMP include all of the following components:

1. Inventory of all properties in the Community Redevelopment Property Trust Fund (“Trust Fund”), established to serve as the repository of the former redevelopment agency’s real properties. This inventory shall consist of all of the following information:
  - a. Date of acquisition of the property and the value of the property at that time, and an estimate of the current value of the property.
  - b. Purpose for which the property was acquired.
  - c. Parcel data, including address, lot size, and current zoning in the former redevelopment agency redevelopment plan or specific, community, or general plan.
  - d. Estimate of the current value of the parcel including, if available, any appraisal information.
  - e. Estimate of any lease, rental, or any other revenues generated by the property, and a description of the contractual requirements for the disposition of those funds.
  - f. History of environmental contamination, including designation as a Brownfield site, and related environmental studies, and history of any remediation efforts.
  - g. Description of the property’s potential for transit-oriented development and the advancement of the planning objectives of the successor agency.
  - h. Brief history of previous development proposals and activity, including the rental or lease of property.
2. Address the use or disposition of all the properties in the Trust Fund. Permissible uses include:
  - a. Retention for governmental use pursuant to subdivision (a) of Section 34181;
  - b. Retention for future development;
  - c. Sale of the property; or
  - d. Use of property to fulfill an enforceable obligation.
3. Separately identify and list properties in the Trust Fund dedicated to governmental use purposes and properties retained for purposes of fulfilling an enforceable obligation. With respect to the use or disposition of all other properties, all the following shall apply:
  - a. If the plan directs the use or liquidation of the property for a project identified in an approved redevelopment plan, the property shall transfer to the city, county, or city and county.



- b. If the plan directs the liquidation of the property or the use of revenues generated from the property, such as lease or parking revenues, for any purpose other than to fulfill an enforceable obligation or other than that specified in subsection 3(a) above, the proceeds from the sale shall be distributed as property tax to the taxing entities.
- c. Property shall not be transferred to a successor agency, city, county, or city and county, unless the PMP has been approved by the oversight board and DOF.

PROPERTY INVENTORY

The Successor Agency to the former Redlands Redevelopment Agency currently holds ten properties in Redlands of which four properties were previously transferred to the City. The State Department of Finance has requested that these transferred properties be included in the amended PMP. All properties are listed herein as required by the DOF including their proposed disposition.

As required, this PMP separately identifies properties designated for governmental use and properties retained for purposes of fulfilling an enforceable obligation. Six properties in the PMP have been designated for governmental use and these properties are listed first. No properties were designated for purposes of fulfilling an enforceable obligation.

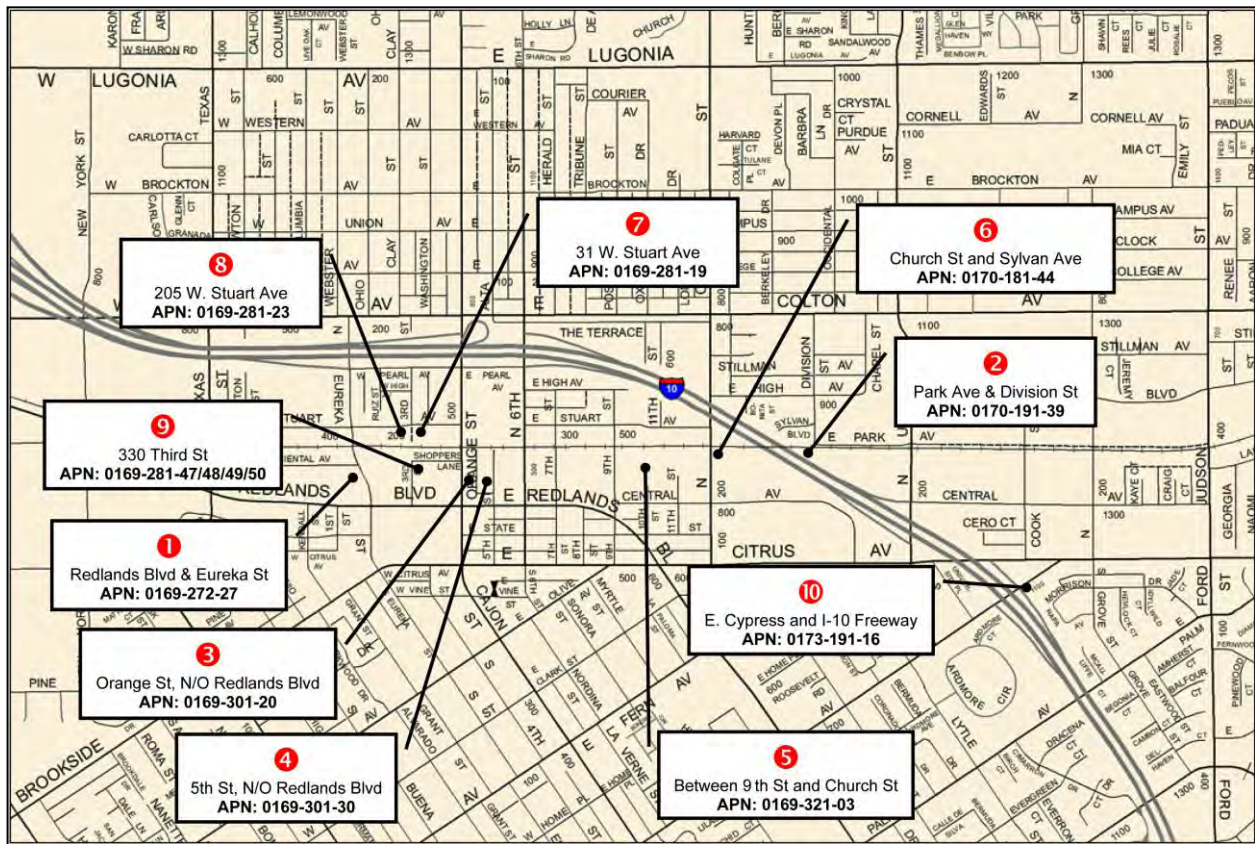


Figure 1. Property Location Overview Map.



**PROPERTIES DESIGNATED FOR GOVERNMENTAL USE**

***PROPERTY #1 – Redlands Blvd. & Eureka St. (APN: 0169-272-27)***

**Overview:**

Property #1, generally located at Redlands Blvd. and Eureka St., is an approximate .18 acre parcel that has been acquired and retained to preserve right-of-way for a future storm drain. The storm drain is part of the Opal Basin project to mitigate flood control in the City’s downtown area. As part of a former Redevelopment Agency project, this parcel was Parcel #4 of Parcel Map 11197. The conceptual design for a 120-inch storm drain has already been completed and there is a 20-foot-wide storm drain easement across the length of the parcel.

As a significant component to planned flood control mitigation, this property is proposed to be retained for governmental use.

**Property #1 — Redlands Boulevard and Eureka Street / APN: 0169-272-27**

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<b>Property Acquisition Information</b>	
Date of Acquisition	09/30/1987
Value of Property at Time of Acquisition	\$14,000 <i>(estimate based on historical value of similar property in proximity to this parcel. Source: County of San Bernardino)</i>
Estimate of the Current Value	\$55,386*
Purpose of Acquisition	Right-of-way for future storm drain
<b>Parcel Data Information</b>	
Physical Address	Redlands Blvd. & Eureka St.



Lot Size	0.18 acres
Current Zoning	Light Industrial District — M1
<b>Current Parcel Value</b>	
* Estimate: \$55,386 (Source: CoStar real estate data/industrial land/5-mile radius/\$307,701 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None Known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition</b> (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)	
<b>Governmental Use.</b> This property is proposed to be retained as right-of-way for a future flood control/storm drain line and has no other purpose.	

Table 2. Property Inventory — Property #1 (APN: 0169-272-27).





**PROPERTY #2 – Park Avenue and Division St. (APN: 0170-191-39)**



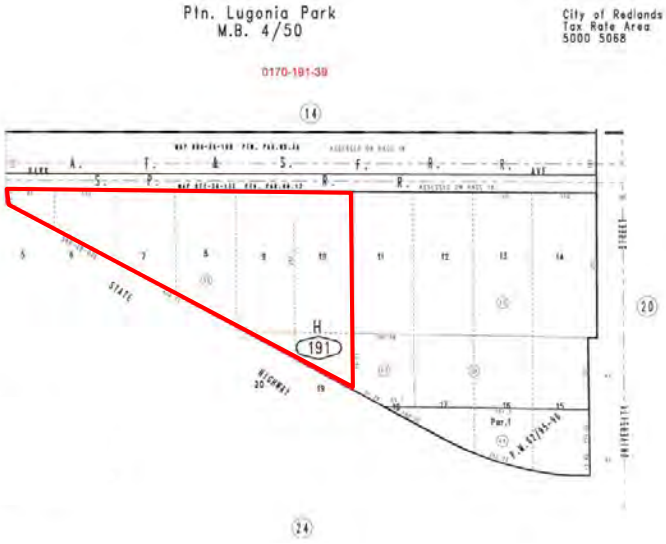
Overview:

Property #2, located at Park Avenue and Division Street, is an approximate 2.39 acre parcel that is adjacent to the I-10 Freeway, an existing rail line and existing park. The property was originally acquired in 2008 for the future development of affordable housing. However, when redevelopment agencies were dissolved, all housing activities of the former Redlands Redevelopment Agency were transferred to the County of San Bernardino.

Due to its proximity to an existing public park (Sylvan Park), which lacks adequate parking facilities, the parcel would benefit park patrons by providing much-needed parking adjacent to the park. The additional parking area would also reduce the amount of on-street parking that is currently taking place in residential neighborhoods when the park’s capacity for parking automobiles has been exhausted.

As an integral component to fulfilling the need for additional parking facilities, this property is proposed to be retained for future parking. Due to this property’s location — adjacent to an existing park, a rail line and freeway interstate — other uses may not be feasible.

This property is currently vacant and is proposed to be retained for governmental use.

<b>Property #2 — Park Avenue and Division Street / APN: 0170-191-39</b>	
	
	
<b>Property Acquisition Information</b>	
Date of Acquisition	03/04/2008
Value of Property at Time of Acquisition	\$736,000
Estimate of the Current Value	\$452,936*



Purpose of Acquisition	Development of affordable housing
<b>Parcel Data Information</b>	
Physical Address	Park Avenue and Division Street
Lot Size	2.39 acres
Current Zoning	R-2 / Multiple Family Residential District
<b>Current Parcel Value</b>	
*\$452,936 (Source: CoStar real estate data/multi-family residential land/5-mile radius/\$189,513 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition</b> (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)	
<b>Governmental Use.</b> This property is proposed to be retained for a future public parking area to reduce impacts to the community due to inadequate parking facilities at Sylvan Park.	

Table 3. Property Inventory — Property #2 (APN: 0170-191-39).



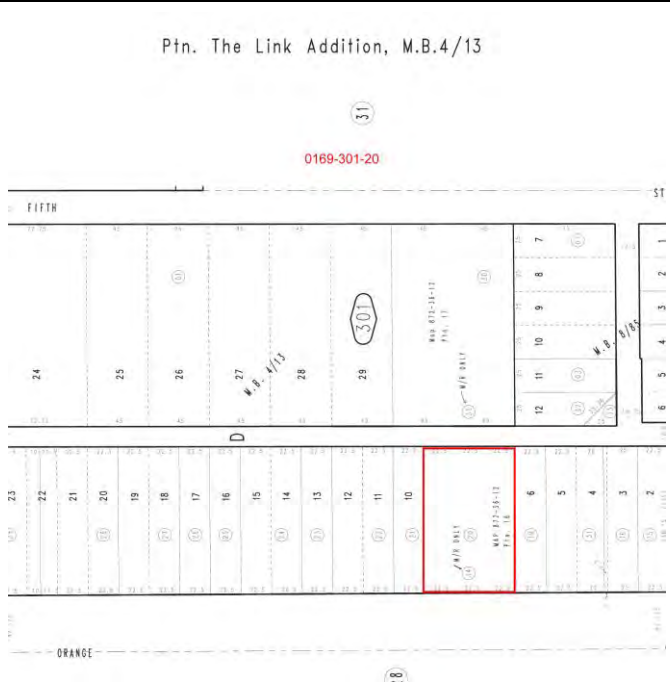


**PROPERTY #3 – Orange Street, North of Redlands Boulevard (APN: 0169-301-20)**

Overview:

Property #3, generally located adjacent to Orange Street, just north of Redlands Boulevard, is an approximate 0.17 acre parcel that has been acquired and retained to preserve right-of-way for a future storm drain. The storm drain is part of the Mill Creek Zanja By-Pass Storm Drain Project (**Appendix A**) to mitigate flood control in the City’s downtown area. To maximize its public use, the property, which constitutes an alleyway from Orange Street to 5<sup>th</sup> Street, has been paved and striped to allow for public parking in the downtown area. As indicated in the grant deed (**Appendix B**) and minutes of the former Redevelopment Agency (**Appendix C**), this property was purchased to ensure storm drain right-of-way and to provide public parking.

As a significant component to flood control mitigation, and to provide public parking for the downtown area, this property is proposed to be retained for governmental use.

<b>Property #3 — Orange Street, N/O Redlands Boulevard / APN: 0169-301-20</b>	
	
	
<b>Property Acquisition Information</b>	
Date of Acquisition	12/14/1984
Value of Property at Time of Acquisition	\$80,000
Estimate of the Current Value	\$39,261*
Purpose of Acquisition	Storm Drain Right-of-Way/Public Parking
<b>Parcel Data Information</b>	
Physical Address	Orange Street, north of Redlands Boulevard



Lot Size	0.17 acres
Current Zoning	Specific Plan 45 – Town Center Historic
<b>Current Parcel Value</b>	
*\$39,261 (Source: CoStar real estate data/commercial land/Redlands/\$232,315 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition</b> (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)	
<b>Governmental Use.</b> This property has been reserved for storm drain right-of-way (future) and public parking (present) to mitigate flood control and provide downtown public parking.	

Table 4. Property Inventory — Property #3 (APN: 0169-301-20).



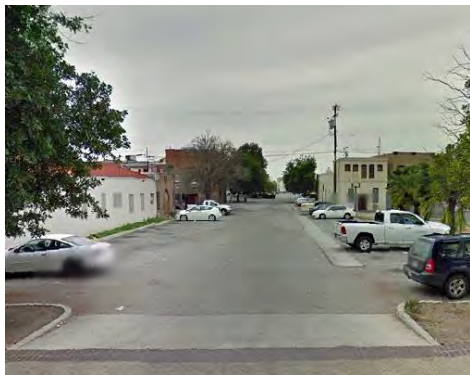
**PROPERTY #4 – 5th Street, North of Redlands Boulevard (APN: 0169-301-30)**

Overview:

Property #4, generally located adjacent to 5th Street, just north of Redlands Boulevard, is an approximate .31 acre parcel that has been acquired and retained to preserve right-of-way for a future storm drain. The storm drain is part of the Mill Creek Zanja By-Pass Storm Drain Project (**Appendix A**), to mitigate flood control in the City’s downtown area. To maximize its public use, the property, which constitutes an alleyway from Orange Street to 5<sup>th</sup> Street, has been paved and striped to allow for public parking in the downtown area. As indicated in the grant deed (**Appendix B**) and minutes of the former Redevelopment Agency (**Appendix C**), this property was purchased to ensure storm drain right-of-way and to provide public parking.

As a significant component to flood control mitigation, and to provide public parking for the downtown area, this property is proposed to be retained for governmental use.

**Property #4 — 5th Street, N/O Redlands Boulevard / APN: 0169-301-30**



**Property Acquisition Information**

Date of Acquisition	09/30/1987
Value of Property at Time of Acquisition	\$95,000
Estimate of the Current Value	\$72,018*
Purpose of Acquisition	Storm Drain Right-of-Way/Public Parking



<b>Parcel Data Information</b>	
Physical Address	Orange Street, north of Redlands Boulevard
Lot Size	0.31 acres
Current Zoning	Specific Plan 45 – Town Center Historic
<b>Current Parcel Value</b>	
*\$72,018 (Source: CoStar real estate data/commercial land/Redlands/\$232,315 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition</b> (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)	
<b>Governmental Use.</b> This property has been reserved for storm drain right-of-way (future) and public parking (present) to mitigate flood control and provide downtown public parking.	

Table 5. Property Inventory — Property #4 (APN: 0169-301-30).


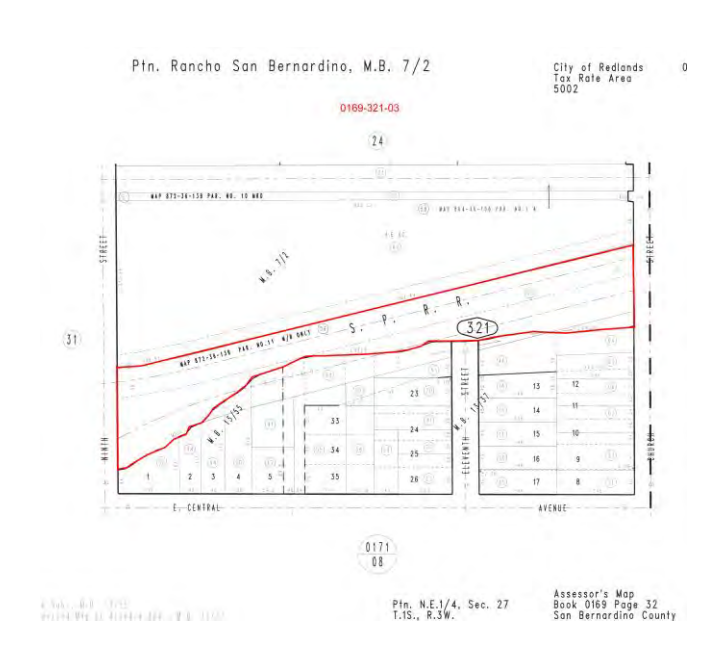



**PROPERTY #5 – Between 9th Street and Church Street (APN: 0169-321-03)**

Overview:

Property #5, generally located between 9th Street and Church Street, north of Central Avenue, has been part of the City’s long-term plan (since 1987) for creating a linear public park and open space area. This property, located along the Mill Creek Zanja, is an important element to the City’s Park and Open Space Plan (**Appendix D**), the Mill Creek Zanja Trail and Greenway Concept Plan (**Appendix E**) and the former Redevelopment Agency’s Five-Year Implementation Plan (**Appendix F**). As such, the property will eventually provide recreational opportunities for residents and a pedestrian-oriented link to the downtown area. The property will also serve as a flood control mitigation measure by allowing natural water runoff to collect and settle within the greenbelt, further protecting the downtown area from potential flooding hazards.

As a significant component to the City’s parks and open space planning activities, as well as its potential for flood control mitigation, this property is proposed to be retained for governmental use.

Property #5 — Between 9th Street and Church Street / APN: 0169-321-03	
	
	

Property Acquisition Information	
Date of Acquisition	09/30/1987
Value of Property at Time of Acquisition	\$219,786
Estimate of the Current Value	\$312,447*
Purpose of Acquisition	Park/Open Space and Flood Control Mitigation



<b>Parcel Data Information</b>	
Physical Address	Between 9th and Church Streets; N/O Central Ave
Lot Size	2.38 acres
Current Zoning	Park
<b>Current Parcel Value</b>	
*\$312,447 (Source: CoStar real estate data/residential land/Redlands/\$131,280 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)</b>	
<b>Governmental Use.</b> This property has been reserved for a public (linear) park/open space and for potential flood control mitigation.	

Table 6. Property Inventory — Property #5 (APN: 0169-321-03).





**PROPERTY #6 – Church Street and Sylvan Avenue (APN: 0170-181-44)**

Overview:

Property #6, generally located at Church Street and Sylvan Avenue, north of Central Avenue, has been part of the City’s long-term plan (since 1987) for creating a linear public park and open space area. This property, located along the Mill Creek Zanja, is an important element to the City’s Park and Open Space Plan (**Appendix D**), the Mill Creek Zanja Trail and Greenway Concept Plan (**Appendix E**) and the former Redevelopment Agency’s Five-Year Implementation Plan (**Appendix F**). As such, the property will eventually provide recreational opportunities for residents and a pedestrian-oriented link to the downtown area. The property will also serve as a flood control mitigation measure by allowing natural water runoff to collect and settle within the greenbelt, further protecting the downtown area from potential flooding hazards.

As a significant component to the City’s parks and open space planning activities, as well as its potential for flood control mitigation, this property is proposed to be retained for governmental use.

Property #6 — Church Street and Sylvan Avenue / APN: 0170-181-44	
	
	

**Property Acquisition Information**

Date of Acquisition	09/30/1987
Value of Property at Time of Acquisition	\$35,000
Estimate of the Current Value	\$49,886*
Purpose of Acquisition	Park/Open Space and Flood Control Mitigation



<b>Parcel Data Information</b>	
Physical Address	Church Street and Sylvan Avenue
Lot Size	0.38 acres
Current Zoning	R-2 /Multifamily Residential
<b>Current Parcel Value</b>	
*\$49,886 (Source: CoStar real estate data/residential land/Redlands/\$131,280 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)</b>	
<b>Governmental Use.</b> This property has been reserved for a public (linear) park/open space and for potential flood control mitigation.	

Table 7. Property Inventory — Property #6 (APN: 0170-181-44).

**END OF LIST FOR PROPERTY THAT HAS BEEN DESIGNATED  
 FOR GOVERNMENTAL USE**



**PROPERTY #7 – 31 W. Stuart Ave. (APN: 0169-281-19)**

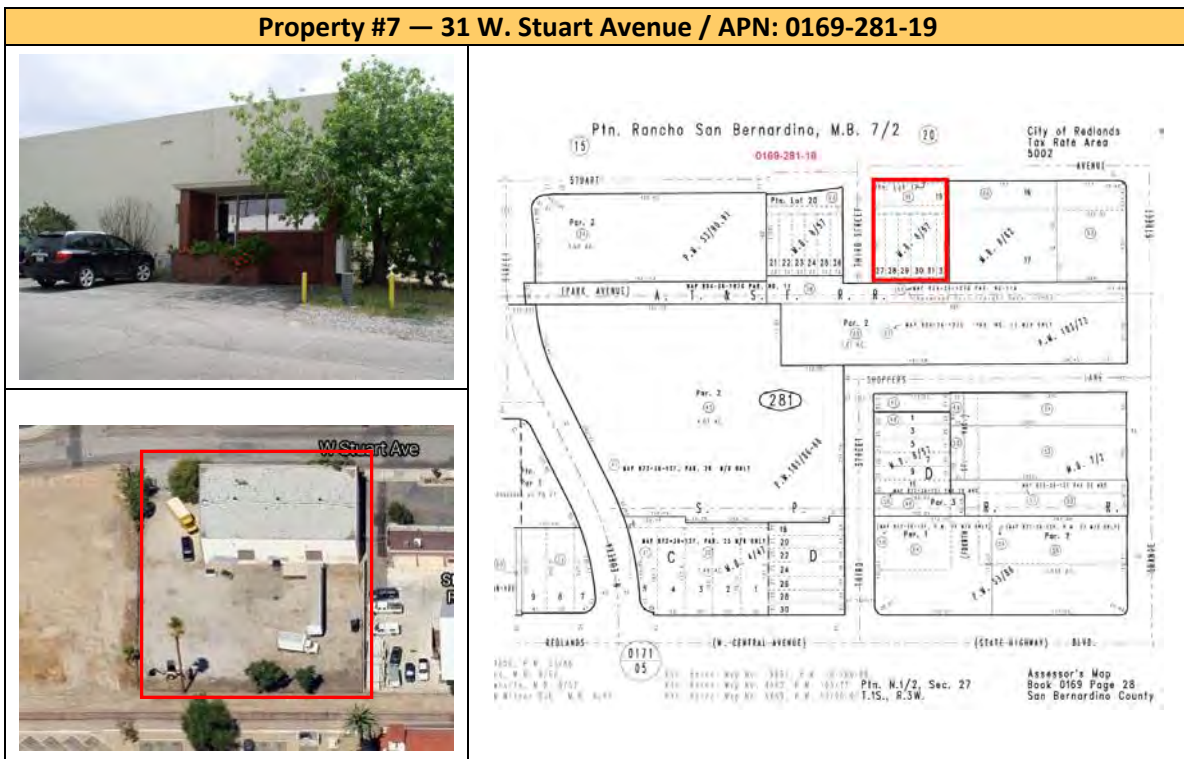
Overview:

Property #7, located at 31 W. Stuart Avenue, is an approximate .59 acre parcel that has been acquired and retained for a future public parking facility that will serve a planned commuter rail stop in the City’s downtown area (**Appendix G**). Specifically, a parking structure is proposed to be built as part of the Park Once project. The facility design is near completion and the environmental approval for the project is currently being pursued. The property is also located within the City’s Downtown Specific Plan 45 area (**Appendix H**), which provides a comprehensive set of standards for land use, development design and public improvements for the northern portion of the Redlands Town Center. The primary goal of the Specific Plan area is to create a compact “pedestrian-oriented” environment that is consistent in character and density with the older Redlands Town Center.

In addition to providing parking for future commuter rail facilities (**Appendix I**), the City has also provided infrastructure improvements; specifically the widening of Eureka Avenue to accommodate future rail activities. To facilitate these improvements, the City of Redlands entered into a cooperative agreement with the San Bernardino Associated Governments (SANBAG) — the council of governments and transportation planning agency for San Bernardino County — to obtain funding for the street widening project as part of the Redlands Station Street Improvements (**Appendix J**).

Currently, there is one structure on site (Building Type: Masonry; Building Grade: Low) that is licensed to a private party for the purpose of storing equipment. The licensee operates under a month-to-month license agreement and the payment is \$1,500 per month (**Appendix K**).

As a significant component to planned transit-oriented development activities, this property is proposed to be retained for future development.





<b>Property Acquisition Information</b>	
Date of Acquisition	05/18/2004
Value of Property at Time of Acquisition	\$443,170
Estimate of the Current Value	\$178,662*
Purpose of Acquisition	Future public parking for rail in the downtown area
<b>Parcel Data Information</b>	
Physical Address	31 Stuart Avenue
Lot Size	0.59 acres / Vacant Parcel with Building
Current Zoning	Specific Plan 45/Town Center Historic (Commercial)
<b>Current Parcel Value</b>	
* Estimate: \$178,662 (Source: CoStar real estate data/commercial land/5-mile radius/\$302,818 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
License: \$1,500/Month ; Licensee is on a month-to-month contract (see <b>Appendix K</b> )	
<b>History of Environmental Contamination/Remediation</b>	
None Known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
<p><u>High Potential:</u> This property was purchased specifically for the purpose of providing future public parking for a planned commuter rail stop in 2018/19 (<b>Appendix G</b>). The property is also located within the City’s Downtown Specific Plan 45 area (<b>Appendix H</b>), which provides a comprehensive set of standards for land use, development design and public improvements for the northern portion of the Redlands Town Center.</p> <p>In addition to providing parking for future commuter rail facilities (<b>Appendix I</b>), the City has also provided infrastructure improvements; specifically the widening of Eureka Avenue to accommodate future rail activities. To facilitate these improvements, the City of Redlands entered into a cooperative agreement with the San Bernardino Associated Governments (SANBAG) — the council of governments and transportation planning agency for San Bernardino County — to obtain funding for the street widening project as part of the Redlands Station Street Improvements (<b>Appendix J</b>).</p> <p>Currently, there is one structure on site that is licensed to a private party for the purpose of storing equipment. The licensee is on a month-to-month agreement (<b>Appendix K</b>).</p>	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)</b>	
<p><b>Future Development.</b> This property is proposed to be retained for a future public parking area to support a planned commuter rail stop (2018/19). The City intends to negotiate a compensation agreement (at some point in the future) with affected taxing agencies based on the value of the property.</p>	

Table 8. Property Inventory — Property #7 (APN: 0169-281-19).



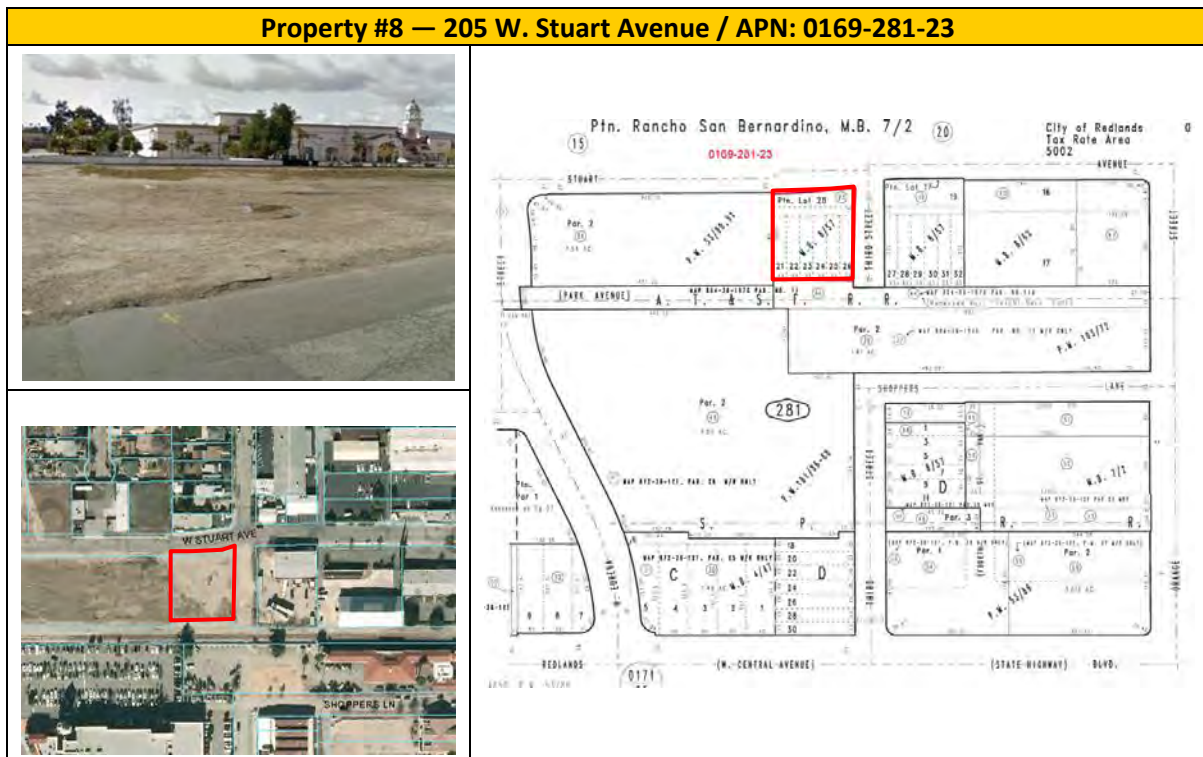
**PROPERTY #8 – 205 W. Stuart Ave. (APN: 0169-281-23)**

Overview:

Property #8, located at 205 W. Stuart Avenue is an approximate .48 acre parcel that has been acquired and retained for a future public parking facility that will serve a planned commuter rail stop in the City's downtown area (**Appendix G**). The property is a companion property to the property at 31 W. Stuart, in that both are planned for the same purpose and are in proximity to one another. Specifically, a parking structure is proposed to be built as part of the Park Once project. The facility design is near completion and the environmental approval for the project is currently being pursued. The property is also located within the City's Downtown Specific Plan 45 area (**Appendix H**), which provides a comprehensive set of standards for land use, development design and public improvements for the northern portion of the Redlands Town Center. The primary goal of the Specific Plan area is to create a compact "pedestrian-oriented" environment that is consistent in character and density with the older Redlands Town Center.

In addition to providing parking for future commuter rail facilities (**Appendix I**), the City has also provided infrastructure improvements; specifically the widening of Eureka Avenue to accommodate future rail activities. To facilitate these improvements, the City of Redlands entered into a cooperative agreement with the San Bernardino Associated Governments (SANBAG) — the council of governments and transportation planning agency for San Bernardino County — to obtain funding for the street widening project as part of the Redlands Station Street Improvements (**Appendix J**).

As a significant component to planned transit-oriented development activities, this property is proposed to be retained for future development. Currently, this is a vacant parcel.





<b>Property Acquisition Information</b>	
Date of Acquisition	08/01/2003
Value of Property at Time of Acquisition	\$265,500
Estimate of the Current Value	\$145,352*
Purpose of Acquisition	Future public parking for rail in the downtown area
<b>Parcel Data Information</b>	
Physical Address	205 W. Stuart Avenue
Lot Size	0.48 acres / Vacant Parcel
Current Zoning	Specific Plan 45/Town Center Historic (Commercial)
<b>Current Parcel Value</b>	
* Estimate: \$145,352 (Source: CoStar real estate data/commercial land/5-mile radius/\$302,818 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None Known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
<p><b>High Potential:</b> This property was purchased specifically for the purpose of providing future public parking for a planned commuter rail stop in 2018/19 (<b>Appendix G</b>). The property is also located within the City’s Downtown Specific Plan 45 area (<b>Appendix H</b>), which provides a comprehensive set of standards for land use, development design and public improvements for the northern portion of the Redlands Town Center.</p> <p>In addition to providing parking for future commuter rail facilities (<b>Appendix I</b>), the City has also provided infrastructure improvements; specifically the widening of Eureka Avenue to accommodate future rail activities. To facilitate these improvements, the City of Redlands entered into a cooperative agreement with the San Bernardino Associated Governments (SANBAG) — the council of governments and transportation planning agency for San Bernardino County — to obtain funding for the street widening project as part of the Redlands Station Street Improvements (<b>Appendix J</b>).</p> <p>Currently, this parcel is a vacant.</p>	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)</b>	
<p><b>Future Development.</b> This property is proposed to be retained for a future public parking area to support a planned commuter rail stop (2018/19). The City intends to negotiate a compensation agreement (at some point in the future) with affected taxing agencies based on the value of the property.</p>	

Table 9. Property Inventory — Property #8 (APN: 0169-281-23).



**PROPERTY #9 – 330 Third Street (APNs: 0169-281-47/48/49/50)**

Overview:

Property #9, consisting of four parcels, is located at 330 Third Street. The property is part of the original town site of the City of Redlands. It is located south of the Santa Fe Railroad Right-of-Way and southwest of the historic Redlands Santa Fe Depot Railroad Station. The property is considered a contributor to the Santa Fe Depot District, a National Register District that includes 17 contributing properties in the heart of downtown Redlands. There is currently one structure located on the property — a masonry and steel-framed warehouse constructed in 1912. The building, a former fruit packing house, is vacant and has not been used for several years. Electrical wiring has been removed and the interior has been vandalized.

A July 2010 appraisal report indicated that the current structure on the subject property is non-conforming and does not reflect the physical and economic characteristics of the market area, and that its use as a warehouse/fruit-packing facility is not considered maximally productive.

A previous proposal to incorporate this property into a larger commercial development was submitted by Showprop Redlands, LLC in 2011, and a Conditional Property Disposition Agreement (CPDA) was approved on July 5, 2011. However, the applicant was not able to meet the schedule of performance requirements outlined in the CPDA, thus invalidating the agreement and ending the proposed project.

The property is currently vacant and is zoned for multiple commercial uses. The property is proposed to be offered for sale.





<b>Property Acquisition Information</b>	
Date of Acquisition	12/22/2006
Value of Property at Time of Acquisition	\$940,000
Estimate of the Current Value	\$320,000*
Purpose of Acquisition	Future Development
<b>Parcel Data Information</b>	
Physical Address	330 North Third Street
Lot Size	0.67 acres total (four parcels)
Current Zoning	Specific Plan 45/Town Center Historic (Commercial)
<b>Current Parcel Value</b>	
*\$320,000 (Based on independent appraisal – 07/20/2010)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None noted or observed per the appraisal report. But due to the age of the structure, asbestos may be present and may require asbestos abatement in the future.	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
A previous proposal to incorporate this property into a larger commercial development was submitted by Showprop Redlands, LLC in 2011. However, the applicant was not able to meet the schedule of performance requirements outlined in the Conditional Property Disposition Agreement, thus invalidating the agreement and ending the proposed project.	
<b>Use and Disposition (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)</b>	
<b>Sale of Property.</b> The property is currently vacant, consists of four separate parcels and is zoned for multiple commercial uses. The property is proposed to be offered for sale (proceeds to be distributed as property tax to the taxing entities). The property is intended to be sold in 2015 at its current estimated value (\$320,000).	

Table 10. Property Inventory — Property #9 (APNs: 0169-281-47/48/49/50).





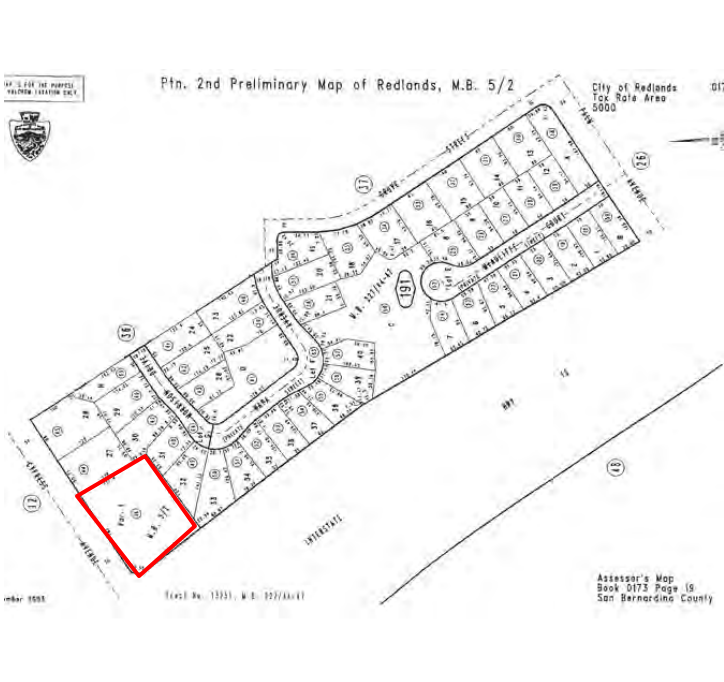
**PROPERTY #10 – E. Cypress and I-10 Freeway (APN: 0173-191-16)**

Overview:

Property #10, located on E. Cypress Avenue north of the I-10 Freeway, is an approximate .92 acre parcel. The vacant parcel was originally acquired in 2008 for the future development of affordable housing. However, when redevelopment agencies were dissolved, all housing activities of the former Redlands Redevelopment Agency were transferred to the County of San Bernardino.

A previous proposal to build a two-story office building on this property was submitted by Gardner Construction and Development in 2004. However, that project was denied by the City Council, as it did not meet the General Plan zoning requirements. The property is currently zoned suburban residential.

Due to the fact that there are no current/future plans for this property with regard to governmental use, future development or for fulfilling an enforceable obligation, this property is proposed to be offered for sale.

Property #10 — E. Cypress Avenue and I-10 Freeway / APN: 0173-191-16	
	
<b>Property Acquisition Information</b>	
Date of Acquisition	03/04/2008
Value of Property at Time of Acquisition	\$218,000
Estimate of the Current Value	\$61,334*
Purpose of Acquisition	Development of affordable housing
<b>Parcel Data Information</b>	
Physical Address	Cypress Avenue and I-10 Freeway



Lot Size	0.92 acres
Current Zoning	R-S / Suburban Residential District
<b>Current Parcel Value</b>	
* Estimate: \$61,334 (Source: CoStar real estate data/single-family residential land/5-mile radius/\$66,667 per acre - average)	
<b>Revenues Generated and Contractual Requirements</b>	
None	
<b>History of Environmental Contamination/Remediation</b>	
None known	
<b>Potential for Transit-Oriented Development and Advancement of Planning Objectives</b>	
None	
<b>History of Development Proposals and Activity</b>	
None	
<b>Use and Disposition</b> (Governmental Use; Future Development; Sale; Fulfill an Enforceable Obligation)	
<b>Sale of Property.</b> The property is currently vacant and is zoned Suburban Residential District. The property is proposed to be offered for sale (proceeds to be distributed as property tax to the taxing entities). This property is intended to be sold in 2015 at its current estimated value (\$61,334).	

Table 11. Property Inventory — Property #10 (APN: 0173-191-16).



# **Department of Finance Property Inventory Sheet**

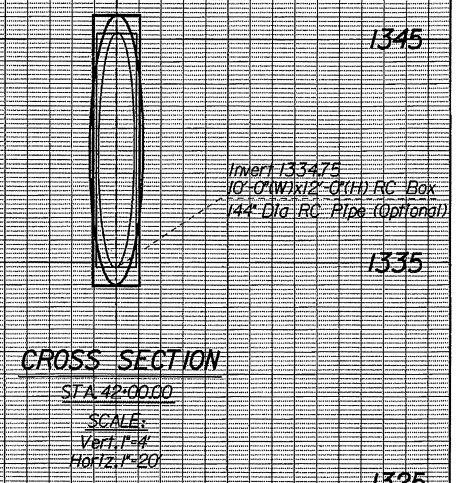
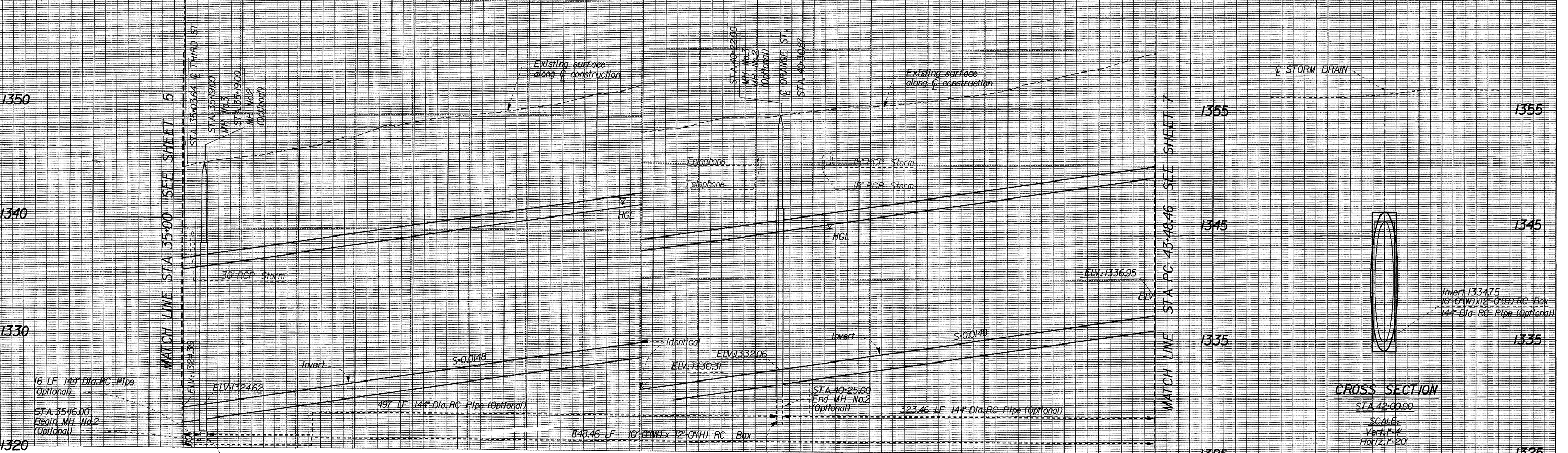
LONG RANGE PROPERTY MANAGEMENT PLAN (Amended 06.02.15): PROPERTY INVENTORY DATA

No.	Property Type	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)					SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)	HSC 34191.5 (c)(1)(C)				HSC 34191.5 (c)(1)(D)		HSC 34191.5 (c)(1)(E)		HSC 34191.5 (c)(1)(F)	HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)
		Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Address	APN #	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination, studies, and/or remediation, and designation as a brownfield site	Description of property's potential for transit oriented development	Advancement of planning objectives of the successor agency	History of previous development proposals and activity	
1	Other	Governmental Use	Storm Drain Right-of-Way	09/30/1987	\$14,000	\$55,386	Market	03/01/14	N/A	N/A	Right-of-Way - Future Storm Drain	Redlands Blvd. & Eureka St., Redlands, CA	0169-272-27	0.17928 acres	M1 - Light Industrial	\$55,386	N/A	N/A	None Known	N/A	Needed for easement for future storm drain	None	
2	Vacant Lot/Land	Governmental Use	Future Public Parking	3/4/2008	\$736,000	\$452,936	Market	03/01/14	N/A	N/A	Development of affordable housing	Park Ave. and Division St	0170-191-39	2.393384 acres	R-2/Multiple Family Residential	\$452,936	N/A	N/A	None Known	None	Parking needed for park patrons	None	
3	Parking Lot/Structure	Governmental Use	Storm Drain Right-of-Way/Public Parking	12/14/1984	\$80,000	\$39,261	Market	02/23/15	N/A	N/A	Storm Drain Right-of-Way/Public Parking	Orange St N/O Redlands Blvd	0169-301-20	0.17 acres	Specific Plan 45/Town Center Historic	\$39,261	N/A	N/A	None Known	None	Mill Creek Zanja By-Pass Storm Drain Project / Public Parking	None	
4	Parking Lot/Structure	Governmental Use	Storm Drain Right-of-Way/Public Parking	9/30/1987	\$95,000	\$72,018	Market	02/23/15	N/A	N/A	Storm Drain Right-of-Way/Public Parking	5th St N/O Redlands Blvd	0169-301-30	0.31 acres	Specific Plan 45/Town Center Historic	\$72,018	N/A	N/A	None Known	None	Mill Creek Zanja By-Pass Storm Drain Project / Public Parking	None	
5	Vacant Lot/Land	Governmental Use	Public (Linear) Park/Flood Control Mitigation	9/30/1987	\$219,786	\$312,447	Market	02/23/15	N/A	N/A	Park/Open Space and Flood Control Mitigation	Between 9th St and Church St N/O Central Ave	0169-321-03	2.38 acres	Park/Open Space	\$312,447	N/A	N/A	None Known	None	Park/Open Space and Flood Control Mitigation	None	
6	Vacant Lot/Land	Governmental Use	Public (Linear) Park/Flood Control Mitigation	9/30/1987	\$35,000	\$49,886	Market	02/23/15	N/A	N/A	Park/Open Space and Flood Control Mitigation	Church St and Sylvan Ave	0170-181-44	0.38 acres	R-2 Multifamily Residential	\$49,886	N/A	N/A	None Known	None	Park/Open Space and Flood Control Mitigation	None	
7	Commercial	Future Development	Public Transit Parking	05/18/2004	\$443,170	\$178,662	Market	03/01/14	N/A	N/A	Future public parking for rail in the downtown area (City intends to reach compensation agreement with affected taxing entities based on value of property)	31 Stuart Avenue, Redlands, CA	0169-281-19	0.592941 acres	Specific Plan 45/Town Center Historic	\$178,662	\$1,500	Month-to-Month License Agreement @ \$1,500/month	None Known	Will support public parking for future commuter rail stop	Parking needed for commuter rail patrons	None	
8	Vacant Lot/Land	Future Development	Public Transit Parking	08/01/2003	\$265,500	\$145,352	Market	03/01/14	N/A	N/A	Future public parking for rail in the downtown area (City intends to reach compensation agreement with affected taxing entities based on value of property)	205 W. Stuart Avenue, Redlands, CA	0169-281-23	0.48257 acres	Specific Plan 45/Town Center Historic	\$145,352	N/A	N/A	None Known	Will support public parking for future commuter rail stop	Parking needed for commuter rail patrons	None	
9	Commercial	Sale of Property	N/A	12/22/2006	\$940,000.00	\$320,000.00	Appraised	07/20/10	\$320,000	2015	Future development.	330 Third Street, Redlands, CA	0169-281-47 0169-281-48 0169-281-49 0169-281-50	0.67 acres	Specific Plan 45/Town Center Historic	\$320,000.00	N/A	N/A	None noted or observed per the appraisal report. But due to the age of the structure, asbestos may be present and may require asbestos abatement in the future.	None	Sale of property	A previous proposal to incorporate this property into a larger commercial development was submitted by Showprop Redlands, LLC in 2011. However, the applicant was not able to meet the schedule of performance requirements outlined in the Conditional Property Disposition Agreement, thus invalidating the agreement and ending the proposed project.	
10	Vacant Lot/Land	Sale of Property	N/A	3/4/2008	\$218,000	\$61,334	Market	03/01/14	\$61,334	2015	Development of affordable housing	Cypress Ave N/O I-10 Freeway	0173-191-16	0.92 acres	R-S / Suburban Residential District	\$61,334	N/A	N/A	None Known	None	Sale of property	Proposal to build a two-story office building in 2004. Project denied by City Council; did not meet the General Plan zoning requirements.	

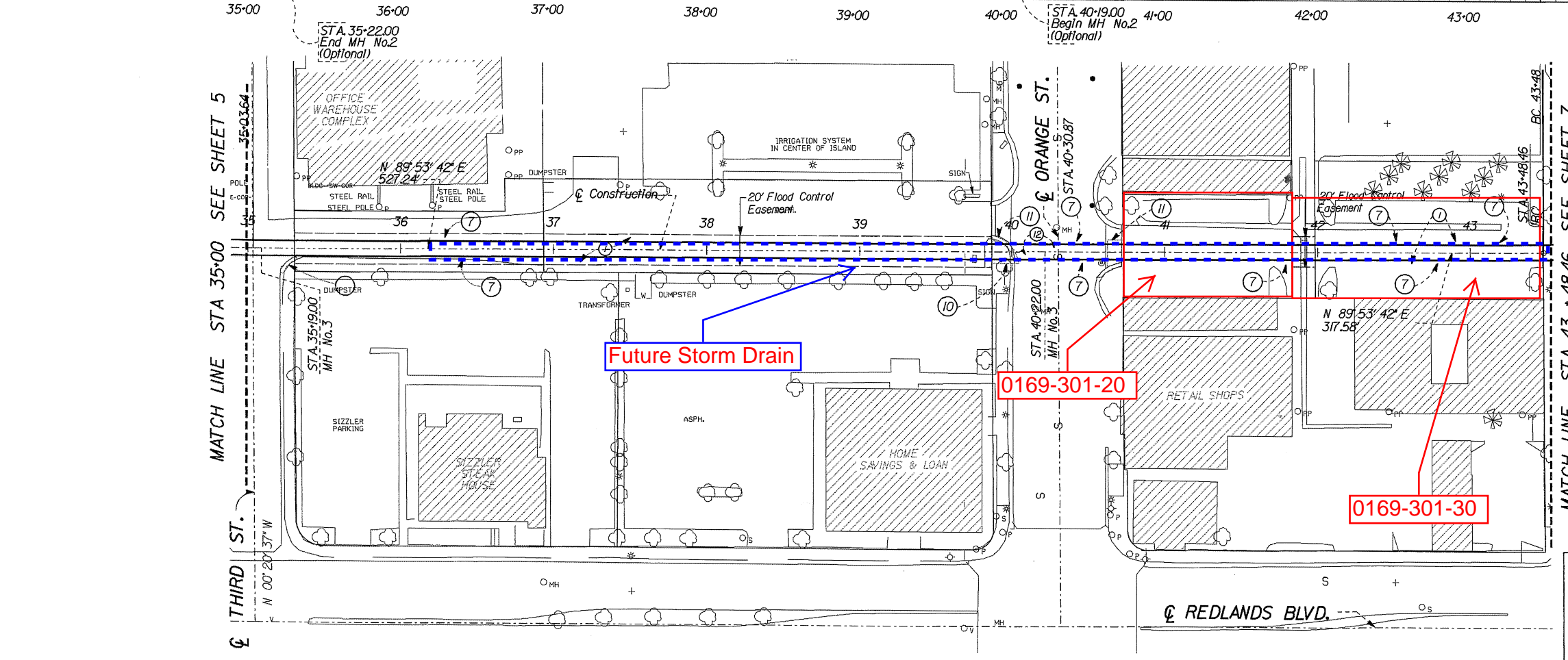


# **APPENDIX A**

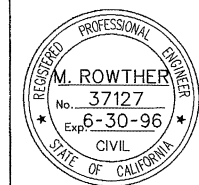
## **Mill Creek Zanja By-Pass Storm Drain Engineering Profile Sheet**



SCALE  
 VERT. 1" = 4'  
 HORIZ. 1" = 40'



- CONSTRUCTION NOTES :**
- REMOVE AND REPLACE EXIST. AC PARKING LOT (SEE DETAIL "B" ON SHEET 14).
  - REMOVE AND REPLACE EXIST. WALL (SEE DETAIL "A" ON SHEET 14).
  - REMOVE AND REPLACE EXIST. WALL (SEE DETAIL "C" ON SHEET 14).
  - REMOVE AND REPLACE EXIST. AC PARKING LOT (SEE DETAIL "D" ON SHEET 14).
  - REMOVE AND REPLACE EXIST. PCC CURB AND GUTTER REMOVE CURB AND GUTTER TO NEAREST JOINT.
  - REMOVE AND REPLACE EXIST. AC PAVEMENT (SEE PAVEMENT RESURFACING PLAN ON SHEET 13). SAW CUT EXIST. AC PAVEMENT.
  - REMOVE AND REPLACE CONC. SIDEWALK (SEE DETAIL "E" ON SHEET 14).
  - REMOVE AND REPLACE CONC./BRICK ENTRANCE RAMP (SEE DETAIL "F" ON SHEET 14).
  - REMOVE AND REPLACE EXIST. STREET SECTION (SEE PAVEMENT RESURFACING PLAN ON SHEET 13).



**CITY OF REDLANDS**  
 ENGINEERING SERVICES DEPARTMENT

**Mill Creek Zanja By-Pass Storm Drain**  
 PLAN AND PROFILE  
 STA. 35+00 TO STA. 43+48.46

Designed by:	Approved:	Date:
Date: 06-11-91	CITY ENGINEER	R.C.E.
Checked by:	Sheet 6 of 15	Sheets
Date:	Scale:	Horiz. 1" = 40'
Drawn by:	Date:	Vert. 1" = 4'
Checked by:		



Letter	Description	Date	Initial



# **APPENDIX B**

## **Original Grant Deeds**

**APN 0169-301-20**

**APN 0169-301-30**

**REDEVELOPMENT AGENCY**  
of the CITY of REDLANDS



January 7, 1985

MEMO TO: Lorrie Poyzer, City Clerk

FROM: Derrill Quaschnick, Redevelopment Director

SUBJECT: ORIGINAL GRANT DEED FOR PARCEL NO.'S 169-301-20 & 30  
(OLD SOUTHERN PACIFIC PROPERTIES)

Enclosed, please find the original Grant Deed for Parcel No.'s 169-301-20 & 30, (old Southern Pacific properties) which were purchased by the Redevelopment Agency, City of Redlands and recorded by the County of San Bernardino on December 14, 1984.

Should you have any questions or need further information, please give me a call.

A handwritten signature in black ink, appearing to read "Derrill Quaschnick".

Derrill Quaschnick  
Redevelopment Director

Enclosure

rg



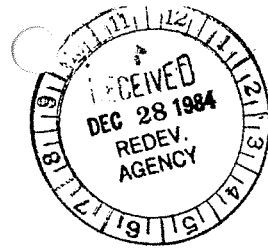
RECORDING REQUEST BY

AND WHEN RECORDED MAIL TO

REDEVELOPMENT AGENCY,  
CITY OF REDLANDS  
Attn: Derrill D. Quaschnick  
Redlands Plaza, Suite 202  
Redlands, CA 92373

MAIL TAX STATEMENTS TO

NO FEE  
A



RECORDED IN OFFICIAL RECORDS  
DEC 14 1984 AT 8 A.M.  
SAN BERNARDINO COUNTY, CALIF.

81-298285

81-298285

SPACE ABOVE THIS LINE FOR RECORDER'S USE

9872-089-14  
169-301-30

# Grant Deed

L-7783

SOUTHERN PACIFIC TRANSPORTATION COMPANY, a Delaware corporation, Grantor,  
reby GRANTS to REDEVELOPMENT AGENCY OF THE CITY OF REDLANDS,  
, Grantee,

that certain real property situated in the County of San Bernardino, State of California,  
and more particularly described in Exhibit "A," attached and hereby made a part hereof.

Grantor excepts from the property hereby conveyed that portion thereof lying below a depth  
of 500 feet, measured vertically, from the contour of the surface of said property; however, Grantor,  
or its successors and assigns, shall not have the right for any purpose whatsoever to enter upon, into or  
through the surface of said property or any part thereof lying between said surface and 500 feet  
below said surface.

This grant is made subject to easements, covenants, conditions, reservations and restrictions of  
record.

IN WITNESS WHEREOF, Grantor has caused these presents to be executed this 29th  
day of November, 1984.

SOUTHERN PACIFIC TRANSPORTATION COMPANY

By [Signature]  
(Title) Vice President-Real Estate

Attest [Signature]  
Assistant Secretary

Approved as to form  
by General Counsel  
March 1, 1981

RDA  
12/11/84

WHEN RECORDED MAIL TO:

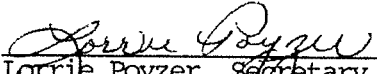
Redevelopment Agency of the  
City of Redlands  
P.O. Box 280  
Redlands, CA 92373

CERTIFICATE OF ACCEPTANCE

This is to certify that the Redevelopment Agency of the City of Redlands, California, grantee herein, by and through its regularly appointed qualified secretary, hereby accepts for public purposes the real property, or interest therein, conveyed by the within deed and consents to the recordation thereof, by authority of Agency action by minute order on August 21, 1984, authorizing the negotiation and purchase of Southern Pacific Transportation Company parcels 169-301-20 and 169-301-30. Certified minute order of said Agency is attached.

In witness whereof, I have hereunder set my hand this 11th day of December, 1984.

REDEVELOPMENT AGENCY OF THE  
CITY OF REDLANDS, CALIFORNIA

  
Lorrie Poyzer, Secretary  
Redlands Redevelopment Agency

84-298285

AK  
10/9/84  
FMY  
10/29/84

EXHIBIT "A"

Lots 7, 8, 9, 30 and 31, Block "D", Link Addition,  
in the City of Redlands, County of San Bernardino, State of  
California, as per map recorded in Book 4 of Maps, page 13,  
in the office of the County Recorder of said county.

EXCEPT that portion taken for the widening of  
Orange Street.

84-298285

Recording requested by:

HICKS & HARTWICK, INC., Engineers - Surveyors

7-334700

When recorded mail to:

City of Redlands  
30 Cajon St.  
Redlands, CA. 92373

1FEE	2MSYS	3PCOR	4MAY
0			
5 SVY	5... 6IT	8...	
			D

RECORDED IN  
OFFICIAL RECORDS  
SEP 18 PM 3:11  
SAN BERNARDINO  
CO., CALIF.

### CERTIFICATE OF CORRECTION

I, Harold R. Hartwick, certify that I am a Licensed Land Surveyor of the State of California;

That a survey was prepared under my supervision and direction in Parcel Map No. 8652 that said map was filed on October 10, 1984, in Book 90 of Parcel Maps, page(s) 34 / , in the office of the Recorder of the County of San Bernardino;

That the following data shown on said Parcel Map is incorrect as:

- The distance on the centerline of Oriental Avenue from the Northeast corner of Parcel 3 Easterly to the found chiseled "+" in the pavement is shown as 560.05'.  
The correct distance should be 565.05'.
- The distance on the centerline of Oriental Avenue from its intersection with Texas Street Easterly to the found chiseled "+" in the pavement is shown as 972.62'.  
The correct distance should be 977.62'.

Current owner: City of Redlands

*Harold R. Hartwick*  
Harold R. Hartwick  
L.S. No. 2851

State of California )  
County of San Bernardino ) 98:

On August 11, 1987, before me, the undersigned, a Notary Public in and for said State personally appeared Harold R. Hartwick, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed to this instrument, and acknowledged to me that he executed it.

WITNESS my hand and official seal:

Signature *Elaine V. Leathy*

OFFICIAL SEAL  
ELAINE V. LEATHY  
Notary Public-California  
Principal Office in  
San Bernardino County  
My Comm. Exp. Apr. 19, 1989

#### CITY ENGINEER'S CERTIFICATE

I hereby certify that I have examined this Certificate of Correction and that the only changes hereon from the original map recorded in M.B./P.M.B. 90 / 34 are provided for in Section 66469 of the Subdivision Map Act, and that I am satisfied that this Certificate is technically correct.

Dated: 9-14-87

*Ronald C. Mutter*  
RONALD C. MUTTER  
City Engineer, City of Redlands



## **APPENDIX C**

### **Redlands Redevelopment Agency Meeting Minutes (*Property Purchase Authorization*)**

MINUTES

of a regular meeting of the Redevelopment Agency of the City of Redlands held in the Council Chambers, Safety Hall, 212 Brookside Avenue, on August 21, 1984, at 4:05 P.M.

PRESENT

Carole Beswick, Chairman  
Tim Johnson, Vice Chairman  
Oddie J. Martinez, Jr., Member

John E. Holmes, Executive Director  
Derrill Quaschnick, Director  
Dallas Holmes, Agency Attorney  
Lorrie Poyzer, Secretary  
Glenn Cunliffe, Redlands Daily Facts  
Pat Brown, The Sun

ABSENT

Charles G. DeMirjyn, Member  
Richard N. Larsen, Member

Minutes of the regular meeting of the Redevelopment Agency of the City of Redlands of August 7, 1984, were approved as submitted.

Railroad  
Property  
Purchase ✓

Redevelopment Director Quaschnick reported that the Southern Pacific Transportation Company has indicated they would be willing to sell two parcels of land located between Orange and Fifth Streets. Acquisition of this property would give us future flood control right-of-way with surface parking and temporary installation of public parking. Attorney Holmes cautioned the Directors that we would need to be careful in the wording of the letter of conditions of the offer. Mr. Martinez moved to authorize staff and legal counsel to proceed with the negotiation and purchase of Southern Pacific Transportation Company parcels 169-301-20 and 169-301-30. Motion seconded by Mr. Johnson and carried by AYE votes of all present.

Amend  
Phase I  
Public  
Improvements  
Contracts

Mr. Quaschnick recommended amending the Phase I Public Improvement contracts with Hicks and Hartwick and Gary Poling & Associates as follows: expand the scope of work to include storm drains in State and Orange Streets and extend the State Street improvements from Seventh Street to Redlands Boulevard; increase cost figures not to exceed \$30,000 for the Hicks and Hartwick contract and not to exceed \$55,900 for the Gary Poling and Associates contract. Mr. Martinez moved to authorize the execution of the amendments to the contracts as recommended by Mr. Quaschnick. Motion seconded by Mr. Johnson and carried by AYE votes of all present.



# **APPENDIX D**

## **City of Redlands Park and Open Space Plan *(Page Excerpts)***





# Park and Open Space Plan

## FOR THE CITY OF REDLANDS

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# Park and Open Space Plan FOR THE CITY OF REDLANDS

JUNE 1987

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  - MISCELLANEOUS RECOMMENDATIONS 49
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  - RECOMMENDED 49
- DANGERMOND AND ASSOCIATES, INC.**  
**2630 LAND PARK DRIVE**  
**SACRAMENTO, CALIFORNIA 95818**

APPENDICES

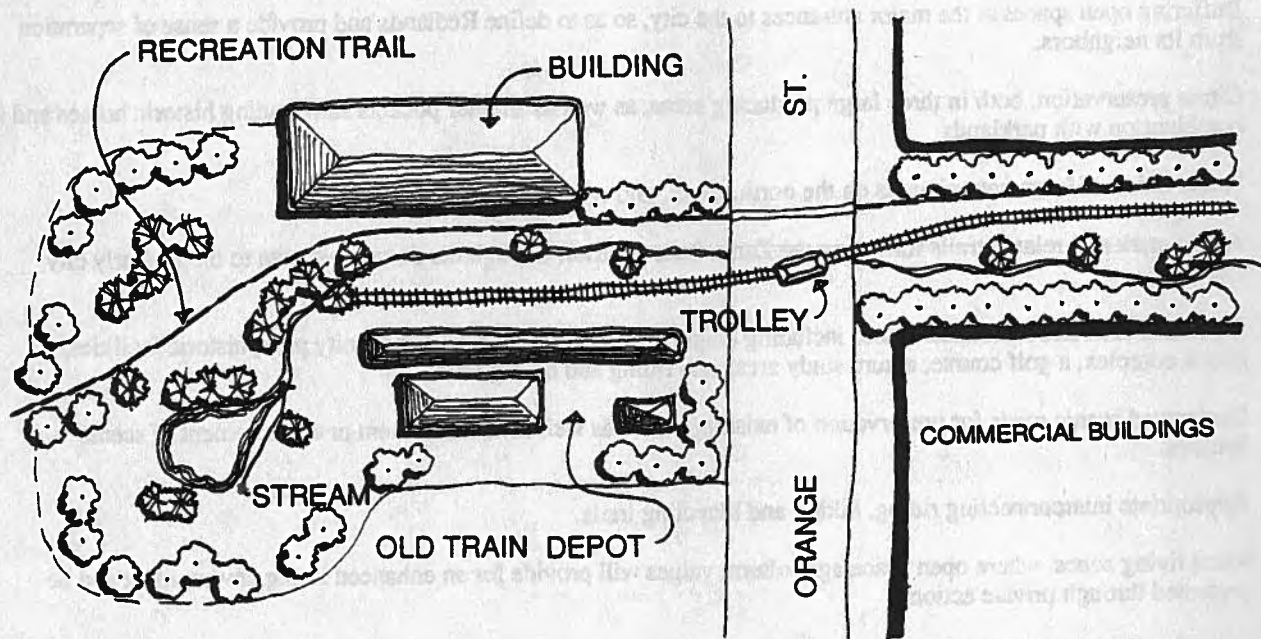
- OPEN SPACE AND CONSERVATION ELEMENTS OF THE GENERAL PLAN
- RECREATION ELEMENT OF THE GENERAL PLAN

The creation of a citywide lighting and landscape district would constitute the third fund. It would principally be utilized to improve the aesthetic values of selected streets throughout the city and to improve existing undeveloped park land. It would also be possible to use it for a backup source for open space acquisition.

**PLAN DESCRIPTION BY SEGMENTS**

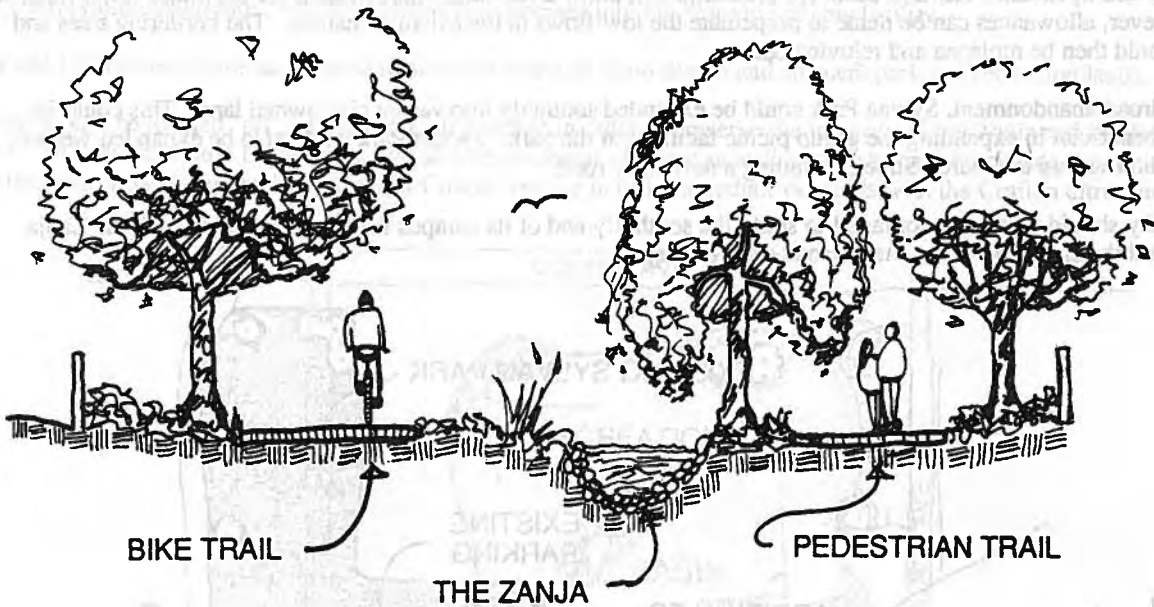
**Zanja--Downtown Area**

The plan proposes a meandering strip park through the downtown area, starting at the corner of Redlands Boulevard and Texas Street. It would proceed easterly to the historic Santa Fe depot and then follow the Santa Fe tracks to Sylvan Park. The strip park would feature an artificial low-flow Zanja stream as well as a recreation trail for bicyclists, joggers, and walkers. The focal point to the strip park would be an enlarged park space, featuring the Santa Fe depot itself and at least one of the historic brick packing houses found in the area. These buildings could be used for cultural uses such as an arts gallery and a Redlands museum as well as adapted for compatible private enterprise uses. It has been suggested that possibly a historic trolley could also be included, running from the depot to either Sylvan Park or the University of Redlands.



The strip park should be used as a stimulus to the adjacent commercial and high density residential redevelopment areas. The Open Space Committee particularly suggested the downtown stream/park areas of San Luis Obispo and San Antonio, Texas, as examples to be studied.

The strip park also interrelates within the Redevelopment Agency's plan for a looping shopper's lane throughout the downtown area. The concept of a strip park through the downtown area, following the Zanja, has its roots in the 19th century when Scipio Craig, a Redlands pioneer, advocated such an idea early in the city's development.



Implementation mechanisms could include a blending from the following:

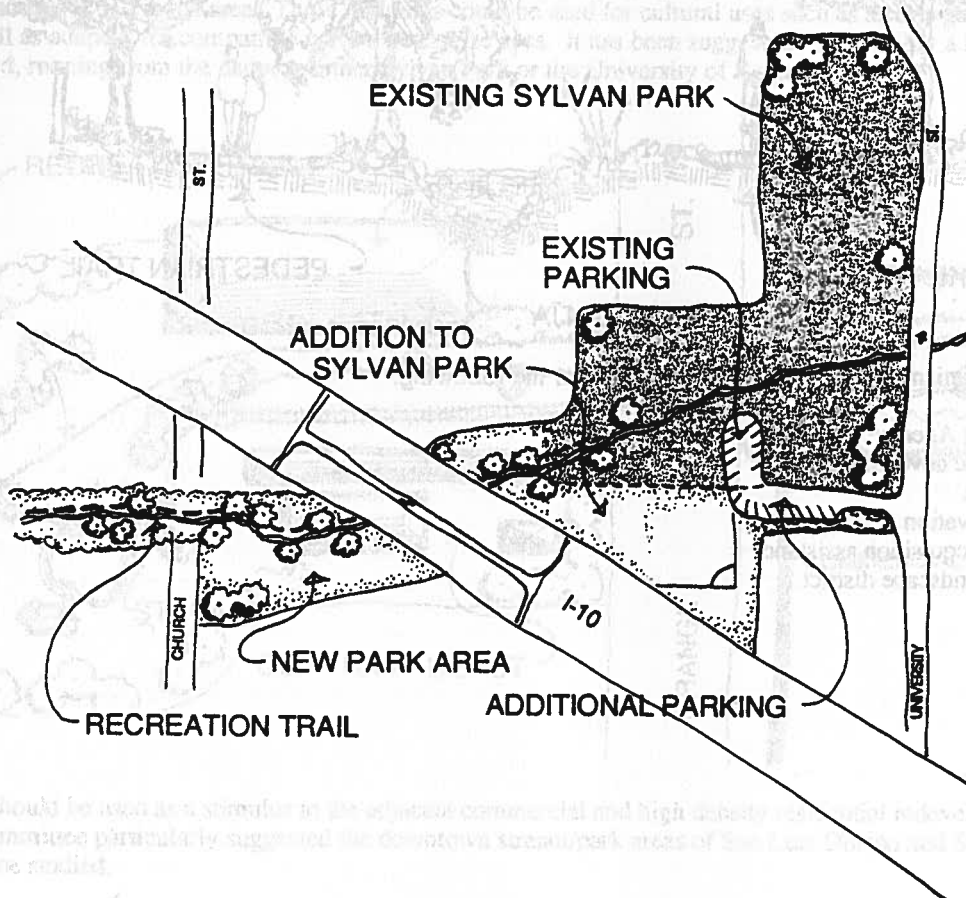
1. Redevelopment Agency
2. Adjacent private developments
3. Bikeway grants
4. Historic preservation grants
5. Park fund for acquisition assistance
6. Lighting and landscape district

### Zanja--Church Street to Wabash Avenue

The plan continues the strip park along the railroad right of way, including plantings and interconnecting bicycle and walking trails. A planned upstream detention basin for the Zanja will allow a new ditch/pipe system for the major flood flows of the Zanja. However, allowances can be made to perpetuate the low-flows in the existing channel. The bordering trees and plantings should then be replaced and rejuvenated.

After the railroad abandonment, Sylvan Park could be expanded southerly into vacant city-owned land. This could be particularly beneficial in expanding the group picnic facilities at the park. Sylvan Park could also be expanded westerly underneath the freeway to Church Street, including a new entry road.

The University should also be encouraged to study the southerly end of its campus for possible tie-ins with the Zanja restoration and the strip park along the railroad right of way.



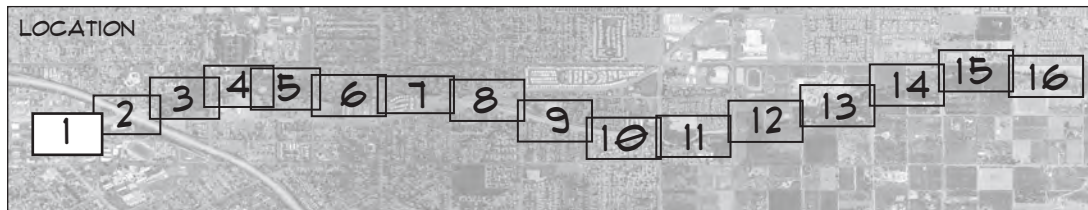
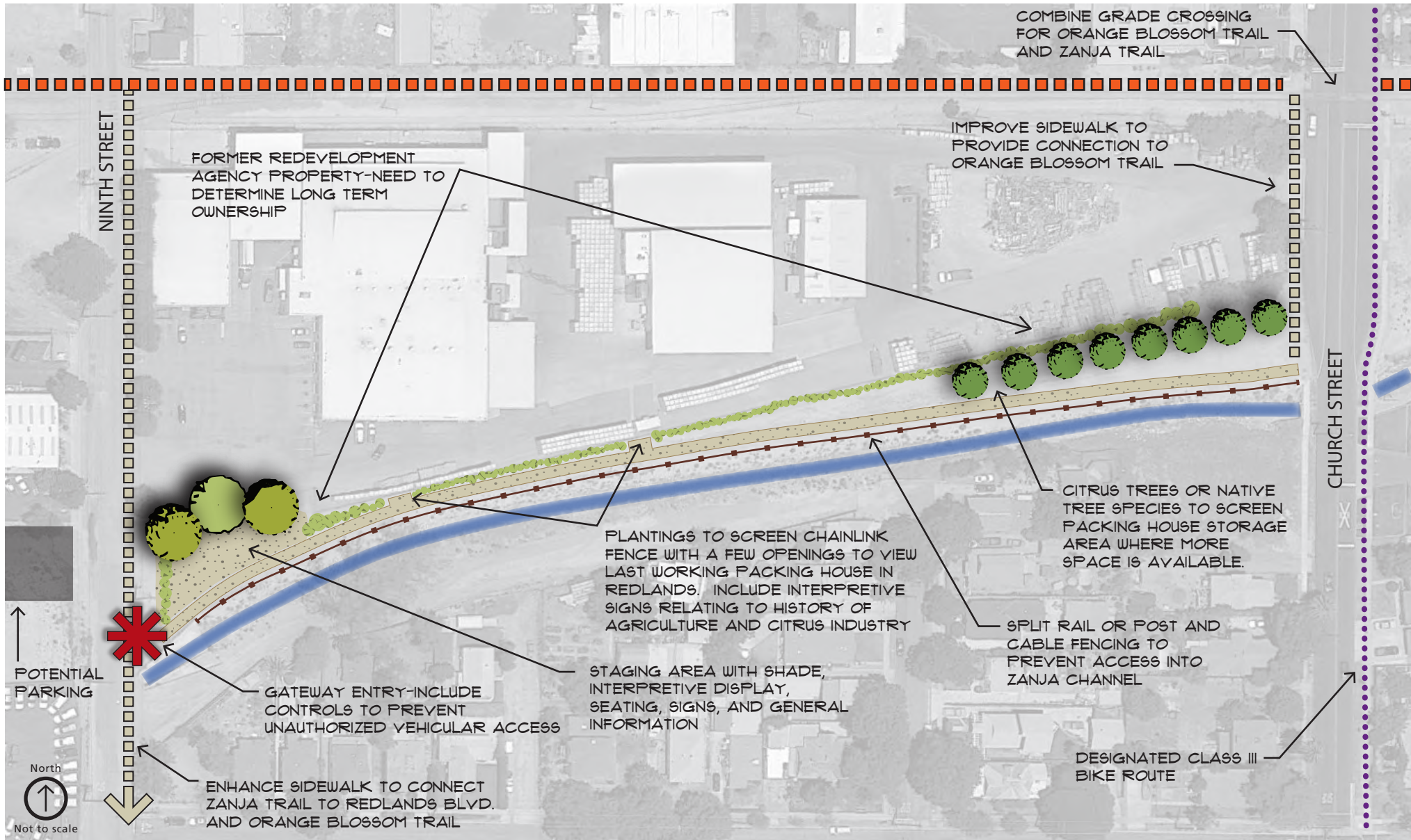
Implementation mechanisms could include assistance from the following sources:

1. Park Fund to acquire and develop approximately 25 acres of railroad right of way and develop the city land southerly of Sylvan Park.
2. The establishment of a special assessment district is being studied for the purposes of funding the Zanja detention basin and channel improvements. The city should explore the feasibility of this assessment also paying for a portion of the restoration costs of the historic Zanja and for a portion of the railroad right of way costs (underground flood control pipe location).
3. California Conservation Corps
4. Bikeway grants



# **APPENDIX E**

## **City of Redlands Mill Creek Zanja Trail & Greenway Concept Plan *(Page Excerpts)***

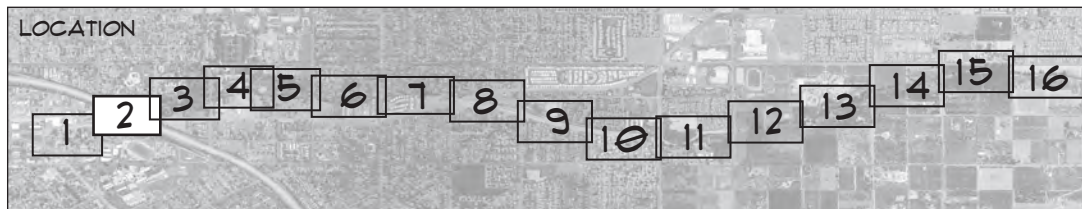
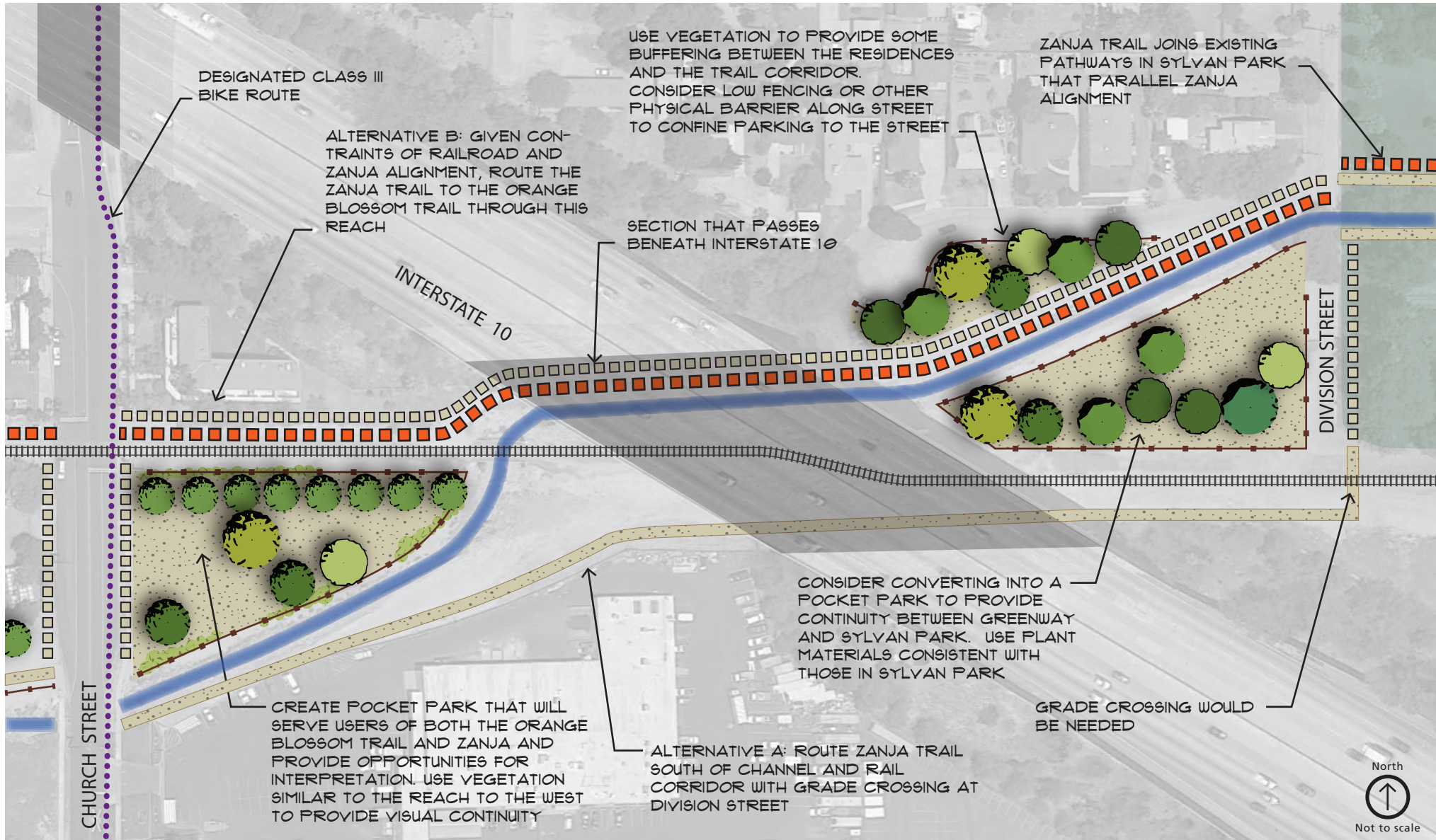


**LEGEND**

- STAGING AREA
- TRAIL ALIGNMENT
- FENCING
- ORANGE BLOSSOM TRAIL
- ZANJA TRAIL CONNECTOR
- ZANJA ALIGNMENT
- PARKING
- CITY DESIGNATED BIKEWAY

DRAFT 10-19-12  
Prepared by the National Park Service Rivers, Trails & Conservation Assistance Program for the Redlands Conservancy. Conceptual plan, not to be used for construction.

# Ninth Street to Church Street

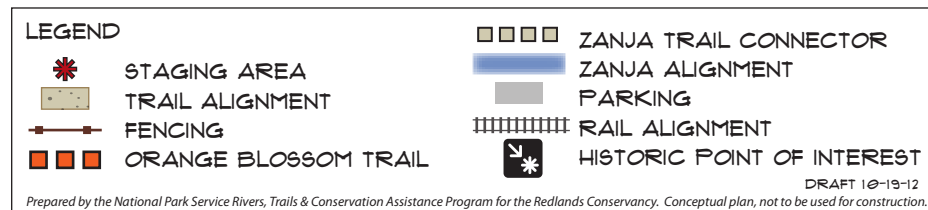
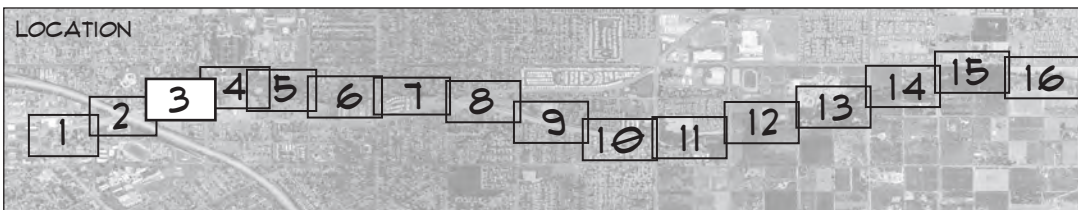
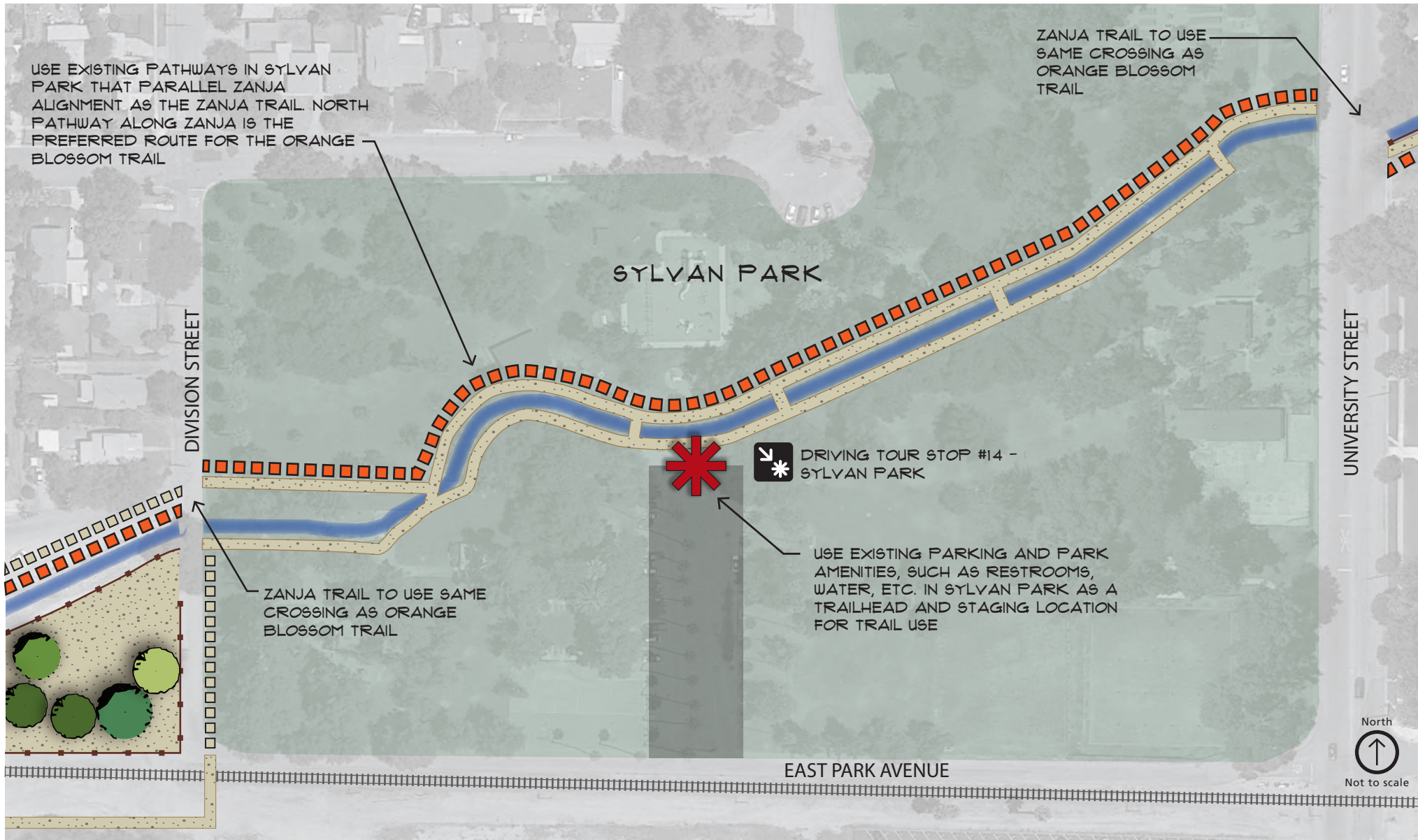


LEGEND

	TRAIL ALIGNMENT		ZANJA TRAIL CONNECTOR
	FENCING		ZANJA ALIGNMENT
	ORANGE BLOSSOM TRAIL		RAIL ALIGNMENT
			CITY DESIGNATED BIKEWAY

Prepared by the National Park Service Rivers, Trails & Conservation Assistance Program for the Redlands Conservancy. Conceptual plan, not to be used for construction.  
DRAFT 10-19-12

# Church Street to Division Street



# Division Street to University Street





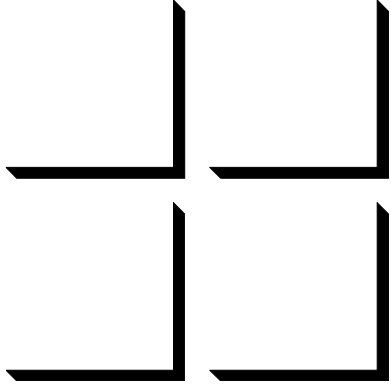
## **APPENDIX F**

### **Redlands Redevelopment Agency Five-Year Implementation Plan (2005-2009) *(Page Excerpts)***

Redevelopment Agency  
Of the  
City of Redlands

**FIVE-YEAR  
IMPLEMENTATION PLAN  
AND  
TEN-YEAR  
HOUSING COMPLIANCE PLAN**

August 2, 2006



August 2, 2006

Adopted: August 1, 2006  
Resolution No. 401

# **Five-Year Implementation Plan and Ten-Year Housing Compliance Plan**

---

REDEVELOPMENT AGENCY OF THE CITY OF REDLANDS

 GRC REDEVELOPMENT CONSULTANTS  
701 S. Darker Street  
Suite 7400  
Orange, CA 92868

- Objective 2.1 Create a Service Commercial Area that encourages the development of vacant land and under-used properties for business development.
- Objective 2.2 Adopt development standards and design guidelines to insure high-quality projects that are compatible with neighboring residential and commercial uses.
- Objective 2.3 Prohibit large-scale manufacturing and assembly, warehousing-storage complexes, large-scale service yards and other land uses that generate significant noise, odor or truck traffic. Locate these activities elsewhere in the City, outside the downtown area. The City and Redevelopment Agency shall work with existing businesses to locate suitable sites for expansion and relocation of these activities.

**Goal #3.** Provide public improvements for traffic circulation, flood control, utility services and aesthetic amenities that will attract new private investment and economic development.

- Objective 3.1 Improve collector and local streets as new development occurs.
- Objective 3.2 Place emphasis on excellence in streetscape design. Provide high-quality sidewalks, street trees, pedestrian lighting and directional signage.
- Objective 3.3 (none)
- Objective 3.4 Complete the BNSF Trail shoppers lane.
- Objective 3.5 Complete pedestrian alley improvements in the 500 block of Orange Street.
- Objective 3.6 Build a linear park along the Mission Zanja from Church Street to Ninth Street.
- Objective 3.7 Develop a public parking structure and pedestrian plaza in the BNSF Depot District.
- Objective 3.8 Develop the BNSF right-of-way as a pedestrian trail and bike path if the railroad vacates the property or if an easement can be obtained for trail purposes.
- Objective 3.9 Make recommended infrastructure improvements to storm drainage, sanitary sewers and utilities throughout the redevelopment plan area.
- Objective 3.10 Expand the capacity of the Zanja storm drain by adding a new structure along the abandoned Southern Pacific railroad alignment.

to reduce blight by alleviating obstacles to the development of currently vacant or underutilized land. The eventual completion of these planned improvements will serve as the foundation upon which subsequent development may occur.

Landscaping and other aesthetic enhancements will improve the visual quality of business districts, public areas and residential neighborhoods. This, in turn, will have the effect of inducing new investment or reinvestment. An improved visual image often increases levels of patronage for local merchants, which enhances profit margins and sales taxes for the City. This also improves the value of previously impaired investments and contributes to additional capital for further reinvestments. Landscaping and other aesthetic improvements will also lead to increased neighborhood pride, which, in turn, often encourages programs of regular maintenance and the willingness of residents and neighbors to be more protective of their surroundings. This improved protectiveness often results in a system of self-patrol that helps to reduce local crime, particularly crimes against property.

### 3.2.1 SPECIFIC ACTIVITIES

During the five-year term of this Implementation Plan, the Agency's infrastructure efforts will focus on rehabilitation and reinvestment in the downtown core area, including the following activities:

1. Core Block Parking Structure/Citrus Parking Structures and/or Parking Lots
2. Public Open Spaces/Public Plazas
3. Street and Roadway Alignments/Reconstruction
4. Pedestrian Way Construction/Reconstruction
5. Landscaping/Street Trees/Street Furniture/Lighting
6. Utilities – Sewer Connections
7. Traffic Signals, Signage and Re-Direction
8. Storm Drainage, Flood Control, Detention Basins and Other Storm/Flood Facilities
9. State Street and Orange Street Façade Improvements
10. Seismic Safety Retrofit of Un-Reinforced Masonry/Concrete Buildings and Structures

Activity	Relationship to Program Goals
<b>Historic Preservation</b>	
Telephone Company Switching Building	Supports the City's historic preservation goals, and eliminates building deterioration and deferred maintenance problems, enhances the visual quality of the Project Area, and improves public health and safety.
Galaxy Commercial Properties	
<b>Capital Improvements</b>	
Core Block Parking Structure/Citrus Parking Structures and/or Parking Lots	Eliminating inadequate public access, inducing private investment on currently vacant or underutilized parcels, supporting building rehabilitation, and addressing impaired investments.
Public Open Spaces/Public Plazas	
Street and Roadway Alignments/Reconstruction	
Pedestrian Way Construction and Reconstruction	
Landscaping/Street Trees/Street Furniture/Lighting	
Utilities – Sewer Connections	
Traffic Signals, Signage and Re-Direction	
Storm Drainage, Flood Control, Detention Basins and Other Storm/Flood Facilities	
State Street and Orange Street Façade Improvements	
Seismic Safety Retrofit of Un-Reinforced Masonry/Concrete Buildings and Structures	

### 3.3 DEVELOPMENT PROJECT REVIEW

Prior to formal submittals to the City for development permits, the Agency may from time to time review individual development projects that would result in a major intensification of use, substantial rehabilitation of existing structures, or new construction, for their consistency with this Implementation Plan, the Redevelopment Plan, and any other applicable Agency policies. Said review shall be accomplished in full



# **APPENDIX G**

## **Redlands Passenger Rail Project Presentation**



# Redlands Passenger Rail Project

ESRI at the Cafe

May 11, 2011



SAN BERNARDINO



REDLANDS





# Meeting Agenda

- Welcome/Introductions
- Project Overview & Purpose
- What We Have Done to Date
- Overview of Three-Phased Approach
- Funding
- Transit Oriented Development
- Next Steps
- Question & Answer



## Project Purpose

- Enhance transit options in region
- Improve transit travel time
- Help cities use transit-oriented development (TOD) to coordinate land use and transportation goals
- Meet regional and state goals to reduce greenhouse gases and create compact development
  - Assembly Bill 32 and State Bill 375



## REDLANDS PASSENGER RAIL PROJECT: Strategic Plan



LEGEND	
	Downtown San Bernardino Passenger Rail Project
	Redlands Passenger Rail Project - Phase 1 & 2
	Redlands Passenger Rail Project - Strategic Plan - Phase 3A
	Redlands Passenger Rail Project - Strategic Plan - Phase 3B
	Metrolink/Amtrak
	Potential Phase 1 Stations
	Potential Phase 2 Stations
	Potential Phase 3A Stations
	Potential Phase 3B Stations



# What We Have Done To Date

## Developed and Evaluated Alternatives

- **Build Alternatives Considered**
  - Bus Rapid Transit (BRT)
  - Diesel Multiple Unit (DMU)
  - Light Rail Transit (LRT)
  - Metrolink Extension
- **Evaluation of Alternatives**
  - Capital, and Operations & Maintenance Costs,
  - Ridership
  - Cost/Benefit Analysis
  - Conceptual Plans Prepared



## What We Have Done To Date

### **Multi-Agency & City Collaboration**

- SANBAG
- Cities of San Bernardino, Redlands, Loma Linda
- Southern California Association of Governments (SCAG)
- Federal Transit Administration (FTA)

### **Developed Redlands Passenger Rail Project Strategic Plan**

### **Public Information Meetings – September 2010**



## REDLANDS PASSENGER RAIL PROJECT Strategic Plan: PHASE 1



LEGEND	
<b>Rail Lines</b>	<b>Passenger Stations</b>
- Downtown San Bernardino Passenger Rail Project	- Metrolink/Amtrak
- Redlands Passenger Rail Project - Phase 1 & 2	- Potential Phase 1 Stations





SAN BERNARDINO

REDLANDS



# Phase 2 – System Enhancement HDR

## REDLANDS PASSENGER RAIL PROJECT Strategic Plan: PHASE 2



LEGEND	
	Rail Lines
	- Downtown San Bernardino Passenger Rail Project
	- Redlands Passenger Rail Project - Phase 1 & 2
	Passenger Stations
	- Metrolink/Amtrak
	- Potential Phase 2 Stations







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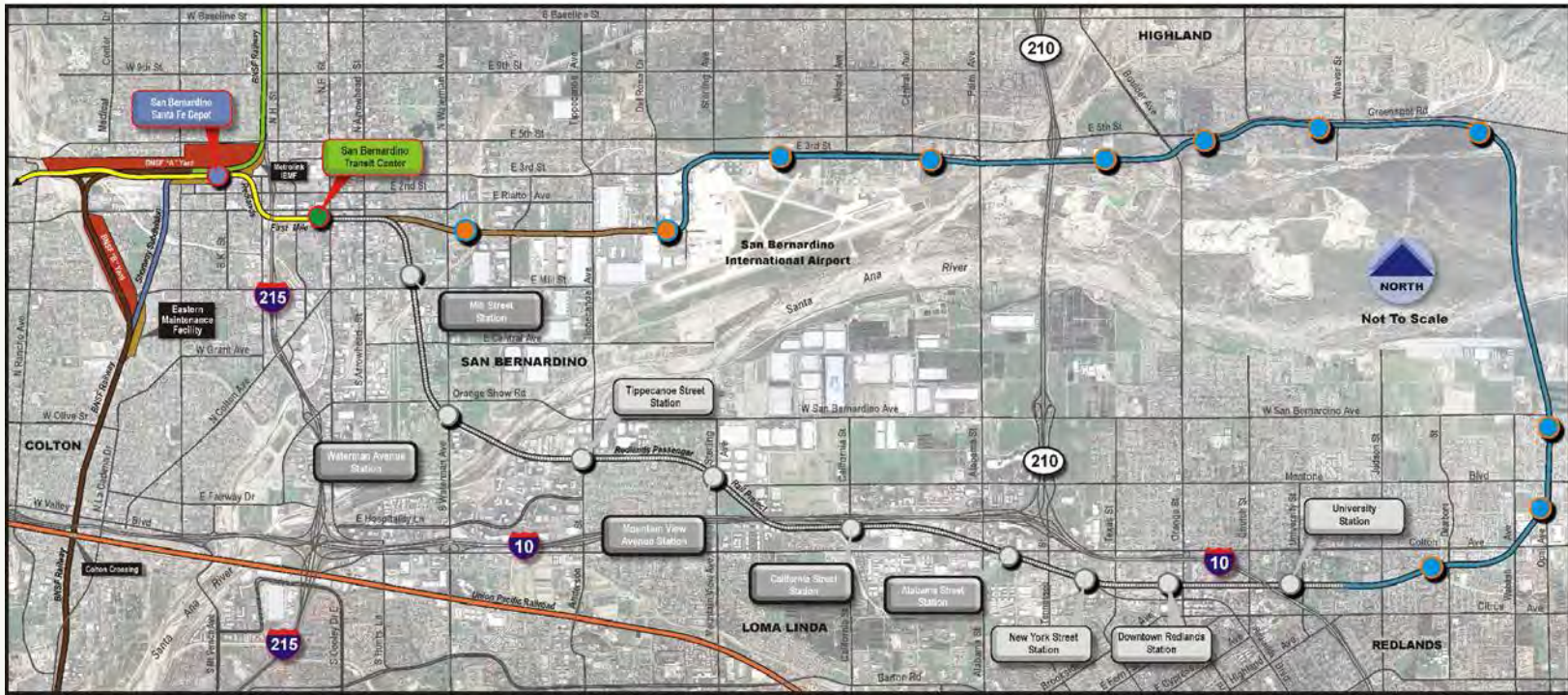


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## REDLANDS PASSENGER RAIL PROJECT Strategic Plan: PHASE 3



LEGEND	Rail Lines	Passenger Stations
	<ul style="list-style-type: none"> <li>- Downtown San Bernardino Passenger Rail Project</li> <li>- Redlands Passenger Rail Project: Strategic Plan - Phase 3A</li> <li>- Redlands Passenger Rail Project: Strategic Plan - Phase 3B</li> </ul>	<ul style="list-style-type: none"> <li>- Metrolink/Amtrak</li> <li>- Potential Phase 3A Stations</li> <li>- Potential Phase 3B Stations</li> </ul>

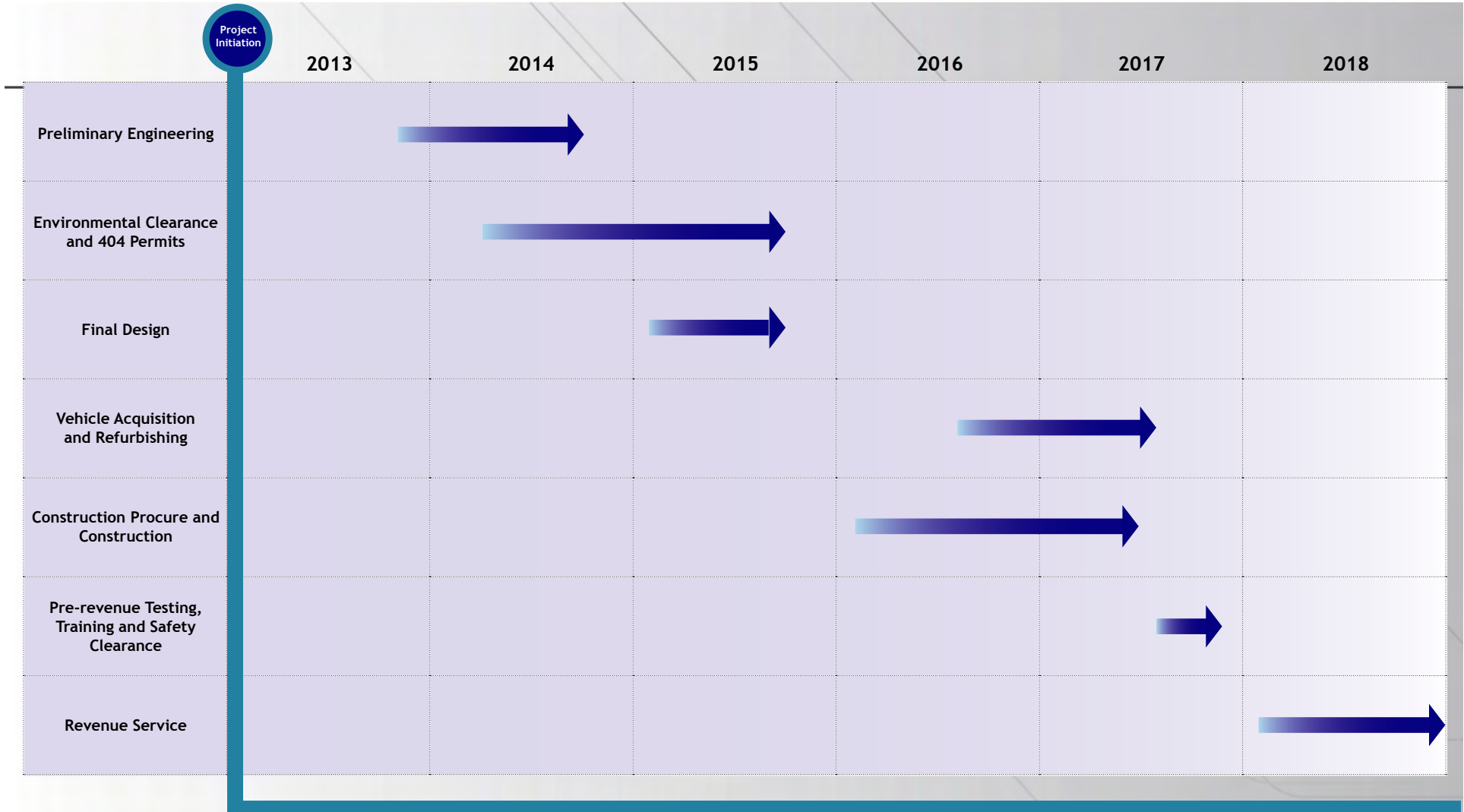


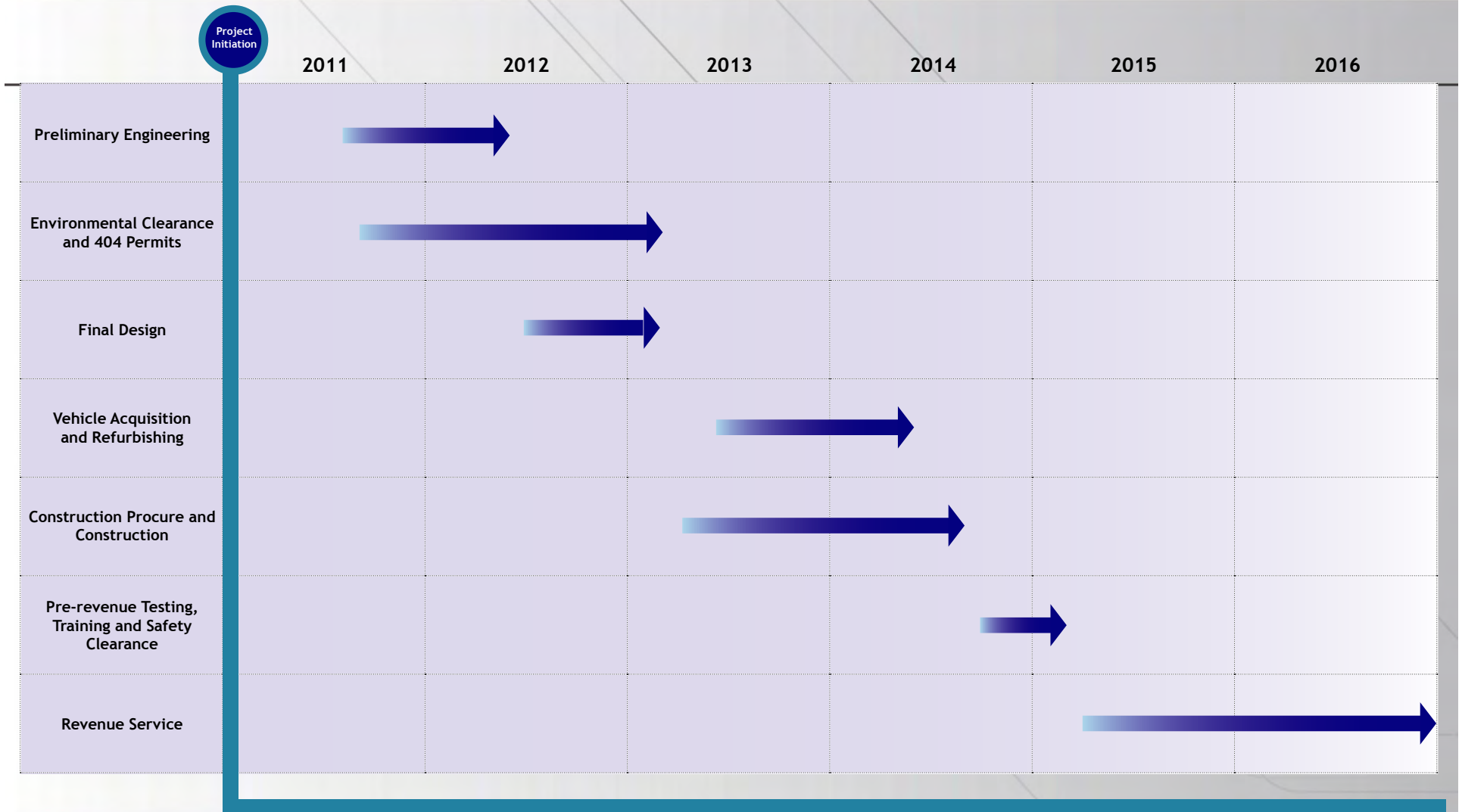


SAN BERNARDINO

REDLANDS







## Transit-Oriented Development (TOD) Purpose

- Provide transit supportive land use plans and economic and community development opportunities
- Address state greenhouse gas reduction goals
- Address SCAG Regional Transportation Plan (RTP) and Sustainable Community Strategy



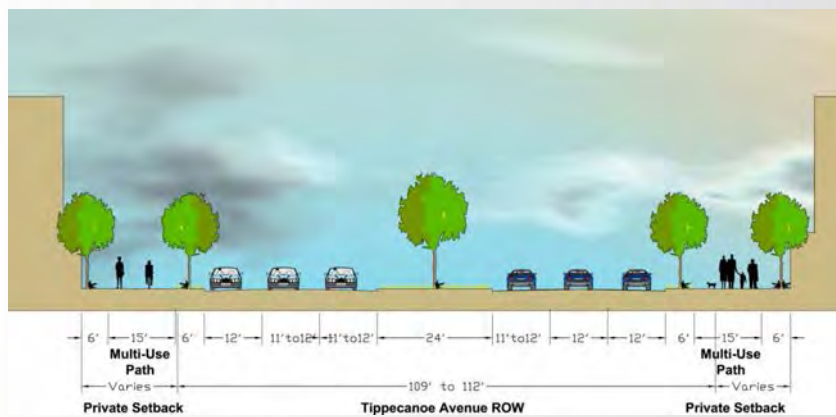
## Transit-Oriented Development (TOD) Timelines

- Working with San Bernardino, Loma Linda and Redlands to develop TOD Area plans and policies
  - Draft TOD Area plans expected Summer 2011
  - Coordinated PEIRs for draft TOD plans and policies projected Summer 2011-Fall 2012
  - Adoption of TOD plans and policies estimated Fall 2012





# Tippecanoe TOD Area



Horizontal Residential Mixed-Use including private courtyards and interconnected open spaces with pedestrian connections

Redlands transit platform and plaza with shuttle and bus drop-off/pick-up

Office development with an active green space with connections to the proposed pedestrian and bicycle trail adjacent to the flood control channel

Mixed-use including offices, multi-family residential, and neighborhood retail arranged along a central green with pedestrian connections to the transit platform

Community open space at terminus of street linking neighborhood to trail along the railroad tracks

Infill existing single-family residential with bungalow cottages, townhomes and live-work units

Proposed new street

Mixed use with offices along Tippecanoe Avenue, multi-family housing to the east with shared parking and open space

Proposed new private lane through Northpointe block to make it more walkable by adding streetscape and infilling with businesses oriented towards this new lane and Brier Drive

sbX Tippecanoe Station

A cluster of neighborhood shops and restaurants encircling an outdoor plaza with interactive fountain, outdoor dining, and seating area



## Next Steps

- Determine financial plan
- Preliminary engineering and environmental documentation
- Continue TOD coordination with cities
  - Transit supportive General Plan and Zoning updates
  - Programmatic Environmental Impact Report
- Continue coordination with SCAG
  - Project definition in RTP
  - Reflect TOD land use in RTP
  - Programming of funds (Transportation Improvement Plan amendment)



**QUESTION AND ANSWER**

**THANK YOU FOR YOUR INPUT**







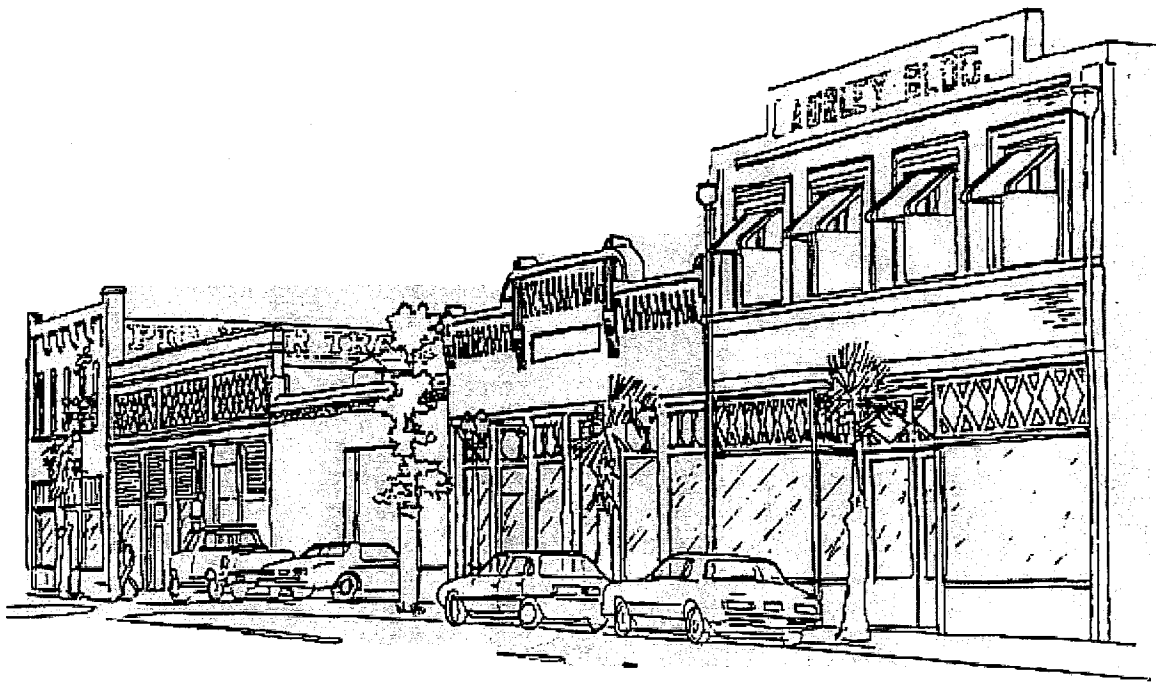
# **APPENDIX H**

## **Downtown Specific Plan** *(Specific Plan 45)*



# **DOWNTOWN SPECIFIC PLAN**

**SPECIFIC PLAN NO. 45**



**ORANGE STREET**

**CITY OF REDLANDS  
DEVELOPMENT SERVICES DEPARTMENT  
APPROVED ON JUNE 21, 1994  
REVISED THROUGH JULY 15, 2008**

**City of Redlands**  
**Downtown Redlands**  
**Specific Plan**  
**(Specific Plan No. 45)**

Adopted June, 21 1994  
Incorporating Amendments through  
July 15, 2008

**SPECIFIC PLAN NO. 45  
TABLE OF AMENDMENTS**

<b>CHANGE</b>	<b>PAGE NUMBER</b>	<b>DATE EFFECTIVE</b>
<b>Amendment No. 3</b>	<b>Page 21</b>	<b>October 7, 1997</b>
<b>Correction to replace missing text on original adoption</b>	<b>Page 96</b>	<b>September 30, 1999</b>
<b>Amendment No. 4</b>	<b>Page 100-102</b>	<b>April 6, 1999</b>
<b>Amendment No. 5</b>		<b>Not Adopted</b>
<b>Amendment No. 6</b>	<b>Page 16</b>	<b>November 19, 2002</b>
<b>Amendment No. 7</b>	<b>Page 34, 65, 104</b>	<b>May 20, 2003</b>
<b>Amendment No. 8</b>	<b>Page 22, 23, 24, 65, &amp;105</b>	<b>January 6, 2004</b>
<b>Amendment No. 9</b>	<b>Page 25</b>	<b>November 2, 2004</b>
<b>Amendment No. 10</b>		<b>Withdrawn</b>
<b>Amendment No. 11</b>	<b>Page 16</b>	<b>July 3, 2007</b>
<b>Amendment No. 12</b>	<b>Page 32 &amp; 33</b>	<b>July 3, 2007</b>
<b>Amendment No. 13</b>	<b>Page 100</b>	<b>July 3, 2007</b>
<b>Amendment No. 14</b>	<b>Page 25</b>	<b>July 15, 2008</b>



# Downtown Redlands Specific Plan

## City of Redlands, California

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## **SUPPORTING STUDIES AND DOCUMENTS**

Published as separate documents:

Master Action Plan: Redlands Redevelopment Agency and the City of Redlands, California Gerald Gast, Urban Design and Architecture. Adopted by City Council and Redlands Redevelopment Agency, March 7, 1989.

Retail Market Opportunity Analysis: Downtown Redlands. Marketing for Professionals, Inc. November, 1989.

Assessment of Office, Industrial and Multi-family Residential Market Demand and Development Opportunities in Downtown Redlands. Keyser-Marston Associates, Inc., 1988.

Redlands and I-10 Corridor Office Market Analysis. Alfred Gobar and Associates, Inc., 1987.

The Redlands Santa Fe Depot District. National Register of Historic Places Nomination, AEGIS, Planning for Historic Preservation, 1990.

## I. INTRODUCTION

### A. Purpose of the Specific Plan

The purpose of the Downtown Redlands Specific Plan is to provide a comprehensive set of standards for land use, development design and public improvements for the northern portion of the Redlands Town Center.

**The primary goal of the Specific Plan area is to create a compact, pedestrian-oriented environment that is consistent in character and density with the older Redlands Town Center. The Specific Plan area should be viewed as an extension of the existing Town Center northward to the I-10 Freeway. It should form a prominent "gateway" to downtown Redlands from the Freeway, and avoid becoming a freeway-oriented area dominated by the automobile.**

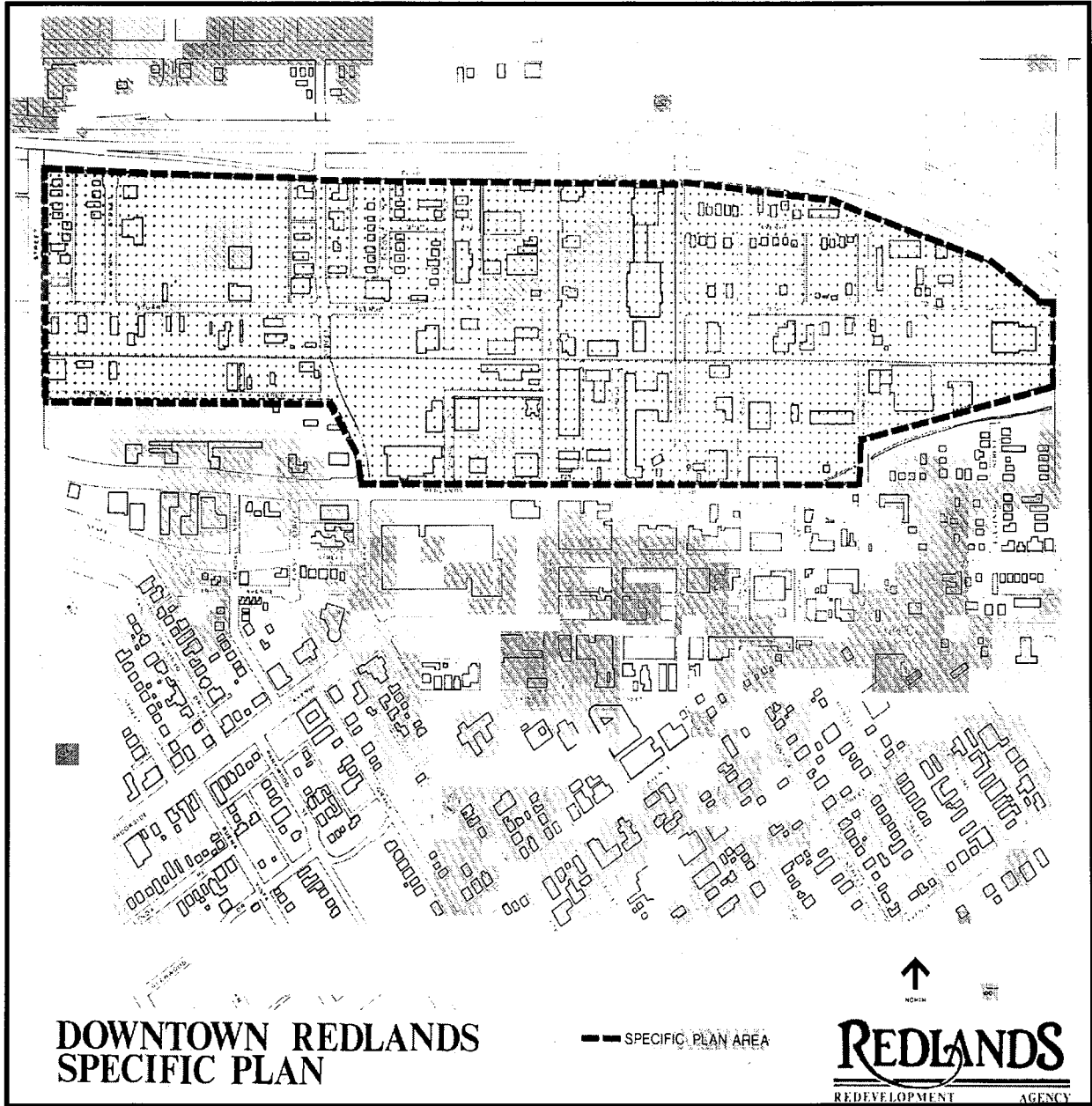
The Specific Plan area contains a large number of underdeveloped properties. Together they create an important opportunity to contribute to the city's economic development and provide local employment, shopping, service and entertainment facilities that will further strengthen the greater downtown area. Since the development pattern that takes place in this area during the next decade is likely to last well into the next century, it is important for the City to carefully plan land use, design character and public improvements that address *future* needs and opportunities, with an outlook beyond present conditions.

A special opportunity presented by the Specific Plan area is its rich historic resources. The area contains many of Redlands' oldest buildings, including the historically significant Santa Fe Depot, adjacent citrus packing houses and row of turn-of-the-century commercial buildings on Orange Street. In 1991, the historic area was listed on the National Register of Historic Places as the "Redlands Santa Fe Depot District." This area should be carefully preserved, and its buildings adapted to modern uses, with new development sensitively integrated into the district.

Because of the unique physical conditions of the area, and the critical role it will play in downtown Redlands' future, the Specific Plan has been selected as the most effective strategy to guide future development.

**B. The Specific Plan Area**

The boundaries of the Specific Plan area are shown on the map below, Figure 1. A legal description of the area is provided in Appendix A.



## **SPECIFIC PLAN AREA**

### **C. Relevant State Law**

California State Law authorizes cities with complete General Plans to prepare and adopt Specific Plans in accordance with Government Code Section 65450. Specific Plans are used as a bridge between the General Plan and individual development proposals. The Specific Plan normally combines zoning regulations, a capital improvement program, development standards, design guidelines, and other regulations or policies tailored to meet the needs of the Specific Plan area.

The Specific Plan must, by law, include a description of the following:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.

The Specific Plan may address any other subjects which, in the judgment of the planning agency, are necessary or desirable.

A Specific Plan shall be prepared, adopted, and amended in the same manner as a General Plan, except that a Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.

No local public works project may be approved, no tentative map or parcel map for which a tentative map was not required may be approved, and no zoning ordinance may be adopted or amended within an area covered by a Specific Plan unless it is consistent with the adopted Specific Plan.

#### **D. Relationship to the Redlands General Plan**

The current Redlands General Plan was adopted in 1972, augmented by the Open Space and Conservation Element and Recreation Element adopted in 1988, and the Housing Element adopted in 1985. A General Plan Update is currently in process and scheduled for adoption in 1994.

The Specific Plan is consistent with the Goals and Objectives of the current General Plan. The following Goals and Objectives of the General Plan of 1972 are relevant to the Specific Plan Area:

- Economic Goal:

- to provide for continued orderly and diversified economic growth in the City of Redlands and the adjacent area.

Objectives:

- to aid in the development of viable, stable, and attractive commercial areas.
- to upgrade and improve existing commercial areas.
- to encourage and promote orderly development and growth of industrial areas.

- Central Business District

The General Plan recognizes the importance of revitalization of the Central Business district and states the following policies:

- *Provide sufficient commercial land area within the City and Planning Area to meet the ultimate needs of the community when developed to capacity.*

- *Promote the development of commercial facilities which are convenient to residents of the Planning Area.*
  - *Establish the Central Business District of Redlands as the principal commercial area within the city.*
  - *Take full advantage of the excellent vehicular circulation system that presently exists and recognize that roadway improvements are attainable that will further enhance the central city's accessibility.*
  - *Create a superior environment for shoppers, workers, visitors and residents.*
- Industrial
    - *Industrial development should take place within organized, well designed industrial subdivisions with adequate internal traffic circulation and all necessary utility installments.*

#### **E. Land Use Summary**

The highest and best economic use of the Specific Plan area is for expansion of Central Business District commercial uses. This should be balanced with allowance for service commercial activities that provide business and residential support services to the downtown area and neighboring housing districts. Manufacturing and light industrial uses in the city should be placed in larger planned industrial districts outside the downtown area.

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## II. GOALS AND POLICIES

Goal 1. *Develop the Specific Plan area as an extension of downtown Redlands, providing a high-quality pedestrian-oriented development character consistent with the rest of the Town Center.*

Policy 1.1 Encourage high-quality office, retail, entertainment and other related commercial uses.

Policy 1.2 Promote land uses that create local employment opportunities for Redlands residents, stimulate local economic development and reduce the need for local residents to commute to jobs outside the city.

Policy 1.3 Adopt development standards and design guidelines that require new development projects to be consistent with the traditional pattern of downtown development. Buildings are to be located at or near the front property line, with parking to the rear or side screened from public view.

Policy 1.4 Discourage freeway-oriented land uses, drive-through uses, and other activities that generate high traffic volume.

Policy 1.5 Encourage the use of public transportation and emphasize pedestrian circulation throughout the downtown area.

**Goal 2. *Provide opportunities for the expansion and development of small businesses that provide local services.***

Policy 2.1 Create a Service Commercial Area that encourages the development of vacant and under-used properties for business development.

Policy 2.2 Adopt development standards and design guidelines to insure high-quality projects that are compatible with neighboring residential and commercial uses.

Policy 2.3 Prohibit large-scale manufacturing and assembly, warehouse-storage complexes, large-scale service yards and other land uses that generate significant noise, odor or truck traffic. Locate these activities elsewhere in the city, outside the downtown area. The City and Redevelopment Agency shall work with existing businesses to locate suitable sites for expansion and relocation of these activities.

**Goal 3.      *Provide public improvements for traffic circulation, flood control, utility services and aesthetic amenities that will attract new private investment and economic development.***

Policy 3.1      Give first priority to the widening of Eureka Street, between Pearl Avenue and Redlands Boulevard.

Policy 3.2      Improve collector and local streets as new development occurs.

Policy 3.3      Place emphasis on excellence in streetscape design. Provide high quality sidewalks, street trees, pedestrian lighting and directional signage.

Policy 3.4      Complete the Santa Fe Trail shoppers lane.

Policy 3.5      Complete pedestrian alley improvements in the 500 block of Orange Street.

Policy 3.6      Build a linear park along the Mission Zanja from Church Street to Ninth Street.

Policy 3.7      Develop a public parking structure and pedestrian plaza on Oriental Avenue, in the Santa Fe Depot District.

Policy 3.8      Develop the Santa Fe right-of-way as a pedestrian trail and bike path if the railroad vacates the property.

Policy 3.9      Make recommended infrastructure improvements to storm drainage, sanitary sewers and utilities throughout the Specific Plan area.

Policy 3.10     Expand the capacity of the Zanja storm drain by adding a new structure along the abandoned Southern Pacific railroad alignment.

**Goal 4.      *Preserve historic buildings and sites.***

Policy 4.1      Emphasize rehabilitation and adaptive reuse of historic buildings and contributing buildings to the Santa Fe Depot District, developing new activities that contribute to downtown economic vitality.

- Policy 4.2 Encourage adaptive reuse and rehabilitation of historic houses in the High Avenue area.
- Policy 4.3 Encourage the preservation of other significant historic resources that exist throughout the plan area and have viable uses.

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### III. LAND USE

#### A. Background

Downtown revitalization is a significant part of Redlands' city-wide economic development objectives. The Downtown Revitalization Program initiated in 1983 dramatically strengthened downtown Redlands as the city's cultural, social and commercial center. During the period of 1984-88, new downtown development with over \$23 million of private investment was completed. This was accompanied by nearly \$20 million in public improvements, either completed or committed, to correct utility and drainage deficiencies, improve streets and sidewalks, provide additional parking, improve downtown building facades and acquire property for redevelopment.

#### 1. Development Potential

Background studies<sup>1</sup> for the Downtown Master Action Plan and Specific Plan evaluated the market potential for retail, office, research and development, light industrial and multi-family residential spaced. The findings of the market studies concluded the growing "central place" role of the Interstate 10 corridor and increased potential to attract financial, technical, professional and research-development offices and services to downtown Redlands.

Citywide market demands were projected for the following:

- 50,000 - 60,000 square feet of office space per year during the period of 1988-1993.
- A cumulative total of 72,000 - 220,000 square feet of multi-tenant research and development space by 1995. This type of space is often occupied by offices and commercial services.
- The studies concluded that multi-family housing, both rental and owner occupied, did not appear to be a market-supportable use in the downtown area for the near future. This is due to the high cost of downtown land relative to other land in the city. As the overall downtown area improves, however, housing could become an attractive accessory use to retail developments on certain

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<sup>1</sup> Assessment of Office, Industrial and Multi-Family Residential Market Demand and Development Opportunities in Downtown Redlands. Keyser-Marston Associates, Inc. 1989. and Retail Market Opportunity Analysis: Downtown Redlands. Marketing for Professionals, Inc. 1989.

sites. A further potential for housing could derive from use of the Redevelopment Agency's set aside funds to assist low and moderate income housing in the greater downtown area, including the Specific Plan area.

- The 1984 Downtown Revitalization Plan projected strong potential for specialty retail uses in the downtown area and recommended public improvements to create a high-quality pedestrian-oriented Town Center, that offers an alternative to typical suburban shopping centers of the region. As a result of the City and Redevelopment Agency's public improvement program, an ambitious reorganization of Redlands Town Center's promotional efforts, downtown retail sales have improved.

Downtown retail opportunities have been identified in the following categories: Specialty department store, "lifestyle" stores (books, cookware, specialty household goods), food specialties, fresh foods, restaurants-pubs, specialty apparel and shoes, and home furnishings.

The major concern in downtown's retail future is the future of Redlands Mall and the status of the Harris Department Store. Harris' immediate need for 25,000 square feet of space must be accommodated promptly if the store is to have a long term future in downtown Redlands. As the key "anchor" of downtown Redlands, the Harris store is of critical importance to both the Specific Plan area and overall downtown retail future. Studies completed for the Redevelopment Agency Master Action Plan illustrated proposals for adding up to 80,000 square feet of expansion space to the Mall.

## **2. Land Use Trends**

The Specific Plan area is critical to downtown Redlands' economic future since it is the location of most of downtown's developable land. The strategic location of the area between the Interstate 10 freeway and downtown core is excellent, as is access to the freeway.

The land use trends within the Specific Plan area during the next decade are expected to be :

- Redevelopment of vacant and under used properties for new retail, office and restaurant-entertainment activities.

- Rehabilitation and adaptive reuse of older existing structures, including several buildings of historic significance in the Santa Fe Depot District.
- Redevelopment of vacant and under used properties for local service commercial businesses, primarily small local businesses that offer home, commercial and professional services. The central location and easy freeway access of the Specific Plan area makes it ideal for this group of activities.

### **3. Recommended Land Uses**

Based on community objectives and market potential, the following land use activities are recommended for promotion and development in downtown Redlands, including the Specific Plan area:

- "Class A" office space in low rise, mixed-use courtyard-type buildings, typically 2-3 stories, similar to Redlands Centennial Plaza.
- Research and development space for professional and technical firms. Companies of this type frequently choose cities which offer high-quality living environments for their employees.
- High-quality commercial-retail, including specialty retail shops and services, emphasizing the pedestrian-oriented "Main Street" Town Center setting.
- Cultural activities and facilities with a regional audience.
- Restaurants, entertainment, cinema.
- Limited regional tourism - potential to attract visitors for cultural events, tours of historic buildings and parks, specialty shopping and entertainment.

### **4. Existing Residential Uses**

Two small residential neighborhoods in the Specific Plan area comprise approximately 52 existing residences and 8.95 acres. The first is centered on Ruiz and Third Streets, north of Stuart Avenue. The second is focused on High Avenue, east of Sixth Street. The High Avenue neighborhood has several small houses that are examples of typical Redlands dwellings from the early part of the century, including the historically significant Bealle house.

- The real estate value of properties in both neighborhoods is highest for commercial use.
- The Plan allows for continued residential, or conversion to commercial or other uses.
- The Specific Plan eliminates the former Freeway Commercial (FC), Light Industrial (M-1), and Commercial-Industrial (C-M) land use designations in this area to insure that new commercial development is compatible with adjacent residential uses.

## **B. Permitted Land Uses**

### **1. Land Use Districts**

The Specific Plan area contains three primary land use districts (see Figure 2):

#### **1.1 Town Center (TC) District**

The Town Center (TC) District is the major land use designation of the Specific Plan area. The TC District emphasizes retail, office, specialty and restaurant-entertainment activities that serve the community and attract visitors from the region. Within the District, activities which are oriented to pedestrians are encouraged, especially activities that balance day and night use. Land uses such as drive-in and drive-thru businesses that generate high traffic volume are discouraged.

#### **1.2 Town Center-Historic (TC-H) District**

The Town Center-Historic (TC-H) District contains many of Redlands' original citrus packing houses, the historically-significant Santa Fe Railroad Depot and an important ensemble of turn-of-the-century commercial buildings on Orange Street. Preservation and rehabilitation of existing buildings is the primary objective in this area. New buildings are to emphasize architectural continuity with existing historic structures.

Permitted land uses in the TC-H district are the same as the Town Center (TC) district, with the exception of vending carts. Push carts and vending carts shall be permitted in the TC-H district.



Specific regulations regarding licensing, vendor locations, the types of goods sold, and cart design shall be established by the City or Redevelopment Agency.

Development standards and design guidelines for the TC-H district differ from those stated in the Summary for the TC district.

The boundary of the TC-H District is different from the Redlands Santa Fe Depot District listed on the National Register of Historic Places.

### 1.3 Service-Commercial (SC) District

The Service-Commercial District encourages local service businesses, while permitting offices, housing and retail activities. Development standards and design guidelines insure that new service commercial development or rehabilitation-conversion of existing buildings are compatible with existing residential uses.

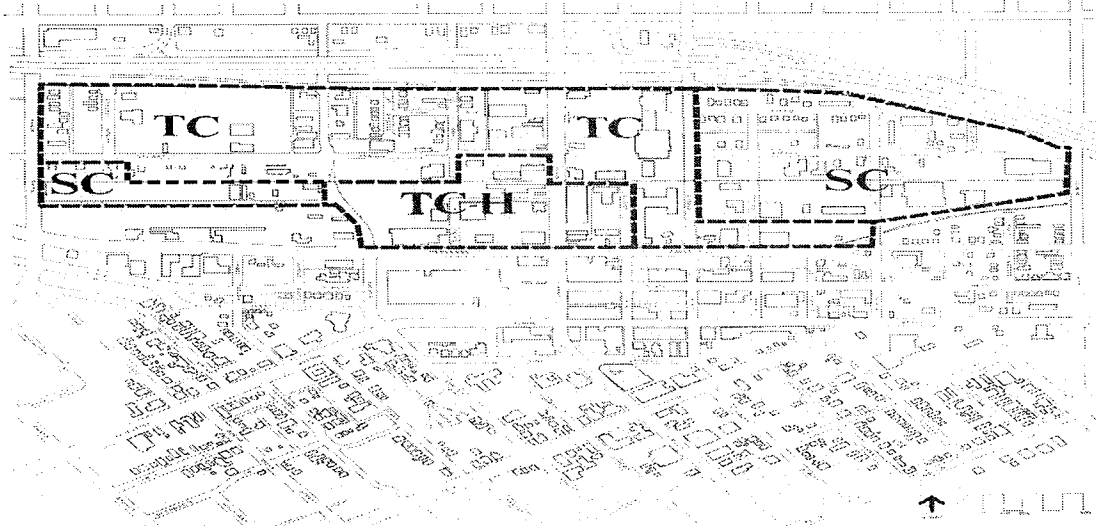
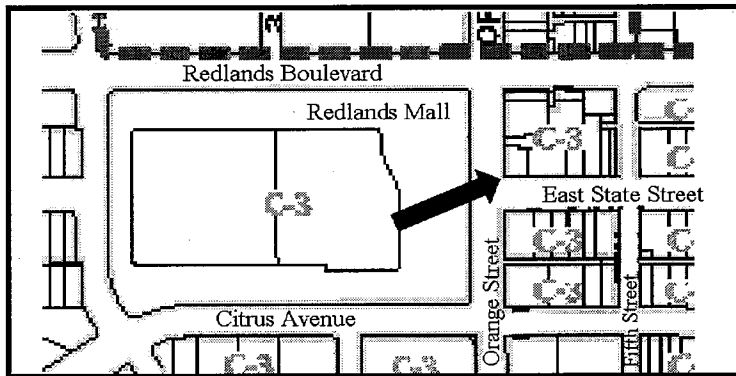


Figure 2.

**SPECIFIC PLAN AREA LAND USE DISTRICTS**

- TC Town Center
- TC-H Town Center-Historic District
- SC Service-Commercial District



**Non-Contiguous Parcel located at 1 East State Street to be added within Specific Plan 45, Town Center District per Ordinance No. 2516**

**Specific Plan Area land Use Districts**

- TC Town Center
- TC-H Town Center - Historic District
- SC Service Commercial District

Figure 2

## **2. General Provisions**

### **2.1 Application**

The land use, development type and design character shall be consistent with the Specific Plan provisions contained in this document.

### **2.2 Relationship to Existing Uses**

When proposed development abuts an established existing use, such new or remodeled development shall be designed to minimize adverse impacts on the existing use.

### **2.3 Relationship to Redlands Municipal Code**

All uses shall be subject to the applicable provisions of the Zoning Ordinance of the City of Redlands. Where differences between the Specific Plan and Zoning Ordinance occur, the Specific Plan shall prevail.

### **2.4 Non-Conforming Uses and Changes in Use**

Regulations regarding Nonconforming Buildings and Uses shall be as described in Section 18.184 of the Zoning Ordinance of the City of Redlands.

A change of occupancy shall require compliance with the Certificate of Occupancy procedures of the Zoning Ordinance of the City of Redlands, Section 18.188.

## **3. Permitted Uses**

Table 1 lists land use classifications that are permitted, prohibited or permitted with a Conditional Use Permit. The categories listed in Table 1 are:

"P"	Permitted, subject to review by the Planning Commission.
"CUP"	Permitted with a Conditional Use Permit, and subject to review by the Planning Commission.
"NP"	Not permitted.

No building, structure or land shall be used, and no building or structure erected, structurally altered or enlarged, except as provided for in Table 1. All proposed uses not listed in Table 1 shall follow the provisions of the Zoning Ordinance of the City of Redlands regarding Unlisted Uses (Sections 18.12.010 - 18.12.060).

Unlisted uses that are not found to be similar uses under the above provisions are not permitted.

**Table 1**  
**SUMMARY OF PERMITTED LAND USES**  
**SPECIFIC PLAN AREA**

<b>USE TYPE</b> <b>P - Permitted Use</b> <b>CUP - Permitted by Conditional Use Permit</b> <b>NP - Not Permitted</b>	<b>TC &amp; TC-H</b> Town Center District and Town Center-Historic District	<b>SC</b> Service Commercial District
COMMERCIAL - OFFICE: Administrative and office	P	P
Shopping center	CUP	CUP
<b>RETAIL SALES:</b>		
Automobile sales (new or used)	CUP	CUP
Building supplies and services	CUP	P
Business supply retail	P	P
Convenience sales	P	P
Eating and drinking establishments (without drive-thru facilities)	P	P
Drive-thru restaurants	CUP	CUP
Food and beverage retail sales	P	P
General retail sales	P	P
Specialty retail sales	P	P
Auto parts and accessories	P	P
<b>SERVICES:</b>		
Automotive service station	CUP	CUP
Building maintenance services	NP	P
Business support services	P	P
Communication services	P	P
Entertainment, including theaters	CUP	CUP
Financial, insurance and real estate services	P	P
Drive-thru financial	CUP	CUP
Medical/health care services	P	P
Personal services	NP	P

USE TYPE P - Permitted Use CUP - Permitted by Conditional Use Permit NP - Not Permitted	<b>TC &amp; TC-H</b> Town Center District and Town Center- Historic District	<b>SC</b> Service Commercial District
Professional services	NP	P
Automotive repair services (repair, brake, muffler, painting, glass)	CUP	CUP
Social Service Agencies	CUP	P
<b>RESIDENTIAL AND LODGING:</b>		
Hotel-Motel	CUP	CUP
Single family detached	P	P
Multi-family attached	P	P
Residential units in mixed projects with office, service, or retail uses	P	P
<b>CIVIC AND PUBLIC:</b>		
Administrative Civic	P	P
Cultural Civic	P	P
Service clubs and lodges	P	P
Religious	P	P
Schools	P	P
Gymnasium and health clubs	CUP	P
Automobile parking garages and lots, public or private	CUP	CUP
<b>MISCELLANEOUS</b>		
Warehouses and contractor storage yards	NP	CUP
Farm supplies	NP	P
Motorcycle sales and service	CUP	P
Nurseries, Garden Supplies	CUP	P
Pest control	NP	P
Cleaning plants	CUP	CUP
Veterinary clinics	CUP	P

USE TYPE P - Permitted Use CUP - Permitted by Conditional Use Permit NP - Not Permitted	TC & TC-H Town Center District and Town Center- Historic District	SC Service Commercial District
Radio and transmitter towers	NP	NP
Camper, mobile home sales and service	NP	CUP
Machinery, equipment, supplies	CUP	P
Plumbing, heating, refrigeration service and supplies	CUP	P
Office equipment and service	P	P
Auto and truck rental	NP	P
Equipment rental	NP	P
Furniture and upholstery	P	P
Drapery and carpet service, manufacture	CUP	P
Tire retreading	NP	NP
Sign painting	CUP	P
Van and storage	NP	P
Citrus packing house	NP	P
Food processing and storage	CUP	P
Animal food processing	NP	P
Skateboard Park	CUP in TC-H only	NP

All Permitted Uses listed in Section 18.100.040 of the Ordinance of the City of Redlands for the C-M ( Commercial Industrial) District shall be Permitted Uses in the SC (Service Commercial) District.

All Conditional Uses listed in Section 18.100.070 of the Zoning Ordinance for the C-M (Commercial Industrial) District shall be Permitted Uses in the SC (Service Commercial) District subject to approval of a Conditional Use Permit.

In the SC (Service Commercial) District, should a conflict exist between the uses listed as Permitted and Conditional Uses in Sections 18.100.040 and 18.100.070 of the

Zoning Ordinance and Table 1 of this Specific Plan, the more restrictive language shall apply.

**C. Property Development Standards**

**1. Town Center (TC) District**

- 1.1 Minimum Lot Area: None required.
- 1.2 Maximum Floor Area: 2.0 times lot area. Enclosed parking structures shall not be counted toward the calculation of Floor Area Ratio.
- 1.3 Maximum Building Height and Number of Stories: Three stories, not to exceed a maximum building height of fifty-five (55) feet.

**Building Height**

Building height shall mean the vertical distance measured from the adjoining curb level to the highest point of the structure; provided, however, that where buildings are set back from the street line, the height shall be measured from the average elevation of the finished grade at the front of the building.

**Building Height Exceptions**

Appurtenances such as chimneys, open lattice structures, ventilators, flagpoles, steeples, pylons and towers with a maximum cross-sectional plan area of 100 square feet and meeting building code requirements may be permitted subject to the approval of the Planning Commission.

**1.4 Setbacks**

- a. Minimum front setback: None
- b. Minimum side street setback: None
- c. Minimum interior side setback: No requirement, except when the property abuts an existing residential use. When abutting an existing residential use, the required side setback is five (5) feet. This requirement shall not apply when the project abuts an existing mixed use building that contains a residential use.



- d. Minimum rear setback: No requirement. When abutting an existing residential use the required rear setback is fifteen (15) feet.
- e. Setback from alleys: No requirement.

### 1.5 Building Lines

A minimum of 50% of the front ground-level facade of the building must be located within ten (10) feet of the property line. In the case of a multi-building complex, at least 50% of the front building setback line must be occupied by a building facade.

The intention of this requirement is to locate building fronts near the street, adjacent to sidewalks, to improve the pedestrian character of the Specific Plan area.

### 1.6 Landscaping

A minimum 8% of the total lot area must be fully-landscaped. Internal landscaped areas of parking lots may be counted toward this total. Patios, courtyards, colonnades, arcades and other outdoor pedestrian spaces may be counted for up to one-third of the landscaped area requirement if they are decoratively-paved with a material approved by the Planning Commission. All other required landscaping must be fully planted with a combination of trees and shrubs. The tree species must be drought tolerant.

### 1.7 Off-Street Parking

Off-street parking shall be provided as required by the Zoning Ordinance of the City of Redlands.

Joint use parking facilities, as provided for by the City of Redlands Zoning Ordinance, are encouraged as a means to reduce excess surface parking in the Specific Plan area.

An in-lieu fee for new construction or existing development may be paid to the City, Redevelopment Agency or City-sponsored Parking District if parking is within 300 feet of the property and in compliance with the Zoning Ordinance. The amount and schedule for payment shall be determined by the City.

1.8 Location of Off-Street Parking

- a. Off-street parking shall not be located in required front or side street setback areas.
- b. Off-street parking areas shall be located to the rear or sides of buildings, not between the front elevation of the building and a public street. This requirement is intended to achieve a pedestrian-oriented development pattern throughout the Town Center District, and to prevent automobile-oriented development that places parking lots between buildings and streets.
- c. All off-street parking areas visible from public streets shall be screened from view with a minimum 30-inch high solid wall or a minimum 5-foot wide continuous landscaped edge with shrubs that reach a minimum height of 30 inches after two years growth. Solid walls used for screening must be accompanied by a minimum 3-foot wide landscaped edge facing the street.
- d. The 6-foot high solid masonry wall required by the City of Redlands Zoning Ordinance for locations where commercial uses abut residential districts shall not be required in the Town Center (TC) District.

1.9 Variances

Variances shall be allowed subject to the regulations of the Redlands Zoning Ordinance.

**2. Town Center-Historic (TC-H) District**

- 2.1 All property development standards of the Town Center (TC) District shall apply to the Town Center-Historic (TC-H) District, with the exception of the following provisions:
- a. Maximum Building Height and Number of Stories: Three stories, not to exceed a maximum building height of fifty-five (55) feet.
  - b. Front and Side Street Setback: No requirement.
  - c. Building Lines: A minimum of 50% of the front ground-level facade of the building must be located within ten (10) feet of the front property line.

- d. Landscaping: Landscaped area is not required on lots 5,000 square feet or less.

## 2.2 Parking Exemption for Specified Restaurants

Restaurants located in historic buildings that are bound by Orange Street to the west, Fifth Street to the east, BNSF Railroad tracks to the north, and the northern property lines of the parcels fronting Redlands Boulevard to the south, shall not be required to comply with the Town Center parking standards or the parking requirements of Section 18.164.240 of the Redlands Municipal Code for the provision of customer parking spaces only, to the extent such parking requirements would be applicable to such restaurants.

## 3. Service Commercial (SC) District

- 3.1 Minimum lot area and dimensions: 5,000 square feet area; 50 feet minimum width; 100 feet minimum depth.
- 3.2 Maximum Floor Area: 2.0 times lot area. Off-street parking structures shall not be counted in the calculation of Floor Area Ratio.
- 3.3 Maximum Building Height and Number of Stories: Three stories, not to exceed a maximum building height of fifty-five (55) feet.
- 3.4 Setbacks
  - a. Minimum Front Setback, from the front property line at the planned street right-of-way: Ten (10) feet. Solid walls over 3 feet high and off-street parking are not permitted in the front setback area. Low walls shall have a minimum setback of 10 feet.
  - b. Minimum Side Street Setback: Ten (10) feet. Solid walls over 3 feet high and off-street parking are not permitted in the side street setback area. Low walls shall have a minimum setback of 10 feet.
  - c. Interior Side and Rear Setback: No setback required unless adjacent to a residential use, in which case the minimum setback shall be five (5) feet from the lot line or ten (10) feet from the structure, whichever is less restrictive.
  - d. Setback from Alleys: No requirement.

3.5 Maximum lot coverage by structures: 50%.

This shall include primary and accessory structures, including covered open air structures.

3.6 Landscaping

- a. All front and side street setback areas shall be fully planted with a combination of trees and shrubs following the standards of Paragraph (b) below. Driveways, sidewalks and decoratively-paved pedestrian areas may be located in the setback area, provided they do not exceed 50% of the required front or side street setback area.
- b. A minimum of 8% of the total lot area must be fully landscaped. Internal landscaped areas of parking lots and service areas may be counted toward this total. All required landscaped area must be fully planted with a combination of trees and shrubs. The tree species shall be drought tolerant.

3.7 Off-Street Parking

Off-street parking shall be provided as required by the Zoning Ordinance of the City of Redlands.

Joint use parking facilities, as provided for by the Zoning Ordinance, are permitted if the joint use participating property is located within three hundred (300) feet of the parking facility. Joint use parking in the Service-Commercial District is intended primarily for employee parking.

An in-lieu fee for new construction or existing development may be paid to the City, Redevelopment Agency or City-sponsored Parking District if the parking location meets all requirements of this Plan and the City of Redlands Zoning Ordinance. The amount and schedule for payment shall be determined by the City.

3.8 Location of Off-Street Parking and Service Areas

- a. Off-street parking and service areas shall not be located in required front or side street setback areas. Off-street parking and service areas may be located in required interior side and rear setback areas, except that, when abutting an existing residential use, the

parking or service area shall be set back at least five (5) feet from the abutting residential property line.

The required 5-foot setback area must be fully landscaped with a combination of trees and shrubs, including one tree, minimum size 15 gallon, spaced at an interval of twenty (20) feet or less on center along the property line. Tree species shall be drought tolerant.

- b. The 6-foot high solid masonry wall required by the City of Redlands Zoning Ordinance for locations where industrial and commercial uses abut residential districts shall not be required in the Service Commercial (SC) District.
- c. Off-street parking and service areas visible from public streets shall be screened with a minimum 30-inch high solid wall, 30-inch high landscaped earth berm or minimum 5-foot wide continuous landscaped edge with shrubs that reach a minimum height of at least 30 inches after two years growth. Solid walls used for screening must be accompanied by a minimum 3-foot wide landscaped edge facing the street.

### 3.9 Variances

Variances shall be allowed subject to the regulations of the Redlands Zoning Ordinance.

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#### **IV. PUBLIC IMPROVEMENTS**

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##### **A. Circulation and Parking**

A traffic analysis for the Downtown Specific Plan of 1984 was conducted by Greer and Company, Traffic Consultants. Circulation conditions and recommendations described in this Plan were adapted from the Greer studies, and brought up to date with the assistance of the City of Redlands Public Works Department. Recommendations are based on the potential buildout of the Specific Plan area under the Land Use Plan, described in Appendix B.

##### **1. Existing Conditions**

Major access to and through the Specific Plan area is provided by a grid street system which serves the downtown Redlands area. Principal access is from Interstate 10 via ramp systems at Eureka, Orange and Sixth Streets.

The street pattern affords good access to existing uses within the Specific Plan area. Five principal north-south streets serve the area: Texas, Eureka, Orange, Sixth and Church Streets. The primary east-west street, Redlands Boulevard, serves as a major arterial.

Several aspects of the existing circulation system should be upgraded in order to accommodate future development. Recommendations aimed at achieving this are as follows:

- Widening of streets to their proposed widths in the City Master Plan of Streets.
- Acquiring additional right-of-way along selected street segments.
- Improvements of principal intersections.
- Development of new street alignments to correct present deficiencies.
- Additional signalization for both vehicles and pedestrians.
- Potential closure of certain streets and/or railroad rights-of-way.

##### **2. Future Traffic Conditions**

The 1984 traffic generation analysis was conducted for an area bounded by Interstate 10 to the north, Citrus Avenue to the south, Texas Street to the west and Church Street to the east. The scope of the analysis was to determine potential changes in traffic volume which may be anticipated.

The 1984 traffic analysis estimated a potential of 28,900 daily trips in the downtown

project area based on the land use plan projected in the 1984 Revitalization Plan. This compared with 15,100 existing average daily trips in 1984.

It was assumed that some of the existing development in the project area would remain and some would be phased out in favor of the land use plan.

The total number of vehicle trips that would be added to the street system was determined by the number of vehicle trips that could be generated by new development at maximum density under the land use plan.

Appendix C documents existing land and estimated future traffic volume as well as capacities on a street by street basis. The estimate of capacities is based on the implementation of proposed improvements documented in 1984. The conclusion of the estimate was that none of the streets in downtown Redlands are projected to be operating in excess of their designed capacity. Since there are a number of streets serving the downtown area, an excessive concentration of additional trips on any specific access street should not occur. Most streets are projected to experience a moderate increase in traffic volume.

Appendix B, Buildout Potential of the Specific Plan area, projects the anticipated buildout of development in the Specific Plan area.

The Land Use Program of this Specific Plan proposes no increase in development density over the 1984 Revitalization Plan and Specific Plan. Thus, it is assumed that the findings and recommendations of the Greer and Company analysis of 1984 remain applicable.

### **3. Circulation Improvements**

Traffic generated by new development will require upgrading several streets serving the Specific Plan area. At such time as redevelopment takes place in the central downtown area, additional rights-of-way should be required for dedication to permit widening. The procedure is normally to dedicate half of the right-of-way width on each side of the street centerline. However, it is sometimes necessary to acquire all of the additional right-of-way from one side of the street due to physical constraints.

Following is a discussion of right-of-way improvements for each street.



**a. Major Arterial**

Redlands Boulevard

Redlands Boulevard carries the heaviest traffic volume in the Specific Plan area and will be able to accommodate projected traffic volume of 33,000 average daily trips within its existing right-of-way.

Redlands Boulevard will continue to serve as a major east/west arterial. Improvements within the existing right-of-way in this area should include landscaped medians, where conditions permit, and pedestrian crossing improvements at the intersections of Eureka, Third, Fifth, Sixth and Seventh Streets. These intersections should be marked with crosswalks and handicap ramps provided at each corner. Placement of lighted bollards on each corner of Eureka, Third and Fifth Streets are recommended.

On-street parking should be removed from Redlands Boulevard.

**b. Secondary Arterial**

Pearl Avenue

Pearl Avenue, which is currently under the jurisdiction of Caltrans, serves as a direct link from the Freeway (I-10) to and from the Eureka, Orange, and Sixth Street corridors. Pearl Avenue should be widened from Eureka to Orange Street to provide two lanes eastbound and one lane westbound.

Orange and Sixth Streets

Recent public improvements have been completed on Orange and Sixth Streets, between the I-10 Freeway and Redlands Boulevard. Widening of Sixth Street, between the I-10 and the Santa Fe Railroad tracks should be completed.

Eureka Street

Eureka Street will become one of the primary access routes from the Interstate 10 Freeway to downtown. It is a through route to the residential neighborhoods to the south. Eureka Street also provides primary access to the Redlands Bowl and Lincoln Memorial. Widening of Eureka to a four-lane street with a median and realignment between Pearl Street and Redlands Boulevard is proposed. This is the highest priority street improvement in the Specific Plan area.

This project will require additional right-of-way. The existing right-of-way is approximately 50 feet, with proposed improvements requiring an additional 30 feet for

an 80 foot ultimate right-of-way. The planned improvements would provide better freeway access and better distribute traffic in the downtown area by diverting some traffic from Orange Street.

**c. Local Streets**

Local streets serve primarily as access or circulation functions rather than through-traffic functions. Local streets in the Specific Plan area shall be a minimum width of 40 feet, curb-to-curb, with 48 feet curb-to-curb preferred for on-street parking. A reduction in street width may be permitted at the discretion of the Public Works Director. In this case, parking shall be permitted on one side of the street when local street widths measure between 32 feet and 40 feet. Parking is not permitted on streets less than 32 feet in width.

**Stuart Avenue**

Stuart Avenue will serve as a collector between Eureka Street and Orange Street and between Texas and approximately 800 feet to the west of Eureka Street, and will provide additional lateral east/west access to downtown. It is proposed to be improved to a 68 foot right-of-way with four lanes between Texas and Orange Streets, except for the segment from Eureka Street to 800 feet west of Eureka Street where it will be two lanes. Stuart Avenue, as proposed, will allow for through traffic to proceed within the left lane, while allowing the right lane to act as a stacking lane for turning movements. The final configuration of Stuart west of Eureka to Texas and east of Sixth to Church will depend on the requirements of new development in the area.

**Master Plan of Streets**

The City's Master Plan of Streets classifies streets in the Redlands downtown area, indicating their future right-of-way width.

The objective of the Master Plan of Streets is to assure that these streets are ultimately developed to Master Plan standards by establishing future setback standards along each street. As redevelopment occurs, additional rights-of-way should be reserved for street widening.

<b>STREET</b>	<b>MASTER PLAN (MPS) OF STREETS CLASSIFICATION</b>	<b>EXISTING<sup>2</sup> RIGHT-OF-WAY</b>	<b>MPS RIGHT-OF-WAY</b>	<b>RECOMMENDED RIGHT-OF-WAY</b>
Redlands Blvd.	Major Arterial	92 feet (varies)	100 feet	Same
Orange Street	Secondary Arterial	84.25 feet	88 feet	Same
Texas Street	Secondary Arterial	80 feet (varies)	88 feet	Same
Church Street	Secondary Arterial	60 feet	88 feet	Same
Eureka Street	Special Major	50 feet (varies)	70 feet	80 feet <sup>3</sup>
Sixth Street	Special Major	50 feet	64 feet	80 feet <sup>3</sup>
Stuart Avenue (west of Orange Street) <sup>4</sup>	Special Collector	30 feet (varies)	54 feet	68 feet <sup>3</sup>
Stuart Avenue (east of Sixth Street)	Special Collector	50 feet (varies)	60 feet	60 feet
Pearl Avenue (between Eureka and Orange Streets)	Special Collector	64 feet	64 feet	64 feet

**Potential Street Closures**

With the exception of existing streets that are essential to the overall circulation pattern or for access to existing uses, closure of non-essential streets and incorporation of the land into new development may be considered. The possible closure or abandonment of existing streets would in certain locations permit the development of larger parcels and include property on the tax rolls currently held in public ownership. The relocation or protection of existing utilities in these rights-of-way must be considered.

Street sections with the potential for closure may include:

- Central Avenue between Redlands Boulevard and Ninth Street (adjacent to Specific Plan area).
- Lawton Street, from Stuart Avenue to the I-10 Freeway, if a large parcel north of Stuart Street and between Texas and Eureka Streets is developed

<sup>2</sup> Source: City of Redlands - value given is narrowest right-of-way. Existing rights-of-way vary.

<sup>3</sup> Recommendations beyond the MPS right-of-way based on proposed additional study at the time public improvements for these streets is proposed.

<sup>4</sup> The segment of Stuart Avenue 800 feet west of Eureka Street is a local street with a right-of-way of 54 feet.

- Ruiz Street, south of Pearl Avenue. \*
- High Avenue, between Second and Third Streets. \*
- Third Street, between Stuart Avenue and the Santa Fe tracks.
- Eleventh Street, between Stuart Avenue and I-10.
- Special consideration should be given to these streets with regard to disruption to existing residences, businesses, and parking and pedestrian movement.

\* Only if the existing residential properties are assembled into a larger development site.

#### **4. Pedestrian Network**

Improvement of the downtown pedestrian environment is an essential objective of the Specific Plan. The City and the Redevelopment Agency have implemented several important pedestrian improvement projects:

- New, high-quality streetscape improvements on Orange, Sixth and State Streets.
- Development of the "Santa Fe Trail," a shopper's lane pedestrian loop linking State Street, the Redlands Santa Fe Depot Historic District and Redlands Mall.

Improved streetscape standards (sidewalks, street trees, lighting) with pedestrian emphasis should continue throughout the Specific Plan area. Highest priority streetscape improvement projects are:

- New widened sidewalks and street tree planting on Eureka Street, between I-10 and Redlands Boulevard.
- Completion of the Santa Fe Trail loop - segments between Fifth and Orange Streets, and between Oriental Avenue and Redlands Boulevard.
- Projects shall be evaluated for potential north - south pedestrian links across the Santa Fe Railroad tracks between Eureka and Sixth Streets.

## **5. Parking**

### **a. Off-Street Parking**

Off-street parking shall be provided as required by the Zoning Ordinance of the City of Redlands.

- Joint use parking facilities are encouraged in order to balance peak period parking demands among adjacent properties. Such arrangements, whether public or private, reduce the number of parking spaces required, economizing in the use of valuable downtown land. Parking districts created by joint action of the City and private property owners are encouraged, and should be accompanied by an effective management structure to assure maintenance and financial viability.
- Joint use parking facilities, as provided for by the Zoning Ordinance, are permitted if the joint use participating property is located within three hundred (300) feet of the parking facility. An in-lieu fee for new construction or existing development may be paid to the City, Redevelopment Agency or City-sponsored Parking District if the parking location meets all requirements of this Specific Plan and the City of Redlands Zoning Ordinance. The amount and schedule for payment shall be determined by the City.
- Given the escalating value of land in the downtown area, all new projects are encouraged to provide structured parking. When surface parking lots are developed, the project site plan should provide the potential for future conversion to structured parking. If this option is exercised, then additional building floor area is required. The City's objective is to create a compact, pedestrian-oriented Town Center, reducing the number of surface parking lots.

### **b. On-Street Parking**

A Downtown Parking Survey was completed by the City of Redlands Public Works Department in 1988. The survey was directed at two user groups - merchants and customers.

- One of the survey's conclusions was that more short term parking spaces for quick turn-over use are needed throughout the downtown area. Within the Specific Plan area, on-street parking adjacent to the major non-residential uses should be a combination of 1 and 2 hour spaces, with 24-minute spaces in certain locations.

**c. Joint Use Parking Structures**

Two locations within the Specific Plan area are recommended for joint use parking structures, accompanied by formation of one or more Parking Districts:

- In the Santa Fe Trail Historic District, north of Oriental Avenue, between Third and Eureka Streets. Schematic plans for this structure were prepared by the Redevelopment Agency in 1990.
- In the area bounded by the Santa Fe tracks, Orange Street (east of the rear alley), Redlands Boulevard, and Seventh Streets. This location would help stimulate development of the vacant and under used, properties in the area. Although the number of sites in the area are limited, future study should be given to the location and feasibility of a facility that would serve the area with a common structure.

**d. Santa Fe Depot Historic District Parking Structure**

The proposal to locate a parking structure on Oriental Avenue was advanced in the Master Action Plan of the Redlands Redevelopment Agency, adopted by the Agency and City Council in March, 1989.

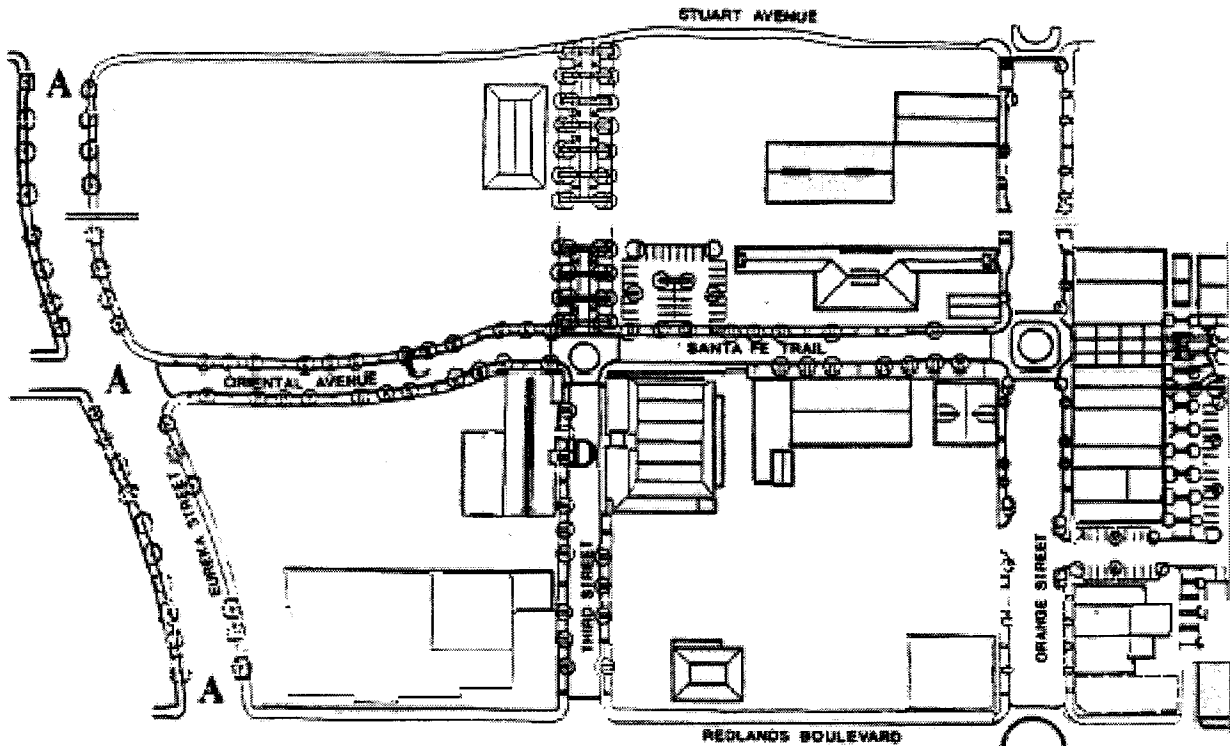
The purpose of the structure is to serve four adjacent private developments which, together, will revitalize the Santa Fe Depot area of downtown Redlands. The Redevelopment Agency Master Action Plan proposes a mixed-use district of restaurants, retail, entertainment and offices with an historic design emphasis. The location of the area adjacent to State Street, Orange Street and Redlands Mall makes it an important part of Redlands' downtown revitalization program.

A parking structure will help the district achieve the "critical mass" necessary to create a lively entertainment area with a pedestrian emphasis. Without a structure, approximately two-thirds of the area's land would be consumed by surface parking lots, reducing the development potential of adjacent properties.

**6. Railroad**

The Santa Fe Railroad operates a local train from San Bernardino to Mentone. Proposals have been discussed to use the railroad right-of-way for light-rail commuter service to San Bernardino. However, if the railroad discontinues service in the Specific Plan area, action should be taken to acquire the railroad right-of-way for a hiking-biking path, as recommended in the City's Park and Open Space Plan.

## B. Streetscape Guidelines



### 1. Streetscape Priorities

The highest priority streetscape improvements in the Specific Plan area are:

- A. Eureka Street, between Pearl Avenue and Redlands Boulevard.
- B. Pearl Avenue, between Eureka Street and Sixth Street.
- C. Oriental Avenue, between Third and Eureka Streets.
- D. Third Street, between Oriental Avenue and Redlands Boulevard. This is an important segment of the Santa Fe Trail that will link the Redlands Santa Fe Depot District with Redlands Mall.
- E. Pedestrian Alley, between Orange and Fifth Streets, north of Redlands Boulevard.

Each of the above improvements require special design considerations above the City standard. Before designing detailed standards for any street, the City should evaluate the historical features of the street, such as cobblestones under the pavement, cutstone

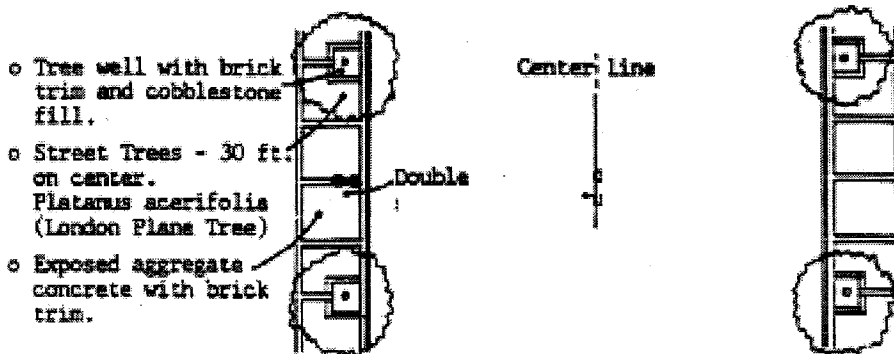
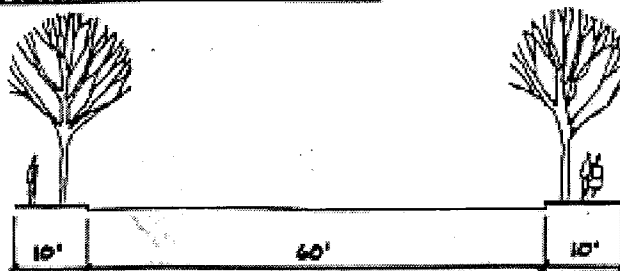
or rubble rock curbs, and bollards, that can be retained to give uniqueness and added historical flavor to the street. All other streetscape improvements may follow City standards for sidewalks, curbs and gutters.

- Throughout the Specific Plan area, new development should install regularly spaced street trees at an average spacing of 30 feet on center on all public street frontages. Trees should be minimum 15 gallon size. Shade trees improve pedestrian atmosphere and should be emphasized.

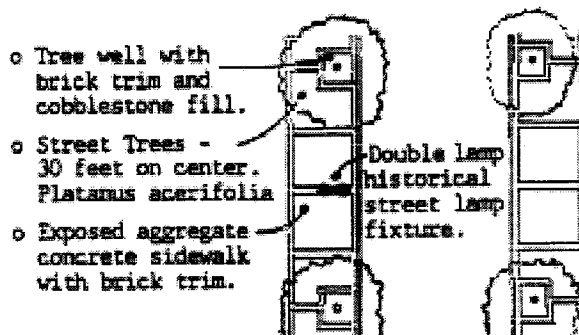
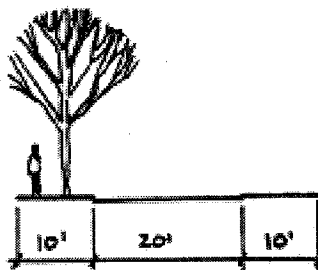


2. Design Guidelines

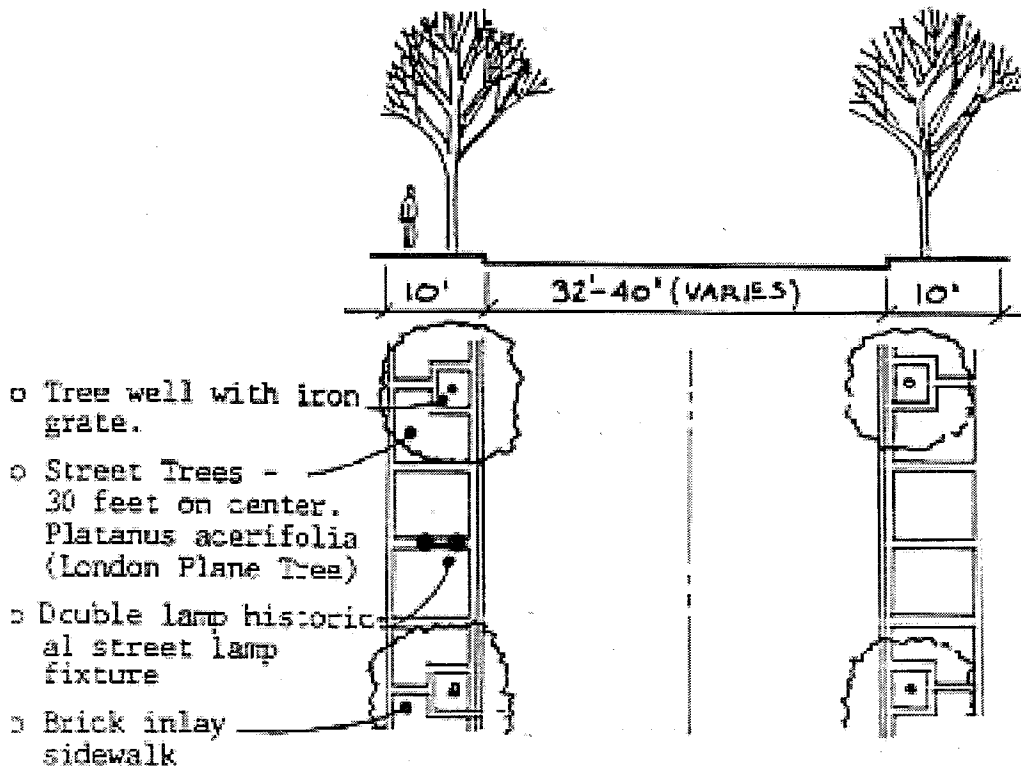
Eureka Street, between Pearl Avenue and Redlands Boulevard



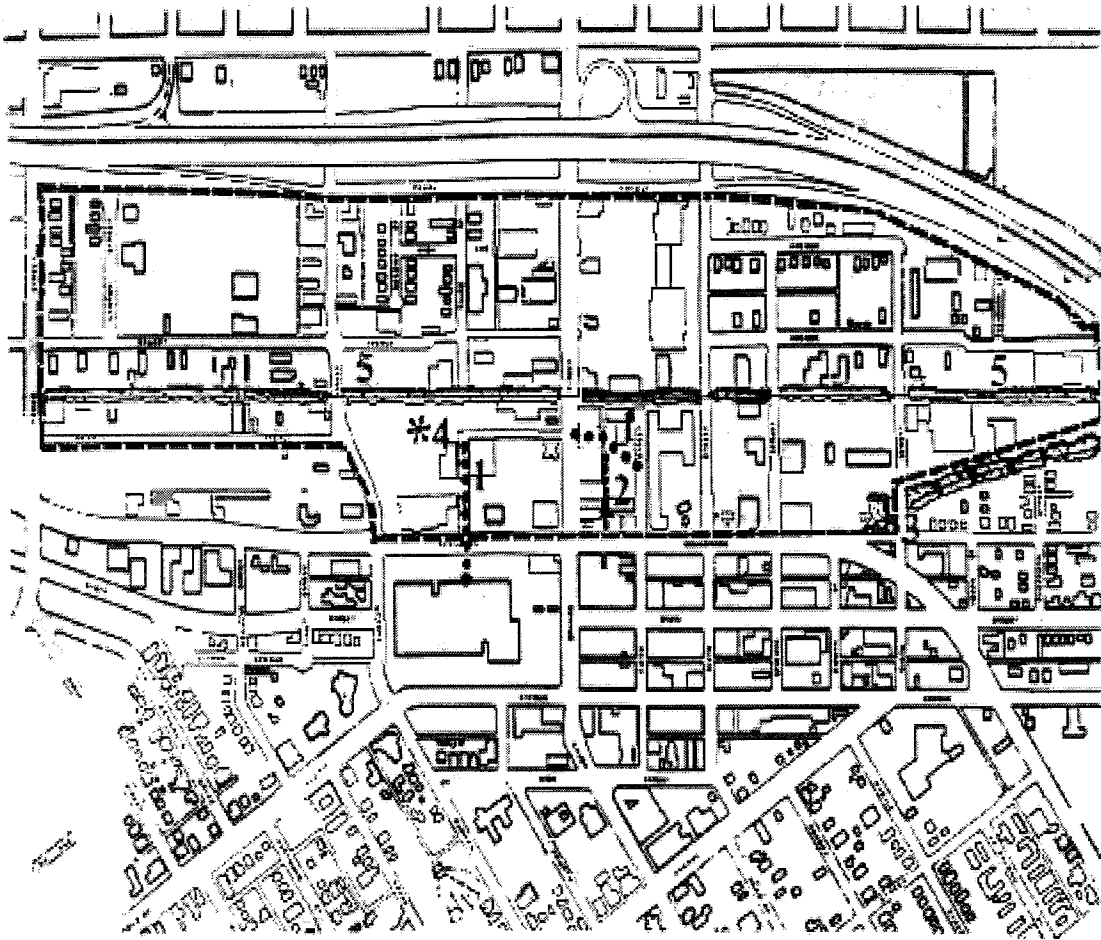
Oriental Avenue, between Third and Eureka Streets



**Third Street between Oriental Avenue and Redlands Boulevard**



**C. Open Space**



1. Santa Fe Trail (Shoppers Lane) Completion.
2. Pedestrian Alley Improvements  
Rear, 300 Block Orange Street
3. Mission Zanja Park
4. Pedestrian Plaza, Santa Fe Depot District
5. Santa Fe Pedestrian Trail/Bike Path

The following open space improvements are recommended in the Specific Plan Area:

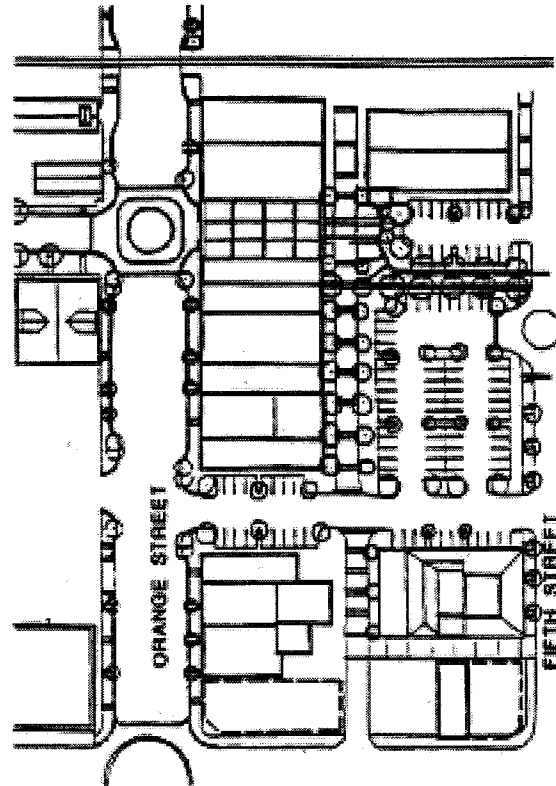
**1. Santa Fe Trail (Shoppers Lane)**

The Santa Fe Trail (Shoppers Lane) was initiated by the Downtown Revitalization Program and Specific Plan of 1984. The Santa Fe Trail is a pedestrian loop linking the State Street business district, Redlands Santa Fe Depot District and Redlands Mall. Pedestrian improvements along the loop include brick sidewalk paving, historical street lamps, graphic signage and new pedestrian crosswalks with lighted bollards at street corners. Two remaining links are needed to complete the Santa Fe Trail:

- Fifth Street to Orange Street, through the Mitten Letter property and old Palace Livery Stable building.
- Third Street, from the Santa Fe Depot to the Redlands Mall. This should include improved crosswalks with lighted bollards at the Redlands Boulevard-Third Street intersection.

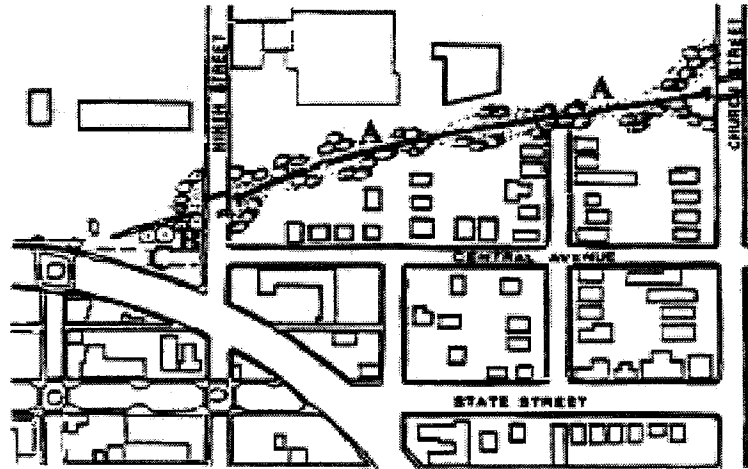
## 2. Pedestrian Alley Improvements

In the rear of the 300 block of Orange Street, east side.



### 3. Mission Zanja Park

A linear park along the Mission Zanja channel, from Ninth Street east to Church Street, should be built as part of future improvements to the channel. This project would contribute to the City's Park and Open Space objectives by developing a future walking-biking trail from downtown to Sylvan Park and the University of Redlands.



### MISSION ZANJA PARK

- A. Stream channel and open space linkage to Sylvan Park.
- B. Flood Control District lot at northwest corner of Ninth and Central (incorporate into park).
- C. Close Central Avenue between Ninth and Redlands Boulevard.

### 4. Pedestrian Plaza, Santa Fe Depot District

A small landscaped plaza is recommended on Oriental Avenue, in the Santa Fe Depot District. The plaza could accommodate art and historical exhibits, and provide limited outdoor space for vendors, in addition to a shaded seating area.

### 5. Santa Fe Pedestrian Trail / Bike Path

The City's Open Space Plan of 1987 recommended a walking trail and bike path on the existing Santa Fe right-of-way, if rail service is discontinued in the future. Joint use of the right-of-way for the trail/bike path and railway should be studied for feasibility if rail service is continued.

## **D. Infrastructure**

An overview and assessment of the existing sewer and utility system was conducted by Hicks & Hartwick, consulting engineers. The assessment was based on a review of available information and field studies. Implementation will require further detailed engineering studies as specific projects are proposed.

The preliminary engineering assessment shows that, with the exception of aging water and sewer lines and the need for flood control improvements to the Zanja Creek, the existing infrastructure is generally adequate to serve development proposed in the Specific Plan area.

The area covered by this assessment is bounded on the west by Texas Street; on the east by Church Street; on the north by I-10; and on the south by Redlands Boulevard.

### **1. Water Distribution**

The present water system is generally adequate to serve existing development. The existing system consists of a wide variety of construction materials. Water mains within the project area are constructed of asbestos cement pipe, cement mortar lined and coated steel pipe, riveted steel pipe, cement lined riveted steel pipe, standard steel pipe, P.V.C. pipe, steel pipe, O.D. pipe, cast iron pipe and welded steel pipe. Generally, only the asbestos cement pipe, cement mortar lined and coated steel pipe and cast iron pipe are acceptable and can remain in place.

Fire flow minimums will be established by the City for each building and water distribution system. Each installation must meet fire flow requirements.

The City's Master Plan for water distribution (Water Master Plan update by James M. Montgomery Consulting Engineers, Inc., February 1981) recommends water main construction prior to 1990. This document is subject to revision.

- a. Master Plan recommendations for water mains outside the Specific Plan area which will affect the area are:
  - The 8" A.C.P. & C.I. main in Colton Avenue from Texas Street to Orange Street should be replaced with 12" A.C.P. main - 2,040 L.F.
- b. Recommended water line replacement or installation within the area:
  - The 8" A.C.P. main in Eureka Street between Colton Avenue and Oriental Street should be replaced with a 12" steel cement-lined and mortar coated main. Main

shall be connected to existing 12" A.C. main that extends north from Redlands Boulevard - 1,800 L.F.

- The 2" Steel and 2" PVC mains in Redlands Boulevard between Orange Street and Sixth Street should be replaced with a 12" steel cement-lined and mortar-coated main - 660 L.F.
- The 8" A.C.P. main in Church Street between Colton Avenue and the alley between State and Citrus avenue should be replaced with a 12" steel cement-lined and mortar-coated main - 2,500 L.F.
- The 8" cast iron, 4" steel and 2" steel mains in Stuart Avenue should be replaced with a 12" steel cement-lined and mortar-coated main 2,640 L.F.
- The 4" steel main in Lawton Street north of Stuart Avenue should be replaced with an 8" steel cement-lined and mortar-coated main - 600 L.F.
- The 4" steel main in the Second Street cul-de-sac south of Pearl Avenue should be replaced with an 8" steel cement-lined and mortar-coated main - 480 L.F.
- The 4" steel main in Third Street between Stuart Avenue and Pearl Avenue should be replaced with an 8" steel cement-lined and mortar-coated main - 610 L.F.
- The 8" steel main in Oriental Avenue between Eureka Street and Third Street should be replaced with an 8" steel cement-lined and mortar-coated main - 600 L.F.
- The 2" steel main and 8" steel main in Seventh Street between State Street and High Avenue should be replaced with an 8" steel cement-lined and mortar-coated main - 1,200 L.F.
- The existing 8" A.C. main in Ninth Street should be extended north to High Avenue to replace the existing 4" steel main north of Stuart Avenue with an 8" steel cement-lined and mortar-coated main - 400 L.F.
- The existing 8" A.C. main in Ninth Street should be extended south to replace the 8" welded steel main from north of the S.P.R.R. right of way to State Street with 8" steel cement-lined and mortar-coated main - 430 L.F.
- The 4" and 2" steel main in Eleventh Street north of Stuart Avenue should be replaced with 8" ductile steel cement and mortar-coated main - 300 L.F.



- The 4" steel main in High Avenue between Sixth Street and Ninth Street should be replaced with 8" ductile steel cement and mortar-coated main - 900 L.F.

## **2. Sanitary Sewer**

The existing sanitary sewer system which serves the specific plan is currently out of date. There are very few sections that do not have maintenance problems due to age. The only recent construction of sewer mains occurred when the first and second phases of the downtown Redevelopment project were constructed on State Street and Orange Street. Even though present mains within the study area are of sufficient capacity, problems of blockage, overflow, maintenance, infiltration and age dictate a detailed look at the replacement of many of the existing mains within the study area.

The City's Master Plan for the sewer collection system (Wastewater Collection System Master Plan by Camp, Dresser, McKee, Inc., 1986) recommendations for the downtown area sewer construction during the 1985-2000 year period are as follows:

- 12" main in Texas Street from State Street to Stuart Avenue, and in Stuart Avenue to New York Street, will be replaced with a 21" main. (In design stage.)
- 15" main in Redlands Boulevard from Texas Street to the existing 20" main in Redlands Boulevard will be replaced with a 24" main. (In design stage.) Other general recommendations, subject to revision, are as follows:
- Update the 1986 Wastewater System Master Plan.
- Prior to any street construction within the project area, verify the need for replacement sewer mains to meet ultimate capacity to replace for age or condition.
- Determine the condition of all trunk sewer within the Specific Plan area. (8" or above.)
- Obtain field data on invert elevations and plot on 40 scale plan to enable rapid determination of capacity of all lines within the area.
- Additional master plan recommendations for replacement sewer on the out fall line from Texas Street to the treatment plant outside the Master Action Plan area are as follows: (1985-2000):
  - A replacement for 18" main in Stuart from Texas Street to the I-10 Freeway and New York Street. Part complete, part in design.

- 27" replacement for 18" and 20" main in Palmetto from Alabama Street to 1350 feet west.
- 36" to replace 27" main in the treatment plant road from Nevada Street to the treatment plant - 800 L.F.
- 8" PVC sewer main in Oriental Avenue should be extended east of Eureka Street to Third Street - 560 L.F.
- An 8" sewer main should be constructed in Seventh Street between Redlands Boulevard and Stuart Avenue - 850 L.F.
- An 8" sewer main should be constructed in Third Street from Redlands Boulevard to Shopper's Lane - 450 L.F.
- An 8" sewer main should be constructed along the north side of the Zanja Storm Drain Project from Seventh Street east to Ninth Street to serve area north of Zanja Project - 660 L.F.

### **3. Storm Drains**

Data on the existing storm drain system within the Specific Plan area is limited. Before preliminary recommendations can be made, more field data and topography of the area should be collected to augment available record data.

The major drains within the Specific Plan area or affecting the area are:

- The Mill Creek Zanja - The major drainage facility for the area is presently inadequate. The following are tributary to this drain.
- The Oriental Storm Drain is inadequate.
- The Carrot Storm Drain - insufficient existing data to determine its condition or adequacy. The Public Works Department has indicated that its size is adequate. This major storm drain which drains a large area bounded by Church Street on the west, Brockton on the north, and the freeway on the east appears to be a diversion from its natural flow pattern.
- Texas Storm Drain - apparently recently updated. Preliminary review does not indicate any problems.
- Post Office Storm Drain which currently flows beneath Safety Hall.

Several smaller drains have been constructed within the project area. During a preliminary field review several catch basins were observed for which no backup record data was available.

The City's Master Plan for Storm Drains is the Comprehensive Storm Drain Plan No. 4, prepared by Omer H. Brodie and Associates (1975). Recommendations contained in this plan which would contribute to the alleviation of downtown flooding are as follows:

- Construct necessary portions of the Garden Street - Reservoir Canyon Drain per Comprehensive Storm Drain Plan No. 4-22. Completed.
- Provide extensions and improvements to the Oriental Storm Drain per Comprehensive Storm Drain Plan No. 4-24.
- Provide extension to the Texas Storm Drain per Comprehensive Storm Drain Plan No. 4-20, to join the existing Stuart Storm Drain.

An additional Master Plan for storm drains is the Flood Insurance Study and was prepared by the U.S. Department of Housing and Urban Development Federal Insurance Administration. This report along with its Flood Insurance Rate Maps (FIRM) give floodway and flood plain data which will allow construction within the City's central business district if the finish floors of the proposed structures are raised to or above the 100-year flood elevation.

This report and the FIRM indicate a 100-year flood boundary within the downtown area from Texas Street to Ninth Street, and bounded on the south by State Street and I-10 on the north. Based upon the 100-year flood profiles, any structure within the 100-year flood boundary would have to raise its finish floor approximately 1.5 feet above the corresponding Redlands Boulevard street profile.

The following are recommendations for the resolution of existing flood problems within the project area and for the provision of future development within the area:

- Expand capacity of Zanja by adding a new structure along an alternate alignment (Southern Pacific right-of-way). Resolution of storm drainage problems is established as an essential and priority part of the implementation of the revitalization program.
- Complete new Zanja Drain using the abandoned Southern Pacific railroad alignment.
- Complete necessary alterations and repair existing Zanja including covering and/or replacement of open area (east of Eighth and west of Eureka Streets). The existing Zanja could be used as a main feeder to the new Zanja or it could continue to carry a portion of the flows from the east.

- Provide necessary extensions and improvements to the Oriental Storm Drain per Comprehensive Storm Drain Plan No. 4-24.
- Provide the extension to the Texas Storm Drain per Comprehensive Storm Drain Plan No. 4-20.
- Replace existing drain to existing junction of new construction in Phase II of the Downtown Redlands project west of north/south alley, west of Orange Street.
- Construct storm drain in High Avenue from Sixth Street to East of Ninth Street to pick up flows under I-10.
- Extend 24" RCP in Stuart Avenue from Sixth Street to Ninth Street to pick up local street drainage and connect 24" RCP in Sixth Street to new Zanja drain.
- If the Zanja reconstruction is not complete prior to construction of new development, all new structures between State Street on the south, Southern Pacific Railroad on the north, Texas Street on the west and Ninth Street on the east should be raise approximately 1.5 feet above the corresponding Redlands Boulevard street profile.

General recommendations relative to storm drains within the project area are:

- Compile accurate field data on all storm drains within the present area including invert elevations, pipe sizes, box sizes, condition of facilities and more detailed research of record data. This should be completed prior to analysis of utilization of existing minor facilities.
- Plot all information on new 40 scale topography mapping to facilitate more detailed planning and solutions as specific projects are proposed.

#### **4. Gas**

The Southern California Gas Company reports that its projected distribution service for the project area will be adequate for increased needs resulting from anticipated future development.

#### **5. Telephone**

GTE serves the project area with above ground facilities and has indicated that anticipated development as a result of the implementation of the Master Action Plan can be served by existing facilities. It is recommended that telephone lines be placed underground concurrent with new development of the study area.

**6. Electrical**

Southern California Edison reports that electrical distribution in this area is currently adequate to serve the anticipated needs resulting from future development. The undergrounding of utilities is also recommended concurrent with new development.

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**V. HISTORIC RESOURCES**

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- A. The Redlands Santa Fe Depot District
- B. The High Avenue Area
- C. Miscellaneous Historical Properties
- D. Archaeology and Paleontology

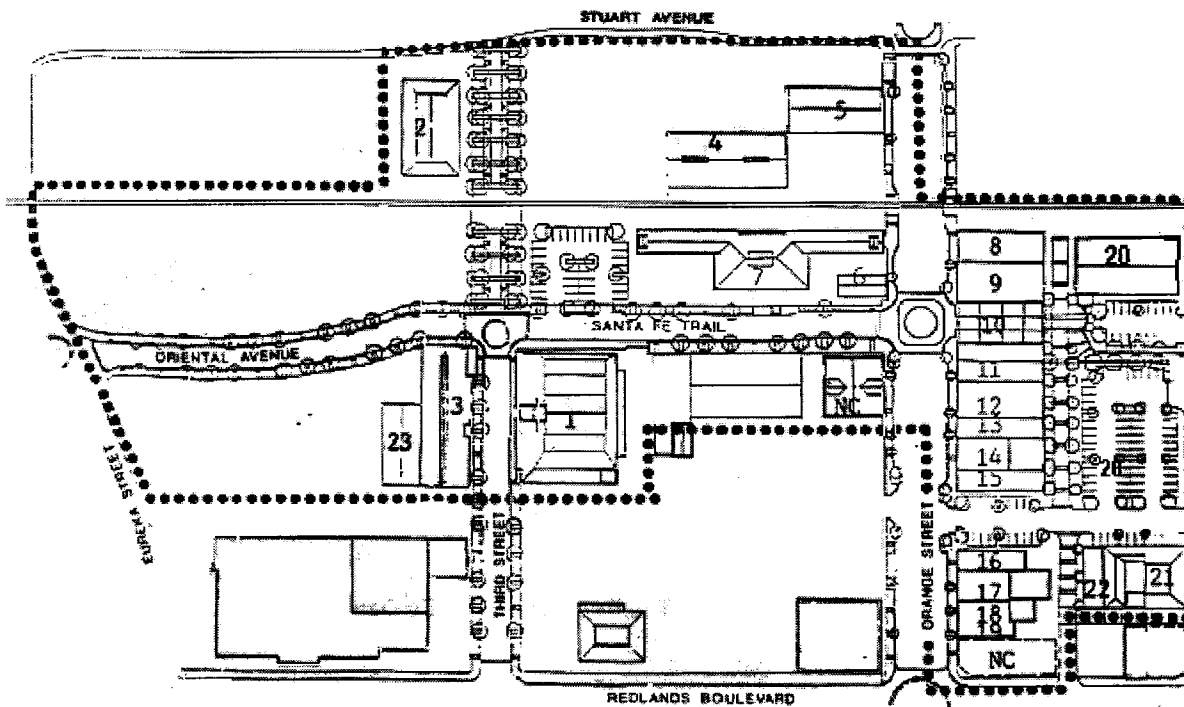


The Redlands Santa Fe Depot

### A. Redlands Santa Fe Depot District

The Redlands Santa Fe Depot District is an architecturally and historically significant part of the Specific Plan area which has been listed as an Historic District on the National Register of Historic Places. The district is located between Eureka, Fifth, Stuart and Redlands Boulevard, illustrated below.

**Note:** *The Redlands Santa Fe Depot District boundaries differ from the TC-H, Town Center-Historic District, for Land Use and Development Regulations. Refer to Figure 2 "Specific Plan Land use Districts" for the boundaries of the TC-H District.*



### REDLANDS SANTA FE DEPOT DISTRICT

See List of Contributing Buildings on opposite page for the key to numbered historic sites.



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### Redlands Santa Fe Depot District

#### Contributing Building and Sites:

<u>Address</u>	<u>Building Name</u>
(1) 330 North Fourth Street	Redlands Mutual Orange Company
(2) 205 Stuart Avenue	Rettig Machine Shop
(3) 301 North Third Street	Pendergast Packing House (destroyed by fire)
(4) 21 West Stuart Avenue	Cope Commercial Company Warehouse (Grigsby Brothers)
(5) 415 Orange Street	Packard Motor Company Sales
(6) 337 Orange Street	Board of Trade (Chamber of Commerce)
(7) 351 Orange Street	Santa Fe Railroad Station (Depot)
(8) 360 Orange Street	Redlands City Transfer (partially destroyed by fire)
(9) 348 Orange Street	Pioneer Transfer
(10) 346 Orange Street	Palace Livery Stable
(11) 342-344 Orange Street	Poundstone & Hamilton Building
(12) 338-340 Orange Street	The Worley Building
(13) 336 Orange Street	Beacon Building
(14) 330-332 Orange Street	Hamilton Block
(15) 328 Orange Street	E. I. Martin Home and Nursery
(16) 220 Orange Street	Phinney Block
(17) 216-218 Orange Street	Gregg Block
(18) 208 Orange Street	Levine's
(19) 206 Orange Street	Hamilton Block
(20) 345 North Fifth Street	Haight Packing House (Mitten Display Sign Letters)
(21) 215 North Fifth Street	Hall of Justice
(22) 215 North Fifth Street (Rear)	H. Jacobsen's Warehouse
(23) 241 Oriental Avenue	Redlands Fruit Association Warehouse (destroyed by fire)

## Architectural Significance



The Redlands Santa Fe Depot District contains approximately twenty-nine buildings, three of which are new and twenty-six are contributors or significant. Dating from 1888 through 1946, the buildings visually document the district's economic and social history. Most of the buildings are one and one-half stories or two stories in height though there are a few one story buildings. Predominately commercial in nature, the district also includes industrial packing houses, other citrus industry related structures and the train station. The depot area evolved from the first "Downtown" at Orange Street and Redlands Boulevard established by the "Chicago Colony" in 1886. A city ordinance, passed in 1888, prescribed that all future downtown buildings be built of brick. Although some facades have changed, the traditional design strength of the commercial facades remains cohesive. Standing adjacent to each other, they form the rhythm of the retail commercial on the east side of Orange Street.

The urban design patterns and physical amenities in downtown Redlands are like those that existed in many parts of this country before the advent of regional shopping centers. Except for the Santa Fe Depot and a few other structures, the architecture is eclectic. It ranges from late 19th century brick commercial "blocks" and the excellent examples of storefront design, to the 19th and 20th century brick packing houses. Classical Revival architecture is found in the Santa Fe Depot and Board of Trade Building. The area demonstrates not only the evolution of a downtown, but also distinctive eras of growth, architecture, and function. Even the new structures in the area are scaled to pedestrians and not the automobile.

The alleys behind the buildings on the east side of Orange Street provide not only a unique street circulation system, but also a view of the district's industrial and service images. Arched windows, fading signs, exposed pipes, lofts, and heavy wooden and metal doors punctuate the simple brick facades. The alley setback pattern varies with the historic uses of the buildings. Although still in use today, the alleys have been altered very little and are often the clues that buildings with 1940-1960 street faces date to the 1890s .

Even though this area combines the era from 1888-1946, and includes industrial commercial and retail commercial, there are common elements that tie the area together. The scale is the outstanding feature of the entire area and, unlike the rest of the downtown, the street layout design is still the same as it was when Redlands was founded. The use of brick ties the buildings together.

Gable roofs predominate in all of the buildings with the addition of monitor roofs, skylights and shed roof wings.

The district remains relatively intact due to a commercial shift south to State Street, where a new mall replaced the original downtown settlement. This shift, although scorned by Orange Street commercial and industrial owners, did help preserve the Depot area for its future as a historic district.

The city has recently added reproductions of the original Redlands' street lights, as well as benches and plantings. These additions add to the pedestrian scale and cohesiveness of the area. Architecturally, this area has the components of the 20th century small town. Each era of history is represented. There are architectural treasures that are still functioning or can be adapted to a downtown use. The Depot district is an area that tells a story of Redlands growth.

Redlands Depot District is significant for the following reasons:

- The district has retained its integrity from the period of significance as one of the economic hubs of Redlands.
- The district strongly conveys a sense of time and place as the commercial heart of the City of Redlands.
- The district represents the major phases of urban development in the local community from the 1880's through the 1920's.
- The district constitutes a significant architectural assemblage containing numerous individually distinguished building and the works of notable local architects and designers.

## **B. The High Avenue Area**

The High Avenue area, between Sixth and Ninth Streets, including the southeast corner of High and Ninth (Southern California Edison Building), and the residence at 511 Seventh Street, contains several small cottage residences built in the early 1900's. as well a several architecturally noteworthy buildings. The following is a list of these properties:

210-212 High Avenue	Residence	1901
211 High Avenue	Residence	1902
217 High Avenue	Residence	1903
226 High Avenue	Residence	1897
227 High Avenue	Residence	1899
302 High Avenue	Residence	1901
402 High Avenue	Residence	1906
408 High Avenue	Residence	1900
412 High Avenue	Residence	1905
416 High Avenue	Residence	-
420 High Avenue	Residence	1906
424 High Avenue	Residence	1908
504 High Avenue	Southern California Edison	1926
511 Seventh Street	Residence	-
512 N. Sixth Street	Church	1919

The Beal residence at 408 High Avenue (b. 1900) is historically significant due to the fact that it is the home of one of Redlands' earliest Afro-American families.

The Cornerstone Baptist Church building located at the corner of Sixth and High Streets (512 N. Sixth), is Redlands' oldest black church building and reminiscent of wooden churches across the country. This property would be a good prospect for the National Register.

The physical condition of many of the cottages in the area is poor, although all have potential for rehabilitation as residences or small offices.

The High Avenue area has been designated as a Service Commercial district, although no effort will be made to discourage continued residential use. Options for property owners include continued residential use or conversion of the property to a Service Commercial use, through rehabilitation and addition to the existing structures, or replacement of the existing structure. The lots which do not contain noteworthy buildings should be considered as candidates for "move-ons" of compatible historic resources from other parts of the City when these resources are threatened with destruction.

### C. Miscellaneous Historical Properties

There are a number of individual buildings throughout the plan area that merit specific attention and preservation. These are described below.

<u>Address</u>	<u>Building Name</u>	<u>Date</u>
(1) 612 Lawton Street	House of Neighborly Service	1927

This one story, brick building with plaster sheathing was designed by A. B. Drake in the Spanish Colonial style. Built by Clarence Blanc, it was formerly the Boys and Girls Club of Redlands. The House of Neighborly Service began in May of 1920, with the idea of serving the Mexican population of Redlands and vicinity.

(2) 526-528 Orange Street	Deming Building	1913
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This two-story, brick building with plaster Mission Revival facade on the front and side facing High Street has many striking features. An apartment hotel dominated the second story, with a music store in the 528 half, and a grocery store at the 526 address. This important building is one of the original Orange Street buildings. As a part of the Downtown Redevelopment, this building was rehabilitated by Center Development Inc. in 1990. The City Council has designated it as an Historic Property.

<u>Address</u>	<u>Building Name</u>	<u>Date</u>
(3) 304 N. Seventh Street	S & E Cabinet	1946

Even though this packing house is not yet fifty years, it is an excellent example of an industrial style building. Typical design features consist of the rectangular one and one-half story, reinforced concrete and brick, front facade of stucco, and sawtooth type clerestory window roofs. Built by the prominent builder Gordon Donald, on the site of the

I. L. Lyon Packing House, this structure would be a significant part of an industrial historic district.

(4) 215 E. Redlands Blvd.                      Gold Banner Packing                      1924

The first packing house on this site was the Redlands Golden Orange Association built around 1905. After a fire in December of 1923, Gold Banner rebuilt on the foundations of the previous building. There is a 30 year old map of the region on the west wall of this structure. This building is significant as an example of warehouse architecture and because of its role in the citrus industry.

(5) 440 Oriental Avenue                      Rondor Audi-Porsche                      1906

A. E. Taylor built this industrial structure which was originally designed as a car barn for the new electric trolley line to Riverside from Redlands. This one-story, turn of the century warehouse building never saw an electric car within its walls. The Citrus Avenue car barn was built in 1907 and the Redlands Central Railroad Company was incorporated at the site.

(6) 420 E. Stuart Avenue                      Second Baptist Church                      1928

This church congregation is the oldest black Baptist congregation in San Bernardino County, being organized in 1892. The one story, poured concrete, multi-gabled tile roof structure is representative of an architectural type and is historically significant because of its congregation.

Other structures that are over 50 years old may also be designated as historic resources in the future. Prior to demolition of any building over 50 years old, these buildings shall be reviewed by the Historic and Scenic Preservation Commission for a determination of their historic or architectural significance per Municipal Code Section 15.44 and/or 2.62.

#### **D. Archaeology and Paleontology**

Archaeological and paleontological record searches were conducted for the Specific Plan area in 1983 as part of the Redlands Downtown Revitalization study. The following information is taken from the study of 1983 and subsequent studies.

##### **1. Archaeology**

At least one previously recorded archaeological site exists within the project boundaries. The historic Chinatown area has been documented in the area between Orange Street and Texas Street. As a part of the La Farge Plaza construction, many artifacts were discovered; they were catalogued by the Archaeological Advisory Group in a 1988 study, and the artifacts are now under the



care of the Heritage Room of the A. K. Smiley Public Library. The location of the Chinatown area is identified at the Archaeological Information Center in the San Bernardino County Museum.

2. Paleontology

According to the Curator of Earth Sciences at the San Bernardino County Museum, "available paleontological site records, geologic reports, and unpublished field notes do not indicate that paleontologic resources have been recovered from the study area. The depth of excavation proposed for the project, the relatively coarse-grained nature of the sediments, and their relatively recent ages do not suggest a high probability of paleontologic resources being encountered."

3. Environmental Impact and Mitigation Measures

Archaeology

- Contractors for water, sewer line, and road repairs should be made aware of the potential of the area as a potential source of archaeological resources and advise the City if artifacts are found.
- Excavations for new utility lines should be observed by a qualified expert to identify archaeological sites. If sites are identified during excavation, the site should be properly excavated and recorded prior to continuing utility construction.
- Construction on undeveloped sites or construction involving demolition or major excavation will require archaeological surveys of the sites prior to grading.

If artifacts are found or predicted by the surveys, state policy (CEQA) requires that owners attempt to revise the project to avoid an important archaeological resource, and if this is not possible, contribute 50% of the cost of the required mitigation measures. See CEQA Appendix K for details.

If potential archaeological resources are identified in any construction project, the San Bernardino County Museum Association shall be notified and given an opportunity to take appropriate action to have the site properly recorded.

### Paleontology

- Contractors shall be put on notice that in the event that non-renewable paleontologic resources are exposed during excavation, they should be avoided by construction equipment until they can be removed by a qualified paleontologist.

## VI. URBAN DESIGN AND ARCHITECTURAL GUIDELINES

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### A. The Design Review Process

All development proposals in the Specific Plan area are subject to discretionary review by the Redlands Planning Commission. The Design Guidelines serve as adopted criteria for the evaluation of a building or an entire development. Developers and their designers are urged to carefully review the Specific Plan, with particular attention to the Development Standards and Design Guidelines, before site planning and building design studies begin.

Design Review is a comprehensive evaluation of those characteristics of a development which have an impact on neighboring properties and the community as a whole. The process makes a careful examination of a project's quality of site planning, architecture, landscape design and important details such as signage and lighting. The purpose is to insure that every new development or additions to existing development carefully consider the community context in which they take place. Every project should make a conscientious effort to develop a compatible relationship to the building site, neighboring properties, and downtown design goals.

### B. The Design Guidelines

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2. Relationship of New to Existing Development .....	66
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## **1. Site Design**

The quality of site design is the most important measure of a project's impact on the community and will be given first priority in the review of development proposals. Projects should demonstrate sensitivity to the surrounding context and neighboring buildings.

### **a. Site Analysis**

Each development proposal should include a thorough analysis of existing conditions on and adjacent to the site. A proper analysis will include a careful examination of a site's physical properties, amenities, special problems, and the neighboring environment. The analysis will assist the Planning Commission in evaluating the proposed development's relationship to existing conditions, neighboring properties, and the community at large.

Although the steps in an analysis will vary with the unique situation of each site and project, the following information is normally needed:

- Basic Site data: boundaries and dimensions; location of adjacent streets, sidewalks, and right-of-way; location of setback lines and easements; and existing structures and other built improvements.
- Existing Natural Features: location, size, and species of mature trees; topography; patterns of surface drainage; location of flood zone; and other important features that are either amenities or potential hazards in development.
- Neighboring Environment: views to the site; land use and site organization of neighboring properties; form and character of neighboring buildings; and important site details on neighboring properties which can be seen from the street.

### **b. Site Design Objectives**

- Demonstrate an overall design integrity and a serious effort to contribute to the beauty and harmony of the community.
- Develop compatible relationships to the land, building placement, and existing open spaces of neighboring properties.
- Consider the existing views, and the sun and light exposure of neighboring properties, where possible.
- When conditions require a project to be different from its neighbors, provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other appropriate means.

- Maintain significant view corridors to the mountains and hills from public streets.

**c. Preservation of Natural Features**

- Development proposals should demonstrate an effort to retain significant existing natural features. Existing topography, drainage courses, vegetation, and views should be recorded in the Site Analysis and incorporated, to the maximum extent feasible, into the future development of the site.
- Mature trees should be retained. This will require careful judgment weighing the value and hierarchy of all natural features, the size and species of the tree, and the development program for the site.

**d. Drainage**

- Minimize potential surface drainage problems on neighboring properties, and provide adequate drainage on-site for each parcel.

**e. Circulation and Parking**

- Provide a clearly identifiable circulation plan for automobiles, pedestrians, and service vehicles.
- Minimize the number of driveway openings to public streets.
- On major arterials, corner properties should provide access from side streets and avoid driveway openings on the major street.
- Off-street parking and service areas should be located to minimize visibility from the street.
- Shared or joint use driveways between separate properties are encouraged to minimize the number of curb cuts on public streets. This will help relieve traffic congestion.
- Provide pedestrian access to public transit facilities on or adjacent to the site.

**f. Internal Site Design**

- The site plan and planting design should consider climatic conditions to provide shade from summer sun, natural ventilation, and other measures to maximize energy efficiency and human comfort.

- Pedestrian circulation and pedestrian amenities should be emphasized in all site plan proposals.
- Buildings and open space should be organized to take advantage of the spaces between buildings as opportunities for outdoor activities, as transitions between indoor and outdoor, and as potential points of "focus" on the site.

## **2. Relationship of New to Existing Development**

### **a. General Principles**

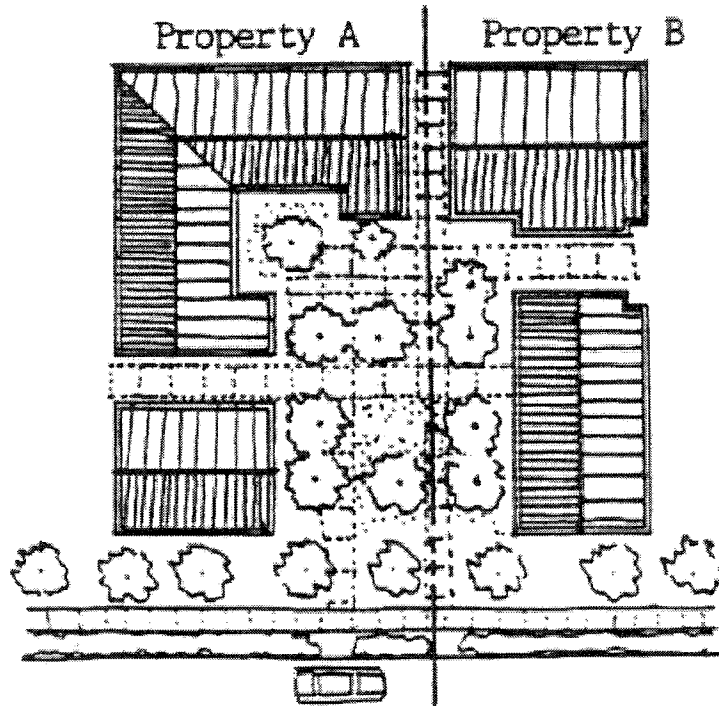
All development proposals should show evidence of harmony with the site plan, arrangement of building forms and landscape design of neighboring properties.

The degree to which neighboring sites and buildings must be considered in the design of a new project will depend upon the value, architectural quality and estimated tenure of improvements on the neighboring property, as well as the particular requirements of the new project. While a firm rule for design is not possible, every new proposal should demonstrate that it has considered the contextual influences of neighboring properties and has made a diligent effort to orchestrate careful relationships between old and new.

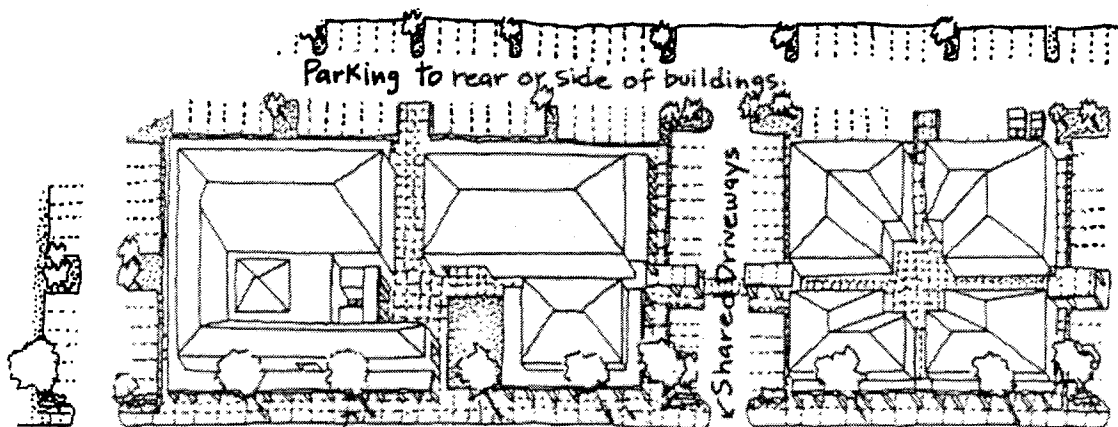
Drawings, models and other graphic communication techniques presented to the Planning Commission should show neighboring buildings and important features of adjacent sites. Existing features are to be shown in sufficient detail to enable evaluation of the relationship of the proposed development to its context. Perspective views of the proposed project and its immediate neighbors, as seen from the street, sidewalk or other public place, are encouraged.

### **b. Site Planning**

- The site organization should respect the arrangement of buildings, open spaces and landscape elements of adjacent sites. When possible, buildings and open spaces should be located for mutual advantage of sunlight, circulation and views.



- When feasible, new commercial projects should be linked to adjacent projects to encourage internal circulation by pedestrians and automobiles. This will reduce traffic loads on adjacent streets by reducing ingress and egress traffic. The method of linkage will depend on specific conditions of each site and project. The linkage could be as simple as a connecting sidewalk, or as extensive as shared driveways, access drives and parking. When no development exists on the adjacent property, give consideration to its future disposition and how the two sites may develop a circulation linkage.





**c. Architectural Design**

- Efforts to coordinate the actual and apparent height of adjacent structures are encouraged. This is especially applicable where buildings are located very close to each other. It is often possible to adjust the height of a wall, cornice or parapet line to match that of an adjacent building. Similar design linkages can be achieved to adjust the apparent height by placing window lines, belt courses or other horizontal elements in a pattern that reflects the same elements on neighboring buildings.



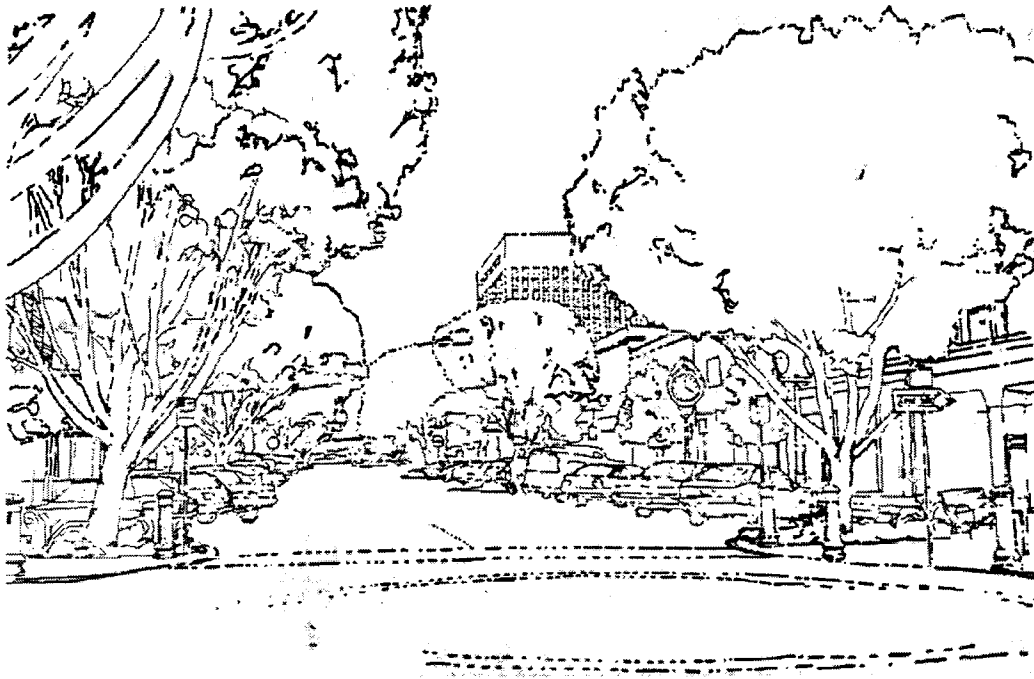
### **3. The Street Edge**

Design Guidelines for the Street Edge are described for each of the three land use districts of the Specific Plan:

- The Town Center (TC) District
- The Town Center-Historic (TC-H) District
- The Service-Commercial (SC) District

#### **Street Spaces**

"Street spaces" include both the public right-of-way and adjacent building setback zone. The network of street spaces establishes the basic scale and character of the downtown public environment. The objective in downtown Redlands is to create consistent street spaces that unify separate buildings and developments into a tightly knit, walkable district with a traditional downtown atmosphere.



**State Street, east view from Orange Avenue**

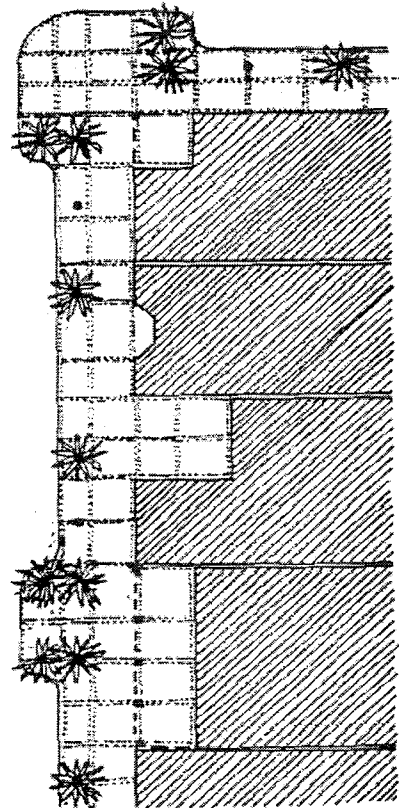
**a. The Town Center (TC) District**

Property development standards for the TC District are given in Section III D.I. Required street edge standards include:

- A minimum of 50% of the front ground level facade of the building must be located within 10 feet of the front property line.
- Off-street parking shall not be located in required front or side street setback areas.
- Off-street parking shall be located to the rear or sides of buildings, not between the front elevation of the building and a public street.
- All off-street parking areas visible from public streets shall be screened from view with a minimum 30-inch high solid wall or landscaped edge.

**Guidelines:**

- Place as much of the ground level front elevation of the building as possible on the front setback line to maintain the continuity of the street edge.
- Create continuous pedestrian activity in an uninterrupted sequence. Avoid blank walls and other "dead" spaces at ground level.
- Entry courtyards and plazas are encouraged.
- In the setback area, create a paved pedestrian space that is continuous from curb to building, except for planters, trees, shrubs and fountains. Avoid expanses of lawn, using turf grasses only in small areas.
- Plant trees along the street edge in a rhythmic pattern.



- Locate parking to the rear of buildings, or to the side when rear parking is not feasible.
- Minimize spatial gaps created by parking or other non-pedestrian areas.

**b. The Town Center-Historic (TC-H) District**

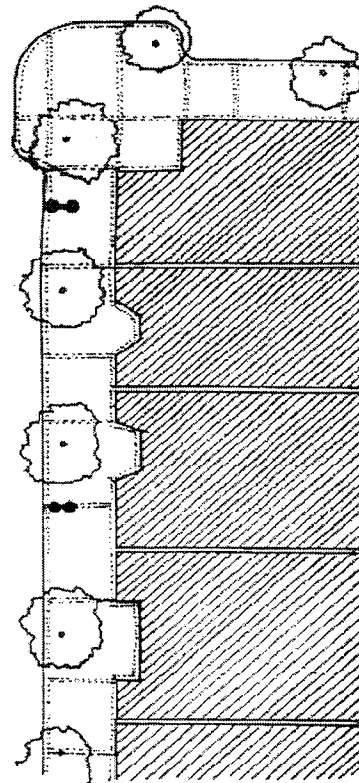
Property development standards for the TC-H District are given in Section III D.2. Required street edge standards are similar to the TC district, with the following exceptions:

- Front and side street setbacks are not required.
- A minimum of 50% of the front ground-level facade of the building must be located within 10 feet of the front property line.

***(See Guidelines on next page.)***

**Guidelines:**

- Place as much of the ground level front elevation of the building as possible on the front property line to maintain the continuity of the street edge.
- Avoid deep setbacks from the sidewalk edge. Avoid lawns or large planted areas along the street edge.
- Create continuous pedestrian activity in an uninterrupted sequence. Minimize spatial gaps created by parking lots or other non-pedestrian areas.
- Avoid blank walls and other "dead" spaces at the ground level.
- Plant trees along the street edge in a rhythmic pattern.
- Provide pedestrian-scaled lighting to supplement overhead street lighting.
- Locate parking to the rear of buildings, or to the side when rear parking is not feasible.



**c. The Service-Commercial (SC) District**

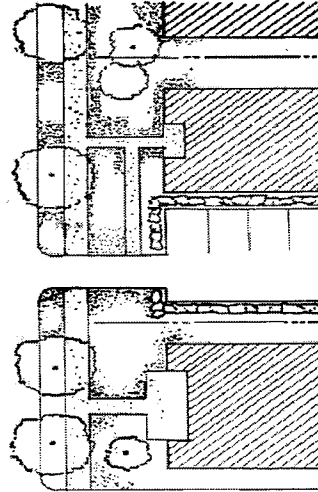
**Property development standards for the SC District are given in Section III D.3. Required street edge standards include:**

- **A 10-foot minimum building setback from the front property line, measured from the property line at the planned street right-of-way.**
- **A 10-foot minimum building setback from the side street property line.**
- **Off-street parking and service areas shall not be located in required front or side street setback areas.**
- **Required front and side street setback areas shall be fully-planted with a combination of trees and shrubs.**
- **Off-street parking and service areas visible from public streets must be screened from view with a minimum 30-inch high solid wall or landscaped edge.**

***(See Guidelines on next page.)***

**Guidelines:**

- Front and side street setback areas should be fully landscaped with drought tolerant trees and shrubs.
- When parking or service areas are visible from the street, they should be screened from street view by a minimum 30-inch high solid wall or landscaped edge.
- Driveways should be of minimal number and width as necessary for function and safety.





#### 4. Pedestrian Emphasis (TC and TC-H Districts)

This Guideline applies to the TC and TC-H districts of the Specific Plan area.

The emphasis of design throughout downtown Redlands is to create a high-quality pedestrian environment. Buildings should address pedestrian needs and develop creative approaches to improving pedestrian interest, access and enjoyment.

##### a. Active Building Frontages.

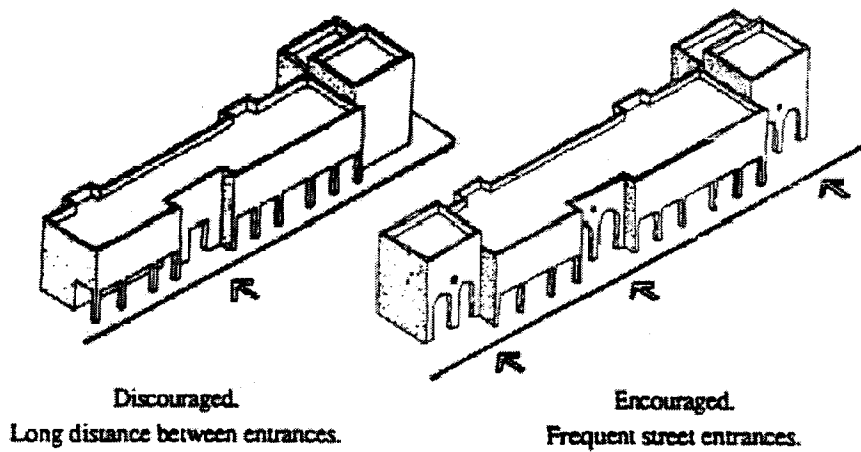
Pedestrian interest should be maximized by creating active building frontages with inviting indoor and outdoor spaces visible from the sidewalk and street.

- Active building frontages are essential to strengthen downtown Redlands pedestrian character. Buildings should provide generous openings at ground level to allow views of display windows by pedestrians and passing traffic.
- Entry courtyards, gardens and street-facing patios can create inviting outdoor spaces that offer a rich pedestrian experience. Site amenities such as seating, shade, public art, special landscaping and paving are helpful to further this intent.



**b. Building Entrances.**

Commercial buildings with long frontages are encouraged to provide frequent building entrances along the street when possible. Side or rear building entrances should always be accompanied by a front, street-facing entrance.



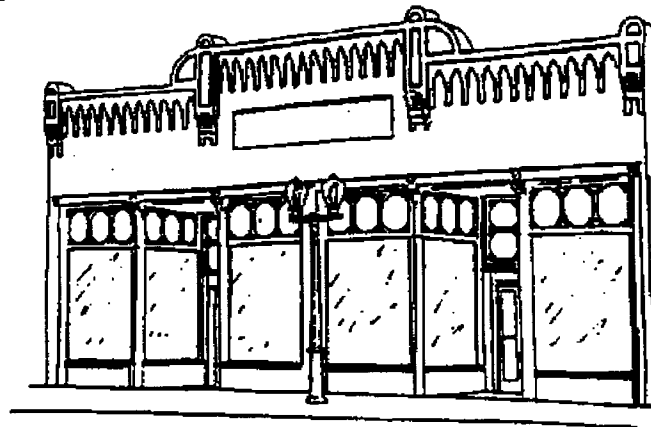
**Building Entrances**

**c. Storefronts**

- All new buildings and renovations should give careful consideration to providing an attractive storefront for pedestrian variety and interest.

Storefronts are the most important elements of a pedestrian-oriented streetscape. Together with display windows, awnings and signs, storefronts make up the character of each building.

Historically, storefronts in downtown Redlands were well-integrated with the rest of the building. Doorways, windows, signs, awning were balanced and complemented the building above, including the second story windows, parapet walls and cornices.



**Historical Storefront**

**d. Windows/Transparency**

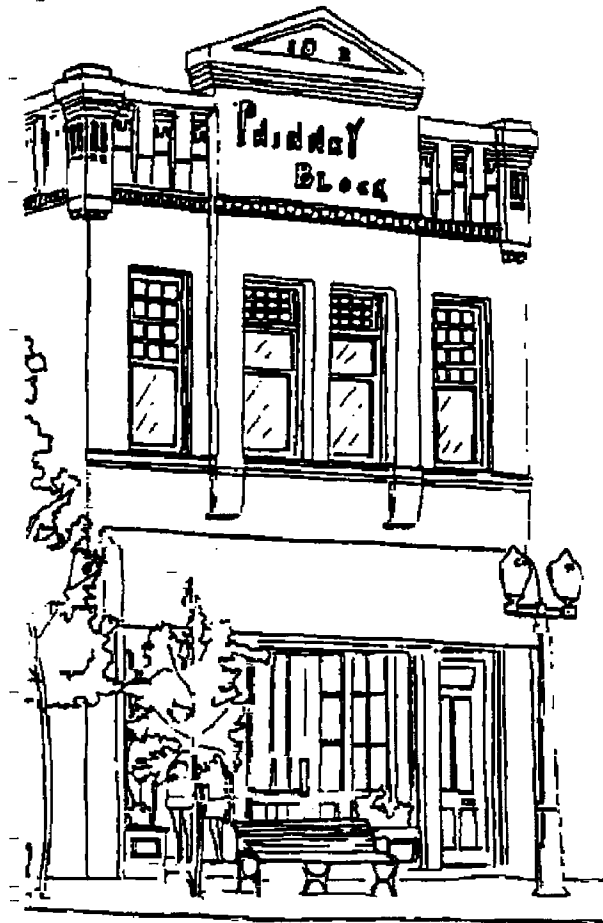
- Pedestrian activity should be encouraged by providing views into shops, offices and restaurants.
- At sidewalk level, buildings must be primarily transparent. A minimum of 50% of all first floor facades with street frontage should consist of pedestrian entrances, display windows or windows affording views into retail, offices, gallery or lobby space. The building wall subject to transparency requirements shall include the portion between three feet and ten feet above the sidewalk.

- All glass in windows and doorways should be clear for maximizing visibility into stores. A minimal amount of neutral tinting of glass to achieve sun control is acceptable if the glass appears essentially transparent when viewed from the outside. Opaque and reflecting glass should not be used.
- Buildings and establishments where goods and services are not offered shall contain at least passive elements focused to the pedestrian. These may include architectural detailing, art work, landscaped areas or windows for public service use.

**e. Entry Ways**

- Entry ways to stores should be recessed for visual interest and to minimize doors swinging into the sidewalk right-of-way.

Building entries should create a focus or sense of entry for the structure. Wall recesses, roof overhangs, canopies, arches, signs and similar architectural features are integral elements of the building design which call attention to the importance of the entry.



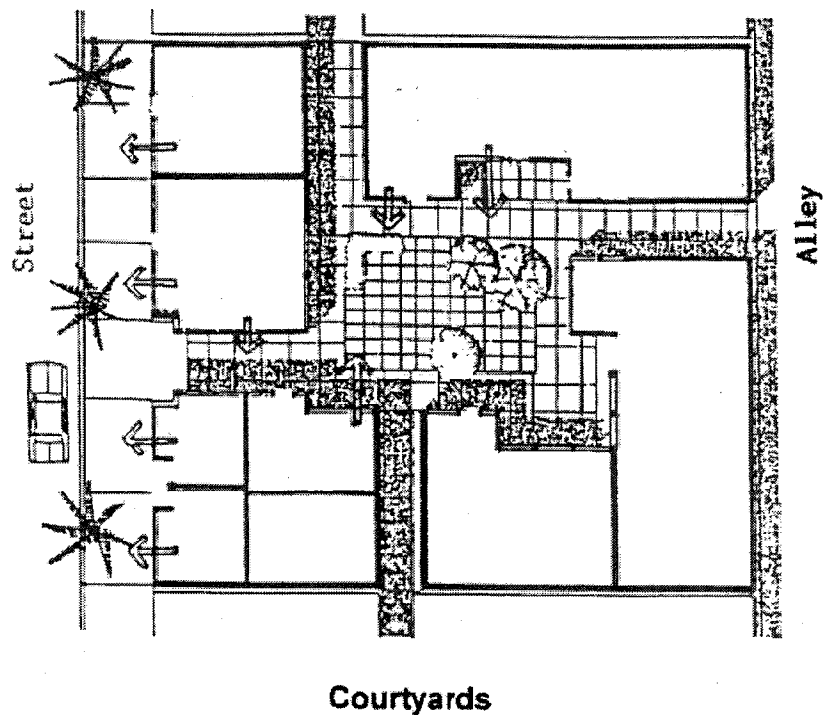
The "Phinney Block"

**f. Courtyards, Patios, Plazas**

Downtown buildings are encouraged to provide courtyards, patios, plazas and gardens which accommodate outdoor activities, give scale and focus to a building or site, and provide a sense of transition between indoors and outdoors. Courtyards should supplement rather than take away from street activity. Courtyards designed to diminish street activity are discouraged.

Downtown Redlands has potential to develop more courtyard buildings that take advantage of the City's excellent climate. Characteristics of courtyards and courtyard buildings encouraged are:

- Courtyards should be partially visible from the street or linked to the street by a clear circulation element such as an open passage or covered arcade.
- The edges of courtyard spaces should contain retail shops, restaurants, offices or other activities. Blank walls and dead spaces without pedestrian interest should be minimized.



- The design of the courtyard may provide a choice of sunny and shaded areas, variety of texture and color, movable seating and tables, and sculpture or fountain as a focus.

## **5. Historic Buildings and Sites**

Downtown Redlands has a rich variety of historic architectural resources that exhibit a variety of periods and styles. An historic building which retains the historic character from the period in which it was created can substantially contribute to a new development and the community.

Preservation and careful rehabilitation of a designated historic building or contributing building in an historic district can take advantage of special allowances of the State Historic Building Code as well as Federal tax incentives.

### **a. Compatibility With Historic Resources**

New development should preserve and be compatible with existing downtown historic resources. Particular emphasis should be placed on achieving an intimate scale and a concern for craftsmanship.

New developments which are built on or adjacent to designated historic sites, older buildings of substantial historic character, or within historic districts should be respectful of the historic building or site. While not mimicking the older structure, the development should consider the compatibility of size, shape, scale, materials, details, textures, colors and landscape features.

### **b. Diligent Effort to Rehabilitate**

Plans to renovate or alter an historic site should demonstrate a diligent effort to retain and rehabilitate the historic resource.

It is recognized that, in some instances, the location or condition of an historic building may be such that it is not feasible to preserve and rehabilitate. When the location of a building is such that retention on its existing site is not feasible, an effort should be made to move the structure to another suitable location within the City of Redlands with of the cost to be paid by the developer of the original site. When structural, cost or construction considerations do not make retention of an historic building feasible, consideration should be given to retaining part of the structure.

Historic buildings which are renovated are encouraged to follow "The Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Building" published by the U. S. Department of the Interior, National Park Service. A copy of the Standards and Guidelines is available at the City of Redlands Community Development Department.

The Guidelines are too lengthy to be repeated here, but the Standards of Rehabilitation are as follows:

- 1) Every reasonable effort shall be made to provide a compatible use for a property which requires a minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.*
- 2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.*
- 3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.*
- 4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.*
- 5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.*
- 6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*
- (7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.*



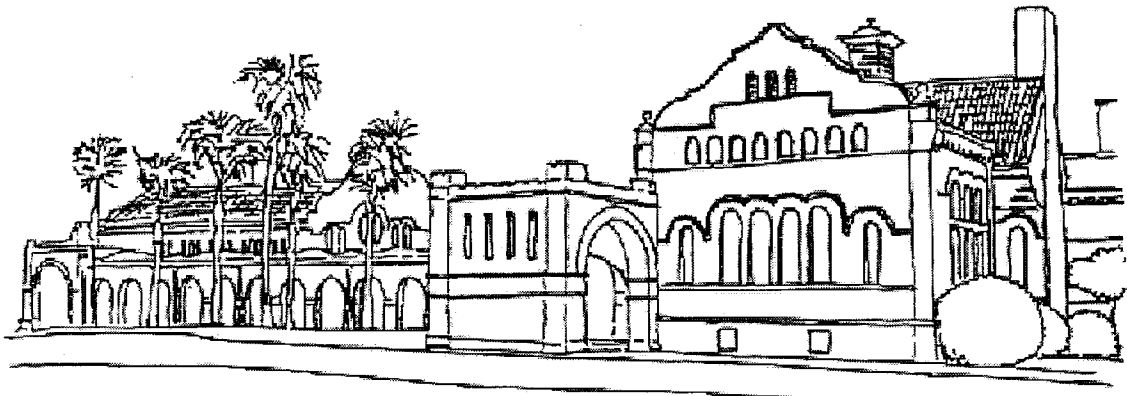
8) *Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent, to any project.*

9) *Contemporary design for alternations and additions to existing properties shall not be discouraged when such alternations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.*

10) *Wherever possible, additions or alterations to structures shall be done in such a manner that if such additions or alternations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.*

The City and local historical groups will offer advice to owners remodeling heritage buildings. It is hoped a strengthened appreciation of our heritage will take place in downtown Redlands. This will enable future generations to enjoy Redlands' historic resources and reinforce the downtown areas's design goals.

## 6. Architectural Character



### a. Building Height and Bulk

There are no specific height limitations, however, the following may serve as guidelines:

There is a maximum of three stories, not to exceed fifty-five (55) feet, permitted in the Town Center (TC), Town Center Historic (TC-H) and Service Commercial (SC) Districts.

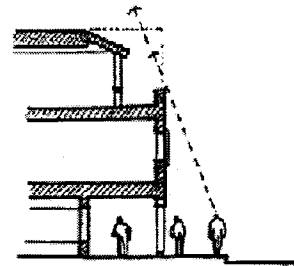
Buildings should minimize their perceived height and bulk as viewed from public streets. Suggested methods of reducing perceived height and bulk follow. Although these methods are encouraged, other approaches that achieve the same objectives are acceptable.

**(1) Reduction of Apparent Width**

- Buildings over 50 feet wide should divide their elevations into smaller parts. This can be accomplished by a change of plane, projection or recess. Large or long continuous wall planes should be avoided.
- Recesses and projections may be used to divide the mass of the building into smaller-scale elements and to provide strong areas of shade and shadow. Recesses may define courtyards, entries or other outdoor spaces along the perimeter of the building. Recessed or projected balconies, porches and arcades create a sense of depth in a building wall, contrasting surfaces exposed to the sun with those in shadow.
- Projections can emphasize important architectural features such as entrances, bays, stairs, balconies and arcades.

**(2) Vertical Stepback**

- Buildings over two stories high should step back their upper story street-facing facades to reduce apparent height and bulk. The stepback should normally be at least 10 feet in depth.



**Vertical Stepback**

**(3) Vertical Composition**

A traditional principle which is often helpful in reducing building bulk and improving pedestrian scale is to divide the mass of the structure into distinct horizontal parts. The parts should express a sense of base, mid-section and top. This is especially helpful for three story buildings, and can achieve a more sculptured building form.

- The **base** may be a shaded element that establishes a strong visual relationship to the ground plane. A covered walkway or arcade set in shadow and carefully integrated with the total building form is one desirable method. Architectural detailing may also be used when a covered walkway is not appropriate.

- The **mid-section** is the "body" of the building. The preferred architectural character of the mid-section is to treat it as a solid wall with recessed windows or groupings of windows. Long or large wall surfaces with flush-mounted windows should be avoided.



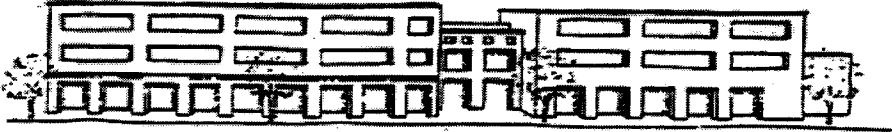
- The top story of the building should develop a lighter character. As a general principle, the upper story of the building should reduce its floor area and building mass. A sculpted roof form that develops a silhouette against the sky is encouraged.

**(4) Architectural Details**

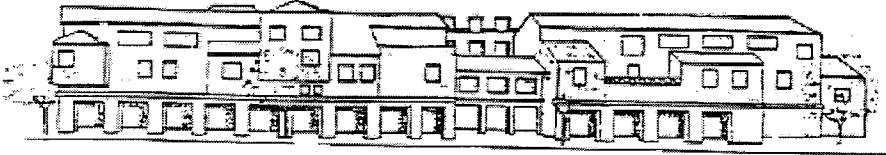
- Details such as deep reveals, expressed columns, deeply-recessed doors and windows, and changes in texture help divide a wall plane into smaller-scale parts that relate to human size and scale.

**b. Proportion and Scale**

Proportion is defined as the relationship between parts of a building or building element. Scale is the relationship of the building to human size. Varied proportions are desired in the design of building elevations. The scale of building elements, especially at the pedestrian level, should be kept intimate and close to human size with relatively small parts.



**Avoid Repetitive Proportions**



**Varied Proportions Encouraged**



**Building parts scaled to human size.**

**Proportion and Scale**

## **C. Materials and Colors**

### **(1) Coordination with the district and neighboring properties**

Exterior building materials and colors should contribute to a unified downtown environment. Harmony with neighboring buildings is to be emphasized. In districts where a particular building material predominates, the new project is encouraged to use the same palette or a similar palette compatible in texture, color and scale with the predominant material. Coordination of materials used on adjacent buildings is desirable.

### **(2) Selection of building materials**

(a) Recommended exterior building materials compatible with downtown Redlands are:

- Natural materials, such as wood, brick, unpolished stone.
- Cement plaster (stucco) or similar material.
- Textured masonry with integral color.
- Formed concrete with integral color and a textured finish.

(b) Discouraged exterior building materials are:

- Large areas of glass, unless located at pedestrian level for store fronts.
- Highly reflective or mirror-like materials that reflect glare into the surrounding environment. These materials should be used only in small areas for architectural details near the ground level.
- High contrast color glazed masonry except for small areas of detail.
- Glass curtain walls.
- Synthetic materials made to resemble masonry.
- Metal panels.
- Exposed concrete masonry. Split faced concrete masonry units with integral color and texture may be used in the Service Commercial District and with discretion in the other districts for portions of buildings, but is discouraged as a primary exterior building material.
- Plastic materials.
- Continuous strips or bands of glass without interruption by mullions. The use of flush-mounted glass used in long horizontal patterns should be avoided.

(c) Windows

- To reduce solar heat gain and reflection of glare, windows and large areas of glass should be recessed in shadow. It is preferable that large glazed areas be divided into smaller parts by using mullions to express individual windows or groupings of windows.

- The provisions of the above paragraph do not apply to storefronts.

(d) Walls

- Expression of wall thickness is desirable. Reveals, returns and deep recesses at openings are encouraged to exaggerate wall thickness.

**(3) Color**

The use of color in downtown buildings should seek an overall harmony and limited palette. Colors should follow those now in predominant downtown use: light and muted earth tones for basic surfaces with strong hues only as accents. Color is encouraged in detail and ornamentation.

(a) Recommended colors:

- Light and muted earth tones, including off whites such as ivory.
- Natural brick, stone and wood tones.
- For ground surfaces and roofs: warm earth tones.
- Accents: Saturated and bright colors may be used in small areas for detail, ornamentation, doors and windows, stairs or other architectural features.

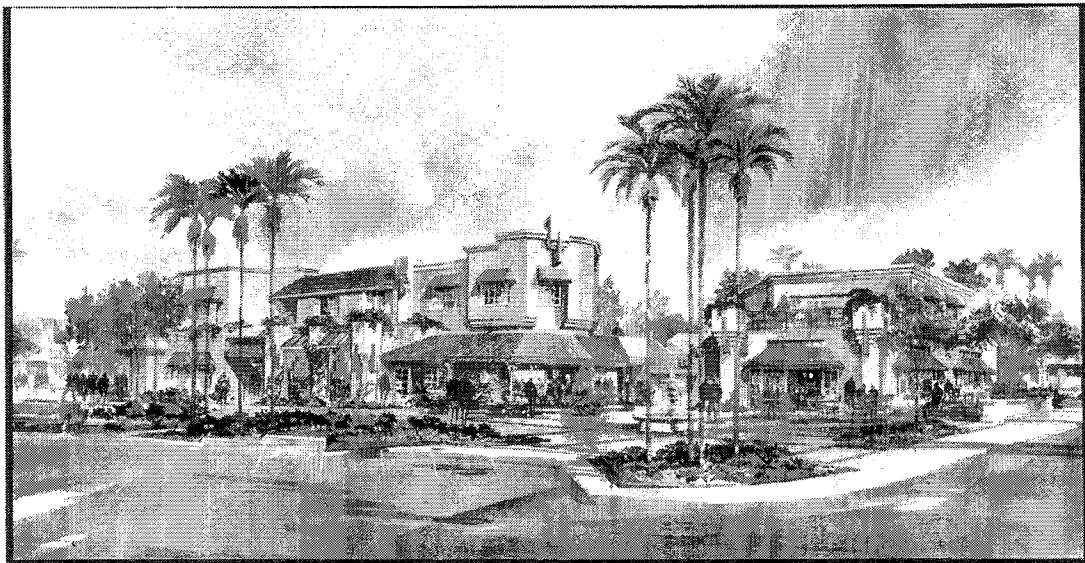
(b) Discouraged colors:

- Highly-reflective colors that cause glare.
- Large dark buildings or surfaces.
- Large areas of dark glass.
- Colors so dark or intense as to neutralize shadow patterns.
- Saturated hues and bright colors except for use in small areas.

**d. Architectural Detail**

Architectural detail and ornamentation that enrich buildings and exhibit craftsmanship are encouraged.

- Cornices, ornamental moldings, lamps and other architectural details that provide visual interest, shadow, contrast and color are encouraged. This is especially desirable at the pedestrian level. Details should be carefully integrated with the design concept of the building.
- Balconies provide spaces for outdoor activities and are often helpful to give scale to a building wall. They provide an element of human size which can effectively contrast with the solid, massive character of a wall.
- Outdoor stairs can create rich entry sequences and help to make upper stories of a building more visible.



**Architectural Detail: La Farge Plaza**

## **7. Off Street Parking Facilities**

Standards for the location of off-street parking facilities are described in Section III C.1 through III C.3.

### **a. Access**

- Curb cuts for driveways should be limited to a minimum number. Except in special cases for large projects, only one curb cut shall be permitted on each public street frontage of the property. Corner properties with more than one street frontage should locate access driveways on the street with the least traffic volume.
- Access for service vehicles, trash collection and storage areas should be located on alleys where they exist. When no alley exists, the access should be located on the street with least traffic volume.

### **b. Parking Lot Perimeters**

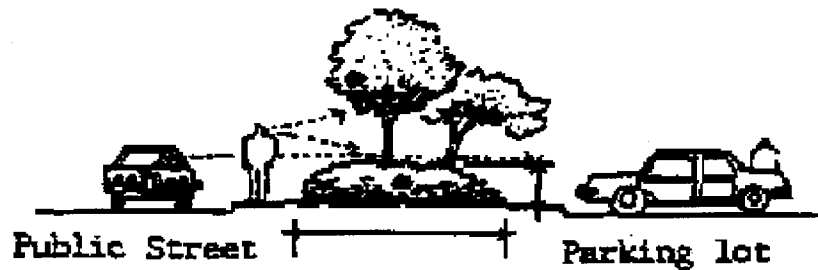
- Off-street parking lots should be visually screened from street view by planting or a combination of planting and low walls.

A continuous screen at least 30 inches high should be formed by a solid wall or planting. If shrubs are used to create this screen, the shrubs should be a minimum of 30 inches in height after two years growth. Space shrubs in massed plantings so that branches intertwine. Solid walls used for screening must be accompanied by a minimum 3 foot wide landscaped edge facing the street.

- Planted perimeter areas must be at least 5 feet deep along public streets and interior property lines.

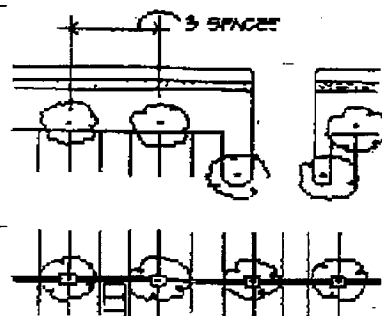


- Parking lots must be set back at least 5 feet from the edge of a building. The 5 foot area between the parking lot and building should be fully landscaped, unless used as a pedestrian walkway. In the SC District, such landscaping is not necessary if it would not be visible from the street.

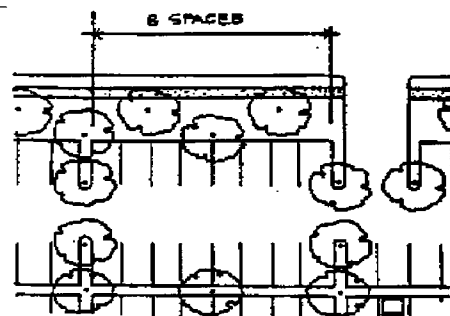


**c. Internal Parking Lot Planting**

- Parking lots should include internal planting to develop tree canopies that soften the visual impact of the lots and provide relief from heat build-up.
- Trees which have a spreading shape to maximize shade should be emphasized in parking lots. Vertical shaped trees should be avoided except as accent trees near buildings.



Parking with planter or grate



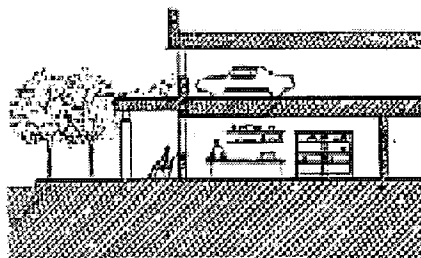
Parking with four foot break

**Parking Lot Planting**

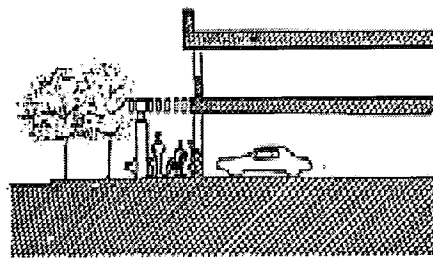
For all parking lots greater than 5,000 square feet, an internal area at least 8 percent of the total parking area should be planted with a combination of trees and shrubs.

**d. Parking Structures**

- In the TC and TC-H districts, structured parking is encouraged. If not feasible in the immediate development program for the site, consideration should be given to a longer term master plan for the site that would eventually convert surface parking areas to additional building space accompanied by structured parking.
- The visual impact of parking structures should be minimized by locating them at the rear or interior portions of the property when possible.
- Parking structures which must be located on public street frontages should:
  - Minimize the street frontage of the structure by placing its short dimension along the street edge when possible.
  - Develop activities such as shops, offices or other commercial space along the ground level of the street frontage.
  - When this is not possible, provide a planted patio space between the structure and the street.



Parking structure with ground floor shop.



Parking structure with planted patio space.

## **8. Signage**

### **a. General Design Criteria**

The provisions of the City of Redlands Sign Code shall be followed in the Specific Plan area. Where a conflict between the Sign Code and these Design Guidelines may occur, the more restrictive provision shall apply unless specific language in the Design Guidelines permits a sign type that is otherwise prohibited by the Sign Code.

- All signs should be a minimum size and height to adequately identify a business.
- Signage design should be carefully integrated with site and building design to create a unified appearance for the total property.
- Signs should be carefully located for safety so as not to block driveway views of oncoming traffic.
- Illumination projected onto the sign face is encouraged. In the event a sign is illuminated, the light source shall be fully shielded from view. Internally illuminated plastic signs are prohibited in the TC-H, Town Center-Historic District except for signs for a movie theater, which may be internally lighted.
- Typefaces should be chosen for their simplicity and clarity. Signs on older buildings are encouraged to use a typeface from the period the building was built.
- Sign posts and other structural elements should be made of wood or metal with a white, earth-tone, black, or natural stain finish. Reflective or bright colors should be avoided.
- A master signage program shall be designed for new projects containing three or more business establishments.
- In the case of existing signs or pre-existing signs that can be verified by photographic record and are at least 60 years old, the sign may be restored or recreated in its original form. Signs qualifying under this provision are exempt from the provisions of this guideline but remain subject to Planning Commission discretionary review.

- Existing Sign Programs approved prior to June 21, 1994 and any future modifications to sign programs shall be exempt from the sign requirements of Specific Plan No. 45 (Revised).”
- All movie theater signs— including building- mounted signs and marquees—shall be subject to review and approval by the Planning Commission.

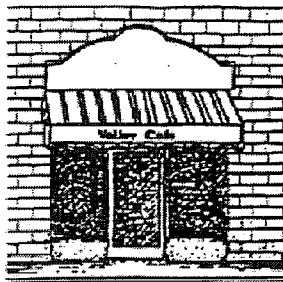
**b. Sign Types**

The following sign types are recommended in the Specific Plan area:

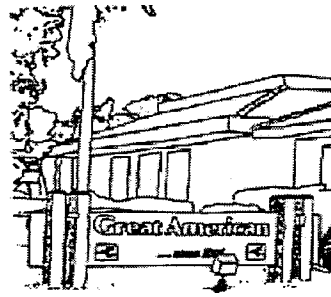
- Awning Valance: A sign or graphic attached to or printed on an awning's valance.
- Hanging: A sign attached to and located below any eave, canopy or awning.
- Marquee: A sign installed at a movie theater to identify the theater and advertise the movies currently playing.
- Projecting: Any sign which projects from and is supported by a wall of a building with the display of the sign perpendicular to the building wall.
- Wall: A sign affixed directly to an exterior wall or fence.
- Window: A sign affixed to or behind a window.
- Monument signs may be used in the TC and SC districts, but not in the TC-H district, unless specific findings as outlined herein are made by the Planning Commission. Findings for monument signs in the TC-H district are:
  1. The sign may be used in conjunction with new development only.
  2. The sign shall include only the name of the business.
  3. The Planning Commission shall find that the monument sign is necessary because:
    - a) Architectural detailing of the building makes a wall sign or other building attached signage, impractical, and that a wall sign, or other building attached signage, would detract from the building design; or
    - b) The orientation of the building relative to existing streets of surrounding development limits the visibility of wall signs.

- The signage criteria outlined in Section 8 of the Specific Plan are complied with.

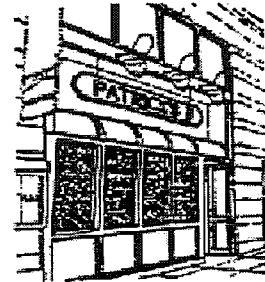
A monument sign is a sign supported by one or more upright or braces on the ground.



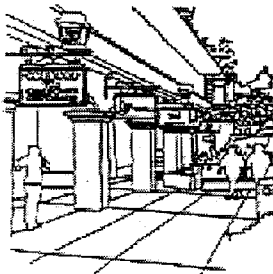
AWNING VALANCE



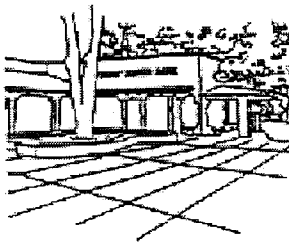
MONUMENT



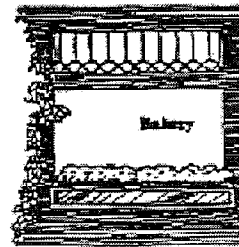
HANGING



PROJECTING



WALL  
Sign Types



WINDOW

- Movie theaters may use any or all of the following types of signs:
  1. Building-mounted marquee to identify the movie theater and any or all of the movies showing in the theater.

2. Free-standing marquee to identify the movie theater and any or all of the movies showing in the theater.
3. Building-mounted signs to identify the movie theater.
4. A marquee directly over the ticket window(s) for the convenience of ticket buyers to identify movies and show times.
5. Movie posters to display current and coming attractions.

**c. Sign Area and Number**

- (1) There shall be no maximum height for letters on a wall or freestanding signs, except that letters on a box office marquee sign identifying movies and/or show times shall not exceed three (3") inches in height.
- (2) All wall signs shall have an equal margin above and below the sign.
- (3) The sign size limits listed for the C-3 General Commercial District in the Redlands Municipal Code shall apply to all Districts of the Specific Plan area, with the exception that multiple-tenant buildings fronting on a street with parking at the rear of the buildings and movie theaters shall be subject to the following size limits:

Multiple-tenant buildings fronting on a street with parking at the rear of the buildings:

- Maximum sign area for tenants to be calculated on front and rear elevations.
- One main identification sign allowed on tenants' two elevations.

**Movie Theaters:**

- Building-mounted marquee signs shall be limited to the larger of either two hundred (200) square feet or twenty (20) square feet per screen in a multi-screen theater. All screens in a multi-screen may be used to calculate the marquee size.
- Freestanding marquee signs shall be limited to the larger of either a) two hundred (200) square feet or b) twenty (20) square feet per screen in a multi-screen theater. Freestanding marquee signs may be increased to a maximum of twenty-five (25) square feet per screen, subject to approval by the Planning Commission, if it is determined that the sign's architectural design is of such a quality and/or character as to warrant the increase in marquee size. All screens in a multi-screen may be used to calculate the marquee size.
- The size of a building-mounted marquee shall be calculated separately from a freestanding marquee. Allowable sign area in excess of the amount used may not be transferred from a building marquee to freestanding marquee or from a freestanding marquee to a building marquee.

- Building-mounted signs (exclusive of marquees) shall be limited to a maximum of two hundred (200) square feet. One sign may be increased in size in excess of two hundred (200) square feet, subject to approval by the Planning Commission, if it is determined that the sign's architectural design is of such a quality and/or character as to warrant the increase in size. Up to two (2) square feet of sign per foot of building frontage may be permitted, subject to approval by the Planning Commission, if it is determined that the design of proposed signs is of such a quality and/or character as to warrant the increase of total area.
  - No maximum size for box office marquees is established, other than the limit on letter height contained in §VI.8.c.1. The size of a box office marquee shall not be counted toward the total sign area on a theater.
  - Exterior poster cases shall be limited to a maximum size of thirty-nine inches (39") wide by fifty-two inches (52") high. The size of poster cases shall not be counted toward the total sign area on a theater.
- (4) Sign height limits (all dimensions are above grade)
- Awning Valance and Projecting: 12 feet
  - Monument: 4 feet
  - Hanging and Wall: 15 feet
  - Window: 7 feet
  - Freestanding theater marquee: 20 feet to the top of the marquee area. The overall height of the sign structure may exceed 20 feet (up to the maximum height limit in the land use district), subject to approval by the Planning Commission, if it is determined that the sign's architectural design is of such quality and/or character as to warrant the increase in height. In no case shall the top of the marquee area exceed 20 feet in height above the ground.
- These height limits shall not apply to signs located on a movie theater building.
- (5) Projecting signs should be limited to a 2 foot projection from the wall face they are mounted on and should be not greater than 4 square feet in area of a single face. Projecting Signs should clear public sidewalks and private walkways by at least 7 feet.

- (6) Multi-family residential properties of 12 or more units may have one sign of 10 square feet or less.
- (7) Address numerals are not counted toward signage area, nor are traffic direction or public information signs.
- (8) The following limits shall apply to the number of signs at a movie theater:
  - Building-mounted marquee: Maximum of one (1) sign.
  - Freestanding marquee: Maximum of one (1) sign.
  - Exterior poster cases: Maximum of one (1) poster case for every two (2) screens. Poster cases must be located within forty (40) feet of an entrance into the theater lobby. Poster cases may be located in a freestanding structure more than forty feet (40') from a lobby entrance if approved by the Planning Commission. Poster cases on a freestanding structure shall be limited to a maximum of one (1) for every four (4) screens.

**d. Prohibited Signs**

The following signs are prohibited in the Specific Plan area:

- Roof and parapet signs.
- Internally illuminated plastic signs in the TC- Town Center- Historic District, except for signs developed in conjunction with a cinema or theater. All plastic signs are prohibited, unless approved by the Planning Commission.
- Pole signs, including freeway-oriented signs.
- Portable or mobile signs, except as permitted per Redlands Municipal Code, Section 15.36. 565.
- Signs which cover or interrupt architectural features.
- Off-site signs.
- Neon signs over 2 square feet in area except as approved by the Planning Commission for a movie theater.



**9. Building Equipment and Services**

- Carefully locate building equipment and services to minimize their visual impact on public streets and neighboring properties.
- Trash containers and outdoor storage areas should be screened from view from public streets, pedestrians areas, and neighboring properties. The screen for trash containers should be designed to be compatible with the architectural character of the development and be of durable materials.
- Locate utility meters and other mechanical and electrical equipment in service, loading, or screened areas. Exterior surface-mounted utility conduit and boxes should be kept to a minimum. Where they do exist, they should be designed, painted, or screened to blend in with the design of the building to which they are attached.
- Mechanical equipment, solar collectors, satellite dishes, communication devices, and other equipment should be concealed from view from public streets, adjacent properties, and pedestrian-oriented areas to the extent technically practical.
- Roof-mounted equipment is discouraged. When such equipment is necessary, it should be screened from view from roads, adjacent properties, and pedestrian areas. Special attention should be given to changes in elevation which may provide a view down to a roof, such as from the Interstate 10 freeway. In this case, enclose the equipment in a screened shelter or design the layout of exposed equipment in an orderly fashion. Paint the equipment in a color similar to the rest of the roof.
- Screening devices (rooftop and at ground level) should consider the following elements:
  - Architectural screens should be an extension of the development's architectural character.
  - Screen walls should be constructed of low maintenance and durable materials which are consistent with the main building's materials.
  - Landscaping should be used in conjunction with building materials to complement ground level screening devices.

## **10. Site Lighting**

### **a. General Design Criteria**

- Limit the amount and intensity of lighting to that necessary for safety, security and to compliment architectural character. Lighting is not permitted which would spill onto, or interfere with the character of, the surrounding neighborhood.
- Lighting which is visible from adjacent properties or roads must be indirect or incorporate full shield cut-offs.
- Service area lighting should be designed to avoid spill-over onto adjacent areas.

### **b. Parking Area Lighting**

- For commercial parking areas, overhead lighting should be mounted at a maximum height of 15 feet above the paved surface.
- For residential parking areas, overhead lighting should be mounted at a maximum height of 10 feet. The placement of lighting in residential parking areas should avoid interference with bedroom windows.

### **c. Walkway, Garden, and Pedestrian Area Lighting**

- Overhead fixtures used for pedestrian areas should be limited to a height of 10 feet.
- Along walkways, low-level lighting fixtures mounted on short posts are encouraged. Shatterproof coverings are recommended. Posts should be located to avoid hazards for pedestrians or vehicles.

## **11. Mixed Use Zoning Development Incentives**

To encourage and contribute to the economic feasibility of the construction of new housing within this Specific Plan, notwithstanding any other provision of this Specific Plan, the City may grant a development incentive to an applicant for a mixed use housing development project. The development incentives for mixed use zoning projects are reduced parking requirements, modification of architectural design requirements, reduced lot setbacks, floor area bonus and reduced minimum outdoor and/or private outdoor living area.

## **12. Automobile Sales Development Standards**

### **a. Purpose of provisions.**

The purpose of the provisions of this section are to establish standards for the development of new and used automobile sales facilities where sales are conducted outdoors.

### **b. Property development standards.**

The following property development standards shall apply when they are more restrictive than the development standards for the particular zone in which new or used automobile sales are proposed to be conducted:

- Site Area. Each site shall have a minimum area of 50,000 square feet.
- Site Dimensions. The minimum lot width and depth dimensions shall be 200 feet.
- Parking. Off-street parking shall be provided in accordance with the provisions of Chapter 18.164.
- Landscaping. A minimum of ten percent of the site shall be landscaped. Landscaping shall be placed along the entire street frontage, except for driveway openings and walkways. Landscaping shall be oriented to enhance public views and accent on-site structures.
- Architectural Treatment. It is the policy of the City to require high quality architectural treatment. The design of the facilities shall be harmonious with the character and quality of the neighborhood and community.
- Service Areas and Facilities. Service areas and facilities shall be completely screened from view from the public right of way. Screening shall be by use of walls, earth berms, landscaping or a combination thereof.

## VII. IMPLEMENTATION

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Following are recommendations for public and private actions to implement the Specific Plan:

### A. Public (City and Redevelopment Agency) or Joint Public-Private

1. Adoption of the Specific Plan, including new land use regulations, property development standards and design guidelines.

Immediate action.

2. Federal approval of Redlands Santa Fe Depot Historic District.

Recorded on the National Register of Historic Places, October, 1991.

3. Street and streetscape improvements\*, by priority:

- a. Eureka Street, from Pearl Avenue to Redlands Boulevard.  
Immediate.
- b. Pearl Avenue, between Eureka Street and Sixth Street.
- c. Third Street, between Oriental Avenue and Redlands Boulevard.
- d. Stuart Avenue, between Texas Street and Orange Street. As new development occurs.
- e. Stuart Avenue, between Sixth Street and Church Street. As new development occurs.
- f. Third Street, between Pearl Avenue and Stuart Avenue; Seventh and Ninth Streets, between Redlands Boulevard/Central Avenue and High Avenue. As new development occurs.

\* Some of the above street and streetscape improvements will be the responsibility of private developers.

4. Parking structure, Oriental Avenue, in Santa Fe Depot Historic District.

By joint program of City/Redevelopment Agency and property owners through parking assessment district.

Implement when participating properties develop.

5. Open space improvements, by priority.
  - a. Completion of Santa Fe Trail (Shoppers Lane).
  - b. Pedestrian Plaza in Santa Fe Depot Historic District. With construction of parking structure.
  - c. Pedestrian alley, 500 block of Orange Street.
  - d. Zanja Park. With construction of new storm drain.
  - e. Santa Fe Pedestrian Trail/Bike Path. When railroad right-of-way is abandoned.
  
6. Sewer and Utility Improvements
  - a. Zanja drain. Planning currently in process.
  - b. Other sewer and utility improvements are listed in Section IV.D. Many of these improvements will be the responsibility of private developers, completed when development occurs.

**B. Private**

The projected rate of private development generated by market demand is reviewed in Section III Land Use.

## APPENDIX A

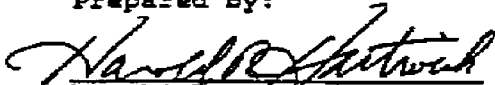
### Legal Description of Specific Plan Area

#### APPENDIX A

#### Legal Description of Specific Plan Area

BEGINNING at the intersection of the East right-of-way line of Texas Street and the South right-of-way line of Interstate 10 Freeway; thence East along the South line of the Interstate 10 Freeway to an intersection with the West right-of-way line of Eureka Street; thence along the South right-of-way line of Pearl Avenue to the East right-of-way line of Sixth Street; thence along the South right-of-way line of the aforesaid Interstate 10 to the intersection with the West right-of-way line of Church Street; thence South to an intersection of the West right-of-way line of Church Street and the North line of the Southern Pacific Railroad right of way, as shown by Record of Survey recorded in Book 56 of Surveys, Page 51, records of San Bernardino County; thence Southwesterly along the Northerly line of said Southern Pacific Railroad right of way, as shown by said Record of Survey, to an intersection with the West right-of-way line of Ninth Street; thence South along the West right-of-way line of Ninth Street to the North line of Redlands Avenue as shown by FAIRBANKS AND WILSON SUBDIVISION of a Part of Lot 30, Block 77 of a Part of RANCHED SAN BERNARDINO, as shown by plat recorded in Book 4 of Maps, Page 46, records of said County, said point being the Southeast corner of Lot 12, Block C of said subdivision; thence West along the North line of said Redlands Avenue, said North line being the formerly North line of the Southern Pacific Railroad right of way to the East right-of-way line of Seventh Street; thence South along the East line of Seventh Street to the North right-of-way line of Redlands Boulevard; thence West along the North right-of-way of Redlands Boulevard to an intersection of said line and the West right-of-way line of Eureka Street; thence along the Westerly right-of-way line of Eureka Street to an intersection with the South right-of-way line of Oriental Avenue; thence Westerly along the South right-of-way line of Oriental Avenue to an intersection with the East right-of-way line of Texas Street; thence North along the East right-of-way line of Texas Street to the point of beginning.

Prepared by:

  
Harold R. Hartwick  
L.S. No. 2851



January 2, 1990

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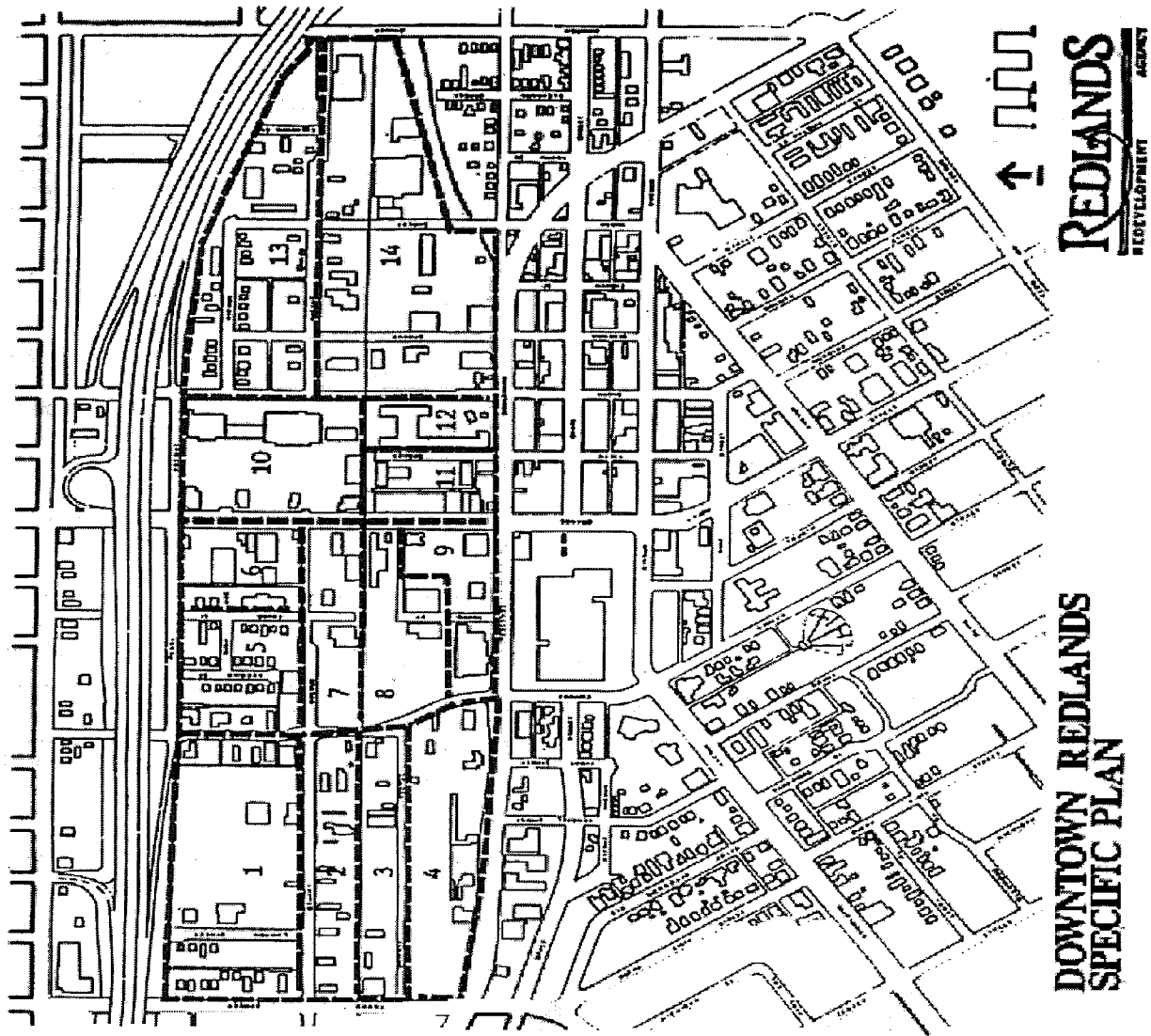




**APPENDIX B**

**Buildout Potential of the Specific Plan Area**

Area No.	Area (Sq.Ft. of Sites)	Existing Develop. to remain (Sq. Ft.)	Potential Develop. Sq. Ft. New
1	844,000		Office-retail @ FAR .5 = 422,000
2	260,000		Service commercial @ FAR .3=78,000
3	260,000		Service commercial @ FAR .3=78,000
4	544,000 (not in SPA)	Auto sales, auto services = 90,000	0
5	348,000		Office-retail @ FAR .5 = 174,000
6	248,000		Hotel-retail @ FAR .7 = 173,600
7	210,000	27,000 (all conversion to retail, office)	Office-retail @ FAR .5 = 78,000
8 (Hist. District)	230,000	* All exist. bldgs. are adaptive reuse (listed under new)	Retail:43,300 Rest: 16,000 Office: 17,000 Theater: 20,000
9	224,000	41,000 retail-rest. 32,000 financial 25,000 office-retail	0
10	480,000	Orange Street Plaza Retail, financial, rest. = 124,000	0
11	148,000	66,000 retail, rest, commercial services	10,000 office-retail
12	138,000	Redlands Centennial Plaza. Office-retail = 60,000	10,000 office-retail
13	536,000	Some recent service-commercial const. inc. data. (all listed under new) Some High Avenue houses may be retained and restored	Service-commercial @ FAR .3 = 160,800
14	798,000	Assumes some exist to remain. Inc. data. (all listed under new)	Service-commercial @ FAR .3 = 239,000



**DOWNTOWN REDLANDS  
SPECIFIC PLAN**

**APPENDIX C**

**Traffic Generation**

LAND USE	EXISTING DEVELOPMENT			PROPOSED DEVELOPMENT		
	QUANTITY	DAILY TRIP RATE	DAILY TRIPS <sup>1</sup>	QUANTITY	DAILY TRIP RATE	DAILY TRIPS <sup>2</sup>
General Office	27.4 TSF <sup>3</sup>	12.3	300	73.3 TSF	12.3	900
Commercial						
Retail	149.4 TSF	60.0	9,000	79.3 TSF	60.0	4,800
Service	43.2 TSF	30.0	1,300	96.9 TSF	30.0	2,900
Highway	-	-	-	22.9 AC	103.3	2,400
Department Store	-	-	-	80.0 TSF	60.0	4,800
Super Market	-	-	-	55.0 TSF	80.0	4,400
Residential						
5-6 DU/AC	195/DU's	10.0	2,000	-	-	-
10-15 DU/AC	-	-	-	230 DU's	5.0	1,200
Senior Housing	-	-	-	120 DU's	3.3	400
Restaurant	-	-	-	80.0 TSF	56.3	4,500
Hotel	-	-	-	250 RM	10.5	2,600
Public Building	47.4 TSF	25.0	1,200	-	-	-
Industrial/Warehouse	189.0 TSF	7.0	1,300	-	-	-
Total Daily Trips			15,100			28,900

<sup>1</sup> TSF - Thousand Square Feet

<sup>2</sup> Trips rounded to nearest 100's

<sup>3</sup> Trips determined under existing retail and service

Source: Greer and Company, Traffic Consultants



# **APPENDIX I**

## **Initial Study**

### **Redlands Park Once Transit Center**

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**INITIAL STUDY**

**REDLANDS PARK ONCE TRANSIT CENTER**

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*APRIL 2011*

*Prepared for:*

**City of Redlands**  
35 Cajon Street  
Redlands, CA 92373  
Contact: Tim Wilson  
Telephone: (909) 798-7585 ext.3

*Prepared by:*

**RBF Consulting**  
9755 Clairemont Mesa Boulevard, Suite 100  
San Diego, CA 92124  
Contact: Lorraine Ahlquist  
Telephone: 858.614.5044  
Fax: 858.614.5001

RBF JN 25-104730.001

## Initial Study Checklist for:

Redlands Park Once Transit Center – Redlands, California

**1. PROJECT TITLE/PROJECT NUMBER:**

Redlands Park Once Transit Center

**2. LEAD AGENCY NAME AND ADDRESS:**

City of Redlands  
35 Cajon Street  
Redlands, CA 92373

**3. CONTACT PERSON AND PHONE NUMBER:**

Lorraine Ahlquist  
RBF Consulting  
9755 Clairemont Mesa Boulevard, Suite 100  
San Diego, CA 92124  
Telephone: (858) 614-5044  
Fax: (858) 614-5001

**4. PROJECT LOCATION:**

The site is generally located on the south side of West Stuart Avenue, north of the Burlington Northern Santa Fe (BNSF) railroad tracks and east of Eureka Street in Redlands, California. The subject site includes Assessor's Parcel Nos. (APN) 0169-281-19, APN 0169-281-23 and the abandoned right-of-way of Third Street located south of West Stuart Avenue and north of the BNSF railroad tracks.

**5. PROJECT APPLICANT/SPONSOR'S NAME AND ADDRESS:**

City of Redlands  
35 Cajon Street  
Redlands, CA 92373  
Telephone: (909) 798-7585 ext.3

**6. GENERAL PLAN DESIGNATION:**

Commercial

**7. ZONING:**

SP45/TC; SP45/TCH – Specific Plan Town Center (TC) and Town Center Historical (TC-H)

**8. DESCRIPTION OF PROJECT (DESCRIBE THE WHOLE ACTION INVOLVED, INCLUDING BUT NOT LIMITED TO, LATER PHASES OF THE PROJECT, AND ANY SECONDARY, SUPPORT, OR OFFSITE FEATURES NECESSARY FOR ITS IMPLEMENTATION):**

Permits Required: Site Development Permit; Building Permit; Demolition Permit; and, Grading Permit.

Project Location: The Project site is located within the City of Redlands, California. The property is located south of Stuart Avenue and north of the railroad track, between Eureka and Orange Streets. The Assessor's Parcel Numbers are 0169-281-23 and 0169-281-19. Refer also to Exhibit 1, Regional Map, and Exhibit 2, Vicinity Map.

Proposed Project: The majority of the site is vacant with a portion of it presently supporting a one-story commercial building.

The Project proposes the construction of a Transit Center parking structure offering up to 435 parking spaces and will contain approximately 6,170 square feet of retail commercial space, comprising 2,280 gross-square-feet on the north side of the parking garage fronting Stuart Avenue, and 3,890 gross-square-feet of small retail uses on the south side of the garage fronting the railroad tracks. Approximately 2,000 square feet of the space on the south side of the garage will be utilized for transit support uses including transit patron facilities and bicycle storage on the Project site. The existing building located on the eastern part of the site will be demolished and a new Transit Center parking structure will be constructed in its place. The Project will not be phased, and demolition, grading, and construction will proceed in a sequential order, as appropriate. Exhibit 3 illustrates the proposed Site Plan and Exhibit 4 provides several photos that illustrate existing conditions onsite.

Ingress to the proposed Redlands Transit Center will be from Stuart Avenue.

The existing General Plan land use designation for the Project site is Commercial; the property is zoned TC-H, Town Center – Historical and TC Town Center, with no minimum lot size and a maximum building height not to exceed three stories, or a building height of fifty-five feet. The Project does not propose a change to the existing land use or zoning designations.

The Project site slopes gradually to the west/northwest with an elevation near the eastern site boundary of approximately 1,350 feet relative to mean sea level (MSL) and an elevation of approximately 1,345 feet near the western site boundary. There are no water bodies, sanitary landfills, or designated wildlife habitat located within one-half mile of the Project site.

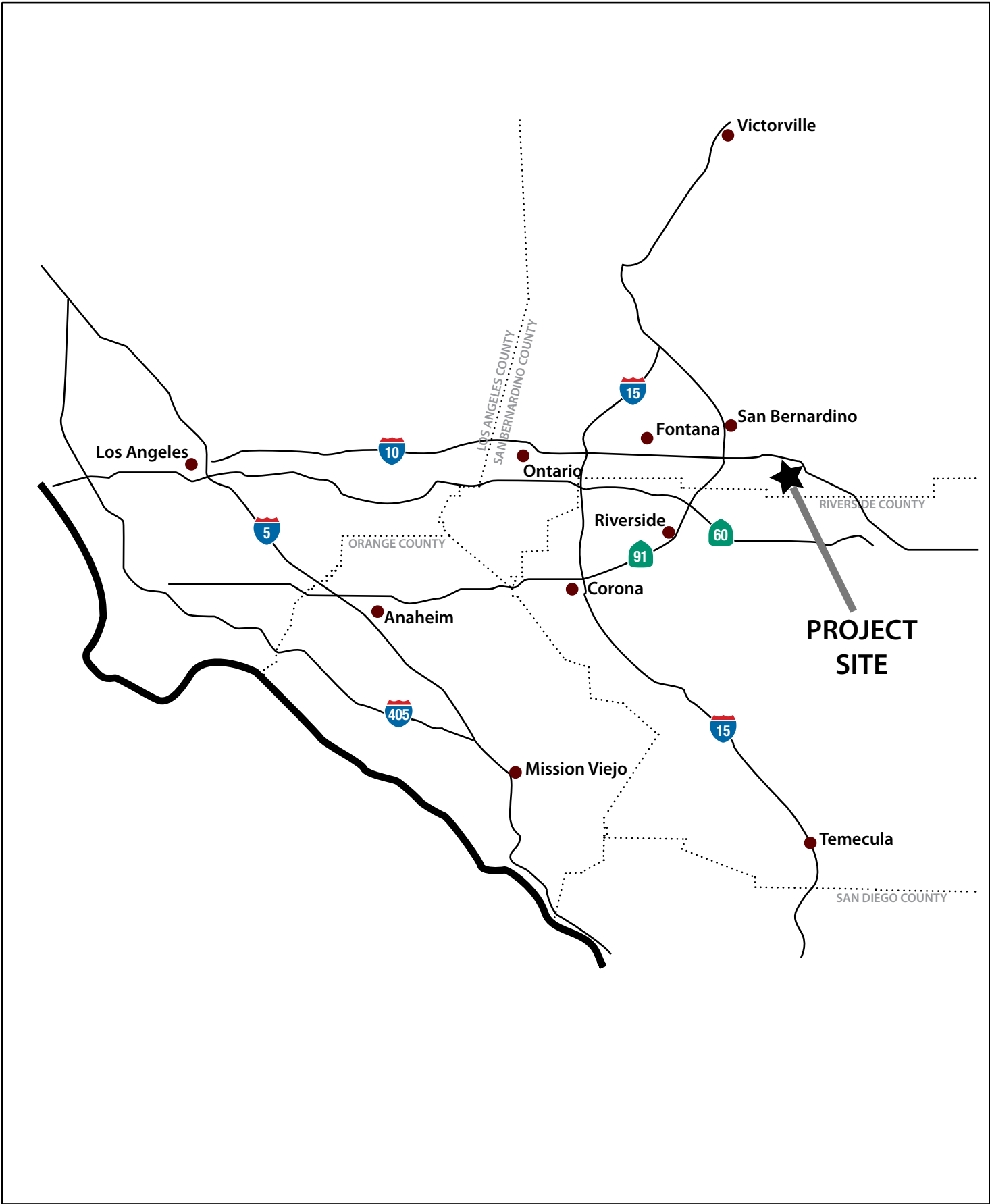
**9. SURROUNDING LAND USES AND SETTING: BRIEFLY DESCRIBE THE PROJECT'S SURROUNDINGS:**

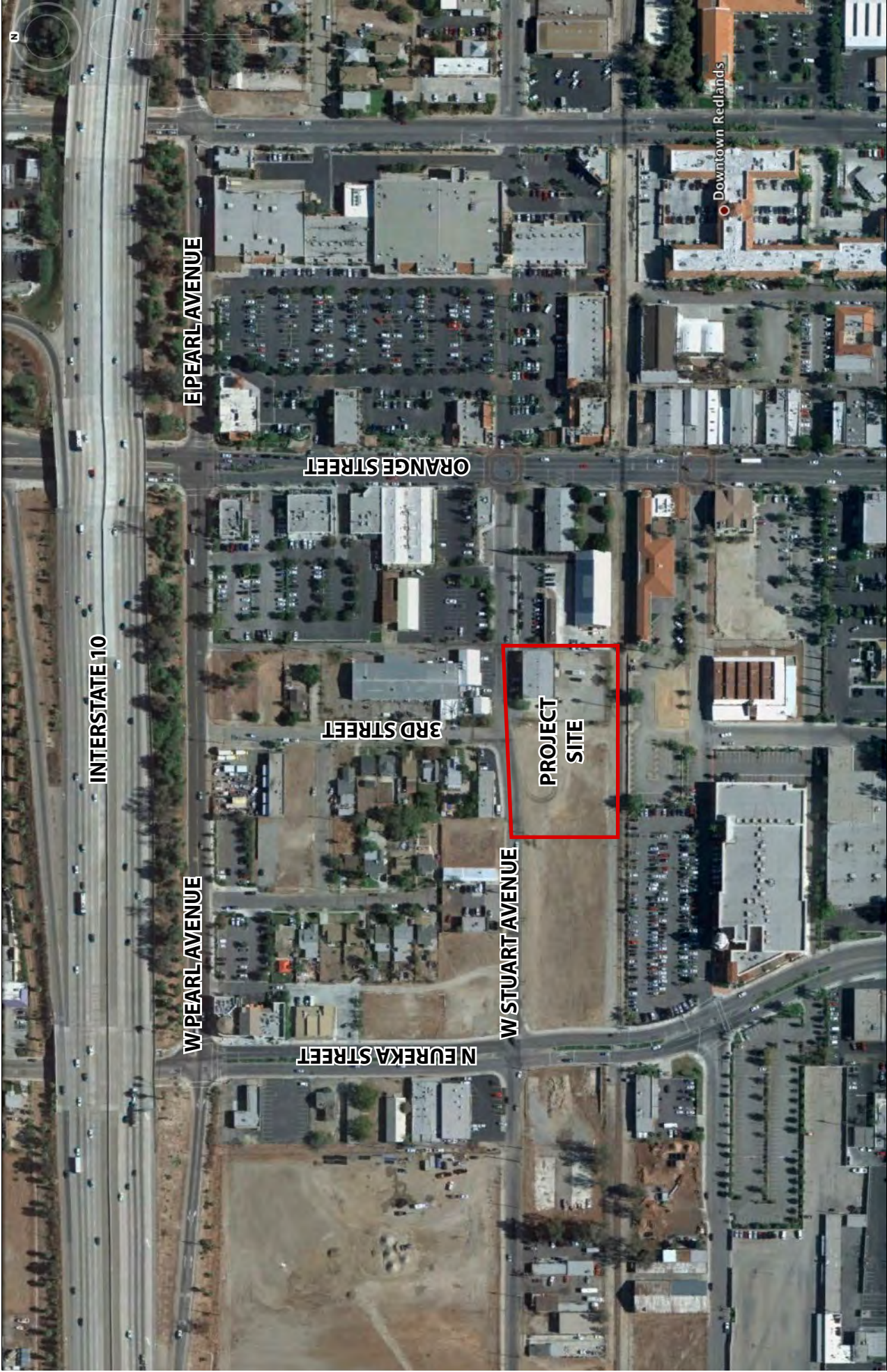
The Project site lies within Downtown Redlands and is bounded by West Stuart Avenue to the north; Burlington Northern Santa Fe (BNSF) railroad tracks to the south; vacant land to the west; and, commercial uses to the east. The Project site is located in a built commercial, urban environment along the southern side of the intersection of Stuart Avenue/Third Street. Commercial uses, zoned TC and TC-H with a General Plan designation of Commercial, surround the property to the north, east, south, and west. Little natural vegetation occurs on surrounding properties, as the majority support manicured landscaping.

**10. OTHER PUBLIC AGENCIES WHOSE APPROVAL IS REQUIRED (E.G., PERMITS, FINANCING APPROVAL, OR PARTICIPATION AGREEMENT.):**

Caltrans; Federal Highway Administration (FHWA) Air Quality Conformity







Redlands Park Once Transit Center  
Initial Study

# LOCATION MAP

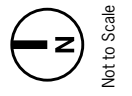
Exhibit 2



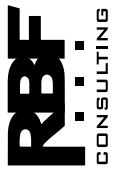
Source: Google Earth, 2011.

SDMac: 4730lett\_port.incd

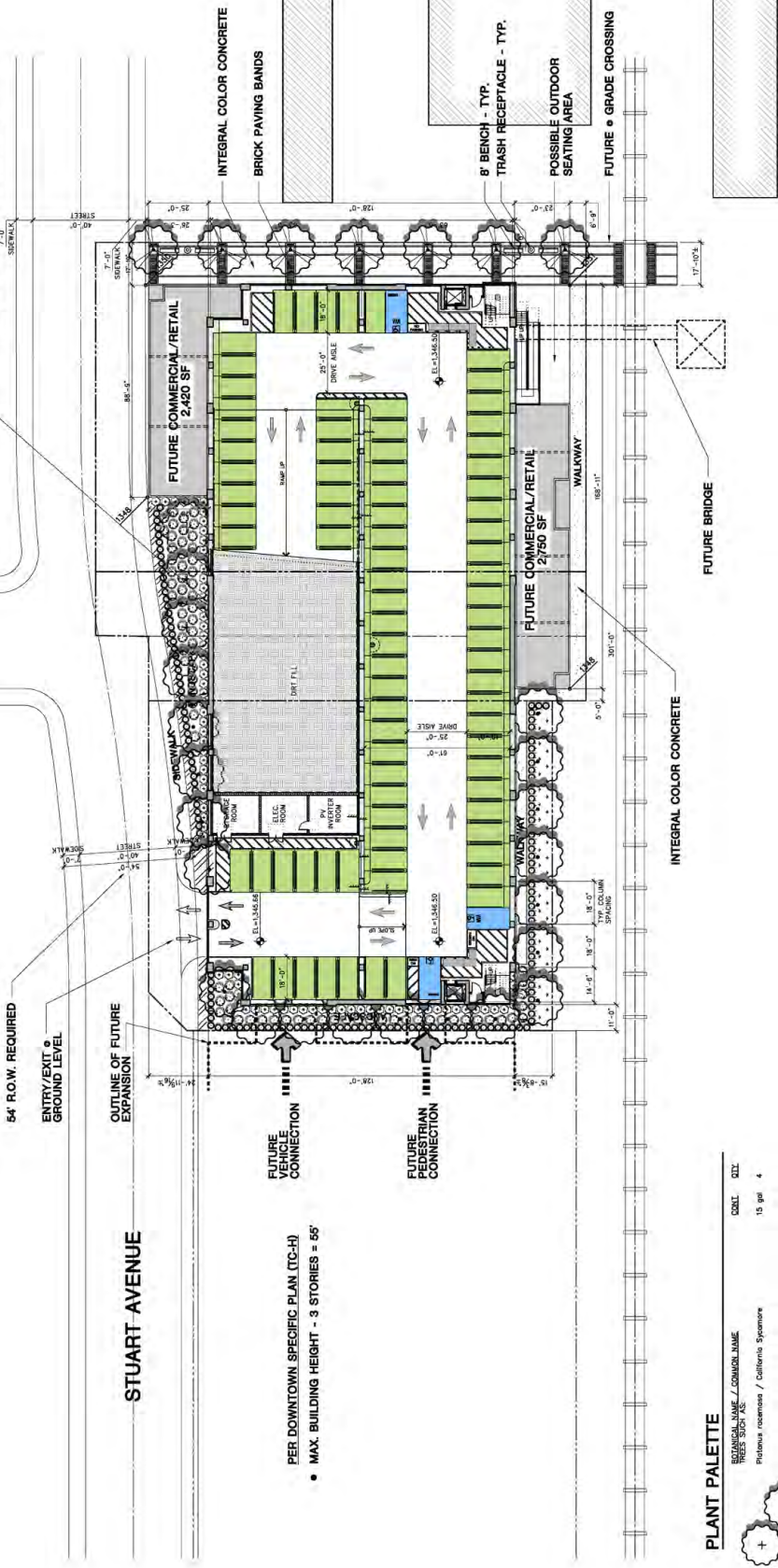
**SITE PLAN**



Not to Scale



PER DOWNTOWN SPECIFIC PLAN (TC-H)  
FRONT AND SIDE STREET SET BACK NOT  
REQUIRED. SIDEWALKS MIN. 60" FRONT GROUND LEVEL.  
BUILDING FACADE WITHIN 40' OF PROPERTY LINE



54' R.O.W. REQUIRED  
ENTRY/EXIT  
GROUND LEVEL

OUTLINE OF FUTURE  
EXPANSION

STUART AVENUE

PER DOWNTOWN SPECIFIC PLAN (TC-H)  
• MAX. BUILDING HEIGHT - 3 STORIES = 55'

FUTURE  
VEHICLE  
CONNECTION

FUTURE  
TRANSIT  
CONNECTION

RECOMMENDED: 9'-0" x 18'-0" UNINSTALL WITH  
25'-0" DRIVE AISLE

**PLANT PALETTE**

Botanical Name / Common Name	Code	Qty
Platanus racemosa / California Sycamore	15 gal	4
Quercus laevis / Cork Oak	15 gal	18
Ulmus parvifolius / Chinese Elm	24" pot	7
Myrica communis / Compact / Dwarf Myrtle	5 gal	149
Rosa floribunda 'loebingii' / loebing Rose	5 gal	79
Yucca filifera 'Spring Blazer' / Spring Bouquet Yucca	5 gal	79
Ground Cover: Pink Queen	Flats	550 sf
Hydrangea 'Mist' / Big Flowers	-	150 sf

**LANDSCAPE NOTES:**

- COLORFUL AND INTERESTING LANDSCAPE WILL BE INCORPORATED ADJACENT TO PARKING GARAGE. COLORFUL PLANTS AND TREES THAT ARE SUITABLE FOR WINTER AND WINTER WIND WILL BE UTILIZED AS WELL AS FOUNDATION PLANTING OF TALL EVERGREEN TREES WILL BE UTILIZED TO PROVIDE VISUAL SCREENING AND WIND PROTECTION TO THE BUILDING. PLANT PALETTE SHALL BE USED TO CONTROL DESIGN AND COST OF THE GARAGE ARCHITECTURE.
- PLANT AND BIRDSHALL TOLERANT PLANTS THAT ADVANCE WATER USE AND MAINTENANCE REQUIREMENTS SHALL BE UTILIZED. PLANTING AND BIRDSHALLS WILL BE DESIGNED IN ACCORDANCE WITH CITY LANDSCAPE IMPROVEMENTS. ALL LANDSCAPE IMPROVEMENTS WILL BE DESIGNED IN ACCORDANCE WITH CITY LANDSCAPE IMPROVEMENTS.

**SUMMATION CHART**

LEVEL	UNINSTALL (9'-0" x 18'-0")	ACCESSIBLE (9'-0" x 18'-0")	TOTAL
Level 4	100	2	102
Level 3	116	2	118
Level 2	116	2	118
Level G	84	3	87

**LOT COVERAGE**

- SITE AREA
- BUILDING FOOT PRINT LOT COVERAGE
- BUILDING FOOT PRINT GARAGE + COMMERCIAL LOT COVERAGE

**SITE PLAN**

SCALE: 1" = 20'-0"



**PHOTO 1.**

View onsite of existing warehouse.



**PHOTO 2.**

View from site of Redlands Santa Fe Depot.



**PHOTO 3.**

View onsite of existing vacant lot.

## 1.0 ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Aesthetics                         | <input type="checkbox"/> Greenhouse Gas Emissions      | <input type="checkbox"/> Population/Housing                            |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Public Services                               |
| <input checked="" type="checkbox"/> Air Quality             | <input type="checkbox"/> Hydrology/Water Quality       | <input type="checkbox"/> Recreation                                    |
| <input type="checkbox"/> Biological Resources               | <input type="checkbox"/> Land Use/Planning             | <input type="checkbox"/> Transportation/Traffic                        |
| <input checked="" type="checkbox"/> Cultural Resources      | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Utilities/Service System                      |
| <input type="checkbox"/> Geology/Soils                      | <input checked="" type="checkbox"/> Noise              | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

## 2.0 DETERMINATION: (TO BE COMPLETED BY LEAD AGENCY)

On the basis of this initial evaluation:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (a) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (b) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT (EIR) is required.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

### 3.0 EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
4. “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses”, as described in (5) below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other California Environmental Quality Act (CEQA) process, an effect has been adequately analyzed in an earlier EIR or (mitigated) negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are “Less Than Significant With Mitigation Measures Incorporated”, describe the mitigation measures that were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a

previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
9. The explanation of each issue should identify:
  - a. The significance criteria or threshold, if any, used to evaluate each question; and
  - b. The mitigation measure identified, if any, to reduce the impact to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

I. AESTHETICS – Would the project:

- a. Have a substantial adverse effect on a scenic vista?

**Less than Significant Impact.** The proposed Project is not located directly along or within proximity to an officially designated scenic highway. However, the proposed Project site is located within the Redlands Santa Fe Depot District, listed under the National Register of Historic Places as a Historic District. It was added to the register in 1991, and listed under San Bernardino County #91001535. The Santa Fe Depot Historic District, primarily commercial in nature, includes industrial packing houses, other citrus industry related structures, retail storefronts, and the Atchison Topeka Santa Fe Railroad Station constructed in 1909. The railroad depot area evolved from the original city center that extended from the intersection of Orange Street and Redlands Boulevard. Many of the buildings from the early settlement in 1886 have been removed, but the buildings on Orange Street and West Stuart Avenue have remained relatively intact.

As the proposed Project is located within a designated historical district, any new construction in the district must be consistent with CEQA Guidelines in determining whether the construction would result in a “substantial adverse change”, the Secretary of the Interior’s Standards for Rehabilitation (Standards), and applicable design regulations for the Town Center – Historical (TC-H) and the Town Center (TC) Zoning designation, the City of Downtown Redlands Specific Plan, as well as the policies of the General Plan. Additionally, the Redlands Park Once Transit Center will be subject to review and approval by the City for consistency.

As the proposed Project site is partially vacant, any construction on the site would result in views of the proposed Project site from the Redlands Santa Fe Depot and other areas within the historical district to be altered. According to the Standards, the design of new construction in or adjacent to a historic district should consider the districts overall building height, scale, orientation, massing, and proportions. As illustrated in Exhibit 5, *Surrounding Properties Building Height Comparison Analysis* and Exhibit 6 *Surrounding Properties Footprint Comparison Analysis*, the height, scale, massing and proportions of the proposed Project will be consistent the surrounding buildings in and adjacent to the Historical District. As such, construction of the new multi-level Redlands Park Once Transit Center building would not result in a direct or indirect impact to the visual character of the Redlands Santa Fe Depot Historic District and no mitigation is required.

As described above, the construction of the Redlands Park Once Transit Center will be a compatible use within the area and will not substantially damage the existing views from the Redlands Santa Fe Depot. Additionally, the Redlands Park Once Transit Center will be consistent with the applicable design regulations of the City of Downtown Redlands Specific Plan, as well as



the policies of the General Plan, and will be subject to review and approval by the City for consistency. As such, impacts will be less than significant, and no mitigation is required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Less than Significant Impact.** Refer to Response I(a) above. As such, impacts will be less than significant, and no mitigation is required.

In addition, no rock outcroppings or trees are located onsite. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c. Substantially degrade the existing visual character or quality of the site and its surroundings? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Less than Significant Impact.** Refer to Responses I(a) and I(b), above. Impacts are considered less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d. Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Less than Significant Impact.** No substantial sources of light will be generated during Project construction, as construction activities will occur during daylight hours. All permanent exterior lighting associated with the Redlands Park Once Transit Center will be required to comply with City lighting regulations to reduce potential adverse effects on neighboring properties. Impacts are considered less than significant, and no mitigation measures are required.



INTERSTATE 10

W PEARL AVENUE

E PEARL AVENUE

NEUREKA STREET

3RD STREET

ORANGE STREET

W STUART AVENUE

**COPE COMMERCIAL COMPANY WAREHOUSE (GRIGSBY BROTHERS)**  
35' top of roof with 10' sign total of 45'

**PROJECT SITE**

**PROPOSED PROJECT**  
32' top of rail with 48' elevator

**CENTENNIAL PLAZA**  
40' top of roof with 60' tower

**KRIKORIAN THEATER**  
43' top of parapet with 80' tall tower

**HAMILTON BLOCK**  
(two story building along Orange St)  
30' top of parapet

Downtown Redlands

©2010 Google





Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**II. AGRICULTURAL AND FOREST RESOURCES**

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. – Would the project:

- a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

**No Impact.** The Project site is located within an urban area in the City of Redlands and is surrounded by commercial uses. As such, the site does not contain, and is not adjacent to, any lands identified as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. Therefore, the proposed Project will not result in the conversion of such lands to non-agricultural use. No significant impacts would occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

- b. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

**No Impact.** Refer to Response to II(a), above. There are no Williamson Act Contract lands on or within the vicinity of the site. The proposed Redlands Park Once Transit Center will be consistent with the proposed existing zoning designation and will not conflict with any agricultural use. The proposed Project will not affect any properties zoned for agricultural use, nor affected by a Williamson Act Contract. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 1220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

**No Impact.** Refer to II(a) and (b), above. No designated forest land or timberland occur onsite; therefore, no significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**No Impact.** There is no forest land onsite, and the proposed Project will not contribute to the conversion of any forested land to non-forest use, as surrounding lands are built-out with commercial uses or are vacant. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

e. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**No Impact.** Refer to Response to II(a) and II(d), above. The Project site does not contain any farmland or forest land. No changes to any such lands will result from Project implementation. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

### III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied on to make the following determinations - Would the project:

- a. Conflict with or obstruct implementation of the applicable air quality plan?

**Less than Significant Impact with Mitigation.** The Project site is located in the South Coast Air Basin (SCAB) and is under the jurisdiction of the South Coast Air Quality Management District (SCAMD) and the California Air Resources Board (CARB). Both the State of California and the Federal government have established health-based Ambient Air Quality Standards (AAQS) for the following six criteria air pollutants: carbon monoxide (CO); ozone (O<sub>3</sub>); nitrogen oxides (NO<sub>x</sub>); sulfur oxides (SO<sub>x</sub>); particulate matter up to 10 microns in diameter (PM<sub>10</sub>); and lead (Pb). O<sub>3</sub> (smog) is formed by a photochemical reaction between NO<sub>x</sub> and reactive organic compounds (ROCs). Thus, impacts from O<sub>3</sub> are assessed by evaluating impacts from NO<sub>x</sub> and ROCs.

The net increase in pollutant emissions determines the impact on regional air quality as a result of a proposed project. The results also allow the local government to determine whether a proposed project would deter the region from achieving the goal of reducing pollutants in accordance with the air quality management plan (AQMP) in order to comply with Federal and State AAQS.

#### Construction Emissions

To determine whether a significant impact would occur during construction, the SCAQMD informally recommends quantifying construction emissions and comparing them to significance thresholds (pounds/day) found in the SCAQMD, CEQA Air Quality Handbook and shown in Table III-1, Air Quality Significance Thresholds – Per SCAQMD. If emissions during construction will exceed the thresholds that apply to stationary sources, then construction activities will have the potential to violate air quality standards or contribute substantially to existing violations.

**Table III-1  
Air Quality Significance Thresholds – Per SCAQMD**

Pollutant	Construction SCAQMD Thresholds (lbs/day)	Operational SCAQMD Thresholds (lbs/day)
Carbon Monoxide (CO)	550	550
Oxides of Sulfur (SOx)	150	150
Volatile Organic Compounds (VOCs) <sup>2</sup>	75	55
Oxides of Nitrogen (NOx)	100	55
Particulate Matter (PM <sub>10</sub> )	150	150
Particulate Matter (PM <sub>2.5</sub> )	55	55

## Notes:

Source: SCAQMD, CEQA Air Quality Handbook, page 6-1, April 1993.

ROG = reactive organic gases    NOx = nitrogen oxides    PM2.5 = particulate matter less than 2.5 microns

CO = carbon monoxide    SOx = sulfur oxides    PM10 = particulate matter less than 10 microns

The Project will result in demolition of the existing warehouse building and future construction of Redlands Park Once Transit Center; consistent with that allowed by the underlying zoning and land use designations.

Construction activities required for the proposed Project will generate minor pollutant emissions. Sources of construction-related air emissions include fugitive dust from grading activities; construction equipment exhaust; construction-related trips by workers, delivery trucks, and material-hauling trucks; and, construction-related power consumption. It is assumed that the Project will require demolition; site preparation (including utility installation); paving and slab laying; and, construction of the Redlands Park Once Transit Center (including architectural coatings). Although, construction activities will be temporary and will cease upon completion, to ensure that the Project's dust impacts are controlled and that all permits and regulations of the AQMD are met and that there are no nuisance impacts off-site, the applicant must implement the following measure:

The following mitigation measures would reduce impacts associated with air quality:

**AIR-1**      In order to mitigate potential impacts as identified, the Project shall be required to comply with all regulations of the AQMD. In addition, on-site daily watering shall be conducted to control fugitive dust emissions.

**AIR-2**      Total projected construction maximum daily emission levels for each criteria pollutant are anticipated to be below the established significance thresholds for all construction stages of the proposed development for the associated pollutants. In addition, all architectural coatings used for construction of the Redlands Park Once Transit Center will be compliant with the SCAQMD Rule 1113 Architectural Coatings, which limits volatile organic compound (VOC) content. Thus, emissions associated with Project construction will not result in a significant impact on ambient air quality. Additionally,

because emissions are anticipated to be less than the significance levels, the Project will not conflict with or obstruct the implementation of the SCAQMD or applicable portions of the State Implementation Plan (SIP).

- AIR-3** As applicable, standard design and operational measures (such as minimize the idling of construction vehicles onsite; properly maintain of mobile and other construction equipment; replace ground cover in disturbed areas quickly; water exposed surfaces twice daily; cover stock piles with tarps, etc.) will be implemented, as appropriate, during the construction phase to reduce potential emissions (e.g. fugitive dust). Additionally, the Project will be consistent with applicable City requirements aimed at protecting air quality and reducing green house gas emissions.

### Operational Emissions

Operational activities associated with the proposed Project will be typical of a transit center with parking and commercial uses and will not produce substantial quantities of emissions, due to the nature of such uses. In addition, the Project itself will not itself generate vehicle trips, and emissions related to operations are negligible. It should be noted that since the parking garage itself does not generate trips independently, it was assumed that traffic generated by future commercial uses will already be on downtown roadways and redistributed to the parking garage destination, be related to the Redlands Passenger Rail Line (which will be analyzed separately in other environmental documents), and any additional traffic from the Downtown Specific Plan which will also be analyzed in a separate environmental document. For the above reasons, Project impacts related to operational emissions are considered less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### Less than Significant Impact.

**Short-Term (Construction) Emissions.** Project construction activities will potentially generate combustion emissions from onsite heavy-duty construction vehicles and motor vehicles transporting the construction crew and necessary construction materials. Exhaust emissions generated by construction activities will generally result from the use of typical construction equipment that may include excavation equipment, fork lift, skip loader, and/or dump truck. Variables that factor into the total construction emissions potentially generated include the level of activity, length of construction period, number of pieces and types of equipment in use, site characteristics, weather conditions, number of construction personnel, and the amount of materials to be transported on- or offsite. It is anticipated that construction equipment will be used onsite for



four to eight hours a day; however, construction will be short-term and impacts to neighboring uses will be minimal and temporary.

Fugitive dust emissions are generally associated with land clearing and grading operations. Due to the nature and location of the proposed Project, construction activities are expected to create minimal fugitive dust, as a result of the disturbance associated with grading and demolition. Construction operations will include standard measures as required by SCAQMD to reduce potential air quality impacts to less than significant. Therefore, impacts associated with fugitive dust are considered less than significant, and would not violate an air quality standard or contribute substantially to an existing or projected air quality violation. No mitigation measures are required.

**Long-Term (Operational) Emissions.** Long-term air emission impacts are those associated with stationary sources and mobile sources related to any change caused by a project. The proposed Project will produce minimal stationary source emissions. Once construction of the Redlands Park once Transit Center is complete, long-term air emissions will potentially result from such sources as heating, ventilation, and cooling (HVAC) systems, and other motorized equipment typically associated with commercial retail and parking structure uses. Based on the proposed land use, emissions over the long-term are not anticipated to violate any air quality standard or contribute substantially to an existing or projected air quality violation. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less Than Significant Impact.** Refer to Responses III(a) and III(b) above.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** Refer to Responses III(a) and III(b) above. The proposed Project site is located in an established commercial area with the closest sensitive receptors located approximately 100 feet north of the site on Third Street; however, due to the nature of the proposed Project (transit center providing approximately 435 parking spaces and itself not being a generator of air

pollution emissions), the Project is not anticipated to result in the exposure of sensitive receptors to substantial pollutant concentrations either during construction or over the long-term. Therefore, impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less Than Significant Impact.** Some objectionable odors may emanate from the operation of diesel-powered construction equipment during site grading activities, removal of the existing onsite structure, and construction of the Redlands Park Once Transit Center. These odors, however, will be limited to the short-term construction period and generally confined to the Project area. Due to the limited scope of the Project and type of activity expected during construction, a minimal amount of diesel emissions will be generated that are not expected to have the potential to create objectionable odors affecting a substantial number of people. Typical long-term operational characteristics of the proposed transit center are not anticipated to generate odors affecting a substantial number of people since vehicles will be parked and off while in the structure. Therefore, impacts are considered to be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*IV. BIOLOGICAL RESOURCES*

Would the project:

a. Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**No Impact.** The majority of the Project site is vacant consisting of dirt and some shrubbery, with a portion of the site containing an existing warehouse. No sensitive natural habitat is located on or adjacent to the site. No sensitive species are expected to occur onsite. Therefore, no impacts will occur and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b. Have a substantial adverse effect on any riparian habitat or other community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

**No Impact.** Refer also to Response to IV(a), above. The Project site does not contain any riparian habitat or other identified community, as the site currently supports vacant land and a warehouse. Therefore, no impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

**No Impact.** No biological resources, including wetlands, are present onsite as the site currently supports vacant land and a warehouse associated with commercial uses. Therefore, no impacts will occur, and no mitigation measures are required. Refer also to Response to IV(a), above.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

**No Impact.** No wildlife corridors are on or near the Project site, as the site is located within an established commercial area within the City of Redlands. Therefore, no impacts will occur, and no mitigation measures are required. Refer also to Response to IV(a), above.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The Project site is designated for commercial use, and there is no sensitive habitat or biological designated lands within the vicinity of the site. The City’s Tree Protection Ordinance applies to public lands such as the proposed Project site. Development of the Redlands Park Once Transit Center will require preparation of Landscape Plans to ensure that any landscaping installed is consistent with City landscape design requirements. The Project will not conflict with any local policies and/or ordinances protecting biological resources, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** Refer also to Response to IV(a), above. The Project site is not within the City’s mapped Biotic Resources map, and no other adopted conservation plans affect the subject site. Therefore, no impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*V. CULTURAL RESOURCES*

Would the project:

a. Cause a substantial adverse change in the significance of an historical resource as defined in §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** The proposed Project site is located within the Redlands Santa Fe Depot District, listed under the National Register of Historic Places as a Historic District. It was added to the register in 1991, and listed under San Bernardino County #91001535. The Santa Fe Depot Historic District, primarily commercial in nature, includes industrial packing houses, other

citrus industry related structures, retail storefronts, and the Atchison Topeka Santa Fe Railroad Station constructed in 1909. The railroad depot area evolved from the original city center that extended from the intersection of Orange Street and Redlands Boulevard. Many of the buildings from the early settlement in 1886 have been removed, but the buildings on Orange Street and West Stuart Avenue have remained relatively intact.

### **Historic Structures**

Constructed after the Historic District's period of significance (1880 to 1941) the existing commercial building located on the proposed Project site, at 45 West Stuart Avenue, constructed in 1958, was considered not eligible as a contributing resource when the District was created in 1991. In addition, it does not appear to be a contributing historic resource to the Santa Fe Depot Historic District, as it does not "convey a sense of time and place as the commercial heart of the City of Redlands." (Santa Fe Depot Historic District National Register of Historic Places Registration Form, July 1991.) As such the proposed Project is consistent with CEQA Guidelines as it would not result in a substantial adverse change in the significance of a historical resource through the physical demolition, destruction, relocation, or alteration of this historical resource. Therefore, less than significant impacts to the existing commercial building located on the proposed Project site were identified and no mitigation is required.

### **Historical District**

As the proposed Project is located within a designated historical district, any new construction in the district must be consistent with CEQA Guidelines in determining whether the construction would result in a "substantial adverse change", the Secretary of the Interior's Standards for Rehabilitation (Standards), and applicable design regulations for the Town Center – Historical (TC-H) and the Town Center (TC) Zoning designation, the City of Downtown Redlands Specific Plan, as well as the policies of the General Plan. Additionally, the Redlands Park Once Transit Center will be subject to review and approval by the City for consistency.

According to the Standards, the design of new construction in or adjacent to a historic district should consider the districts overall building height, scale, orientation, massing, and proportions. As illustrated in Exhibit 5, *Surrounding Properties Building Height Comparison Analysis* and Exhibit 6 *Surrounding Properties Footprint Comparison Analysis*, the height, scale, massing and proportions of the proposed Project will be consistent the surrounding buildings in and adjacent to the Historical District. As such, as presently proposed, construction of the new multi-level Redlands Park Once Transit Center building does not appear to result in a direct or indirect impact to the Santa Fe Depot Historic District and no mitigation is required.

In addition, the construction of the Redlands Park Once Transit Center will a compatible commercial use within the commercial area and to the Redlands Santa Fe Depot. It should also be noted that no construction or operational activities associated with the proposed Project would encroach onto the Redlands Santa Fe Depot site. Overall, implementation of the proposed Project would not substantially change the existing historical or town center setting. As such, impacts will be less than significant, and no mitigation is required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Less than Significant with Mitigation Incorporated.** The area now occupied by Redlands was originally part of the territory of the Morongo and Aguas Calientes tribes of Cahuilla people. In addition The Redlands Santa Fe Depot District is an architecturally and historically significant part of the Specific Plan area which has been listed as Historic District on the National Register of Historic Places. The district is located between Eureka, Fifth, Stuart and Redlands Boulevard . The Project site is shown on the Archaeological Sensitivity Map Figure 10.1 of the Master Environmental Assessment/Environmental Impact Report (MEA/EIR) for the General Plan as being within an Industrial/Commercial Historic Archaeological District. The site is also adjacent to China Town which is documented as in the area between Orange Street and Texas Street and within the Redlands Santa Fe Depot District which is on the National Register of Historic Places. As the proposed project is in located within a highly documented archaeological and historically sensitive area, it is likely that the proposed project is located on a site that could contain archeological resources. The Project proposes limited grading that could potentially result in the exposure of previously undiscovered archaeological resources. To avoid potential impacts to unknown (i.e., buried) cultural resources, the following mitigation measures are proposed:

- CULT-1** Prior to the issuance of a grading and/or building permit, the City of Redlands, or applicant if the project is developed by another entity, shall retain the services of a qualified archaeologist (as determined by the City) to conduct a Phase 2 subsurface testing plan for subsurface artifacts. Any resources uncovered during the course of the subsurface testing shall be recorded and/or removed by a qualified archaeologist pursuant to applicable State regulations.
- CULT-2** Construction Monitoring shall be performed by a qualified archaeologist and/or Native American monitor. In the event that previously unidentified potentially significant cultural resources are discovered, the archaeological monitor(s) shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow evaluation of potentially significant resources. As such, it is anticipated that, with implementation of the proposed mitigation, Project impacts on cultural resources would be reduced to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact with Mitigation Incorporated.** Potentially significant impacts to unknown paleontological resources could occur during Project grading; thus, construction-monitoring for paleontological resources will be implemented in order to minimize potential impacts:

**CULT-3** Mitigation will detail the process that shall be undertaken prior to and during grading and construction and will prescribe a step-by-step process that will be followed, should onsite resources be discovered. Implementation of the proposed mitigation will ensure that if buried paleontological resources are unearthed, the Project Paleontologist will have the authority to redirect the earthwork in the vicinity of the find(s) if necessary and be able to examine the find(s) to determine their significance. With implementation of the paleontological monitoring program, potential impacts on paleontological resources impacts will be reduced to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Disturb human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact with Mitigation Incorporated.** No cemeteries, formal or informal, have been identified onsite or within the Project vicinity. The disturbance of human remains during land development and/or construction activities is not anticipated; however, to ensure that undiscovered human remains, if encountered, are properly handled, mitigation is proposed as follows:

**CULT-4** A qualified monitor shall be present onsite during all ground-disturbing activities. Monitoring shall be performed by a qualified archaeologist and/or Native American monitor. If human remains are discovered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition, pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified immediately if any human remains are found. If such remains are determined to be prehistoric, the Coroner would be required to notify the Native American Heritage Commission (NAHC), which would then determine significance and notify a Most Likely Descendant (MLD). With permission of the landowner or his/her authorized representative, the MLD may inspect the site of

the discovery, and shall complete the inspection within 24 hours of notification by the NAHC. The MLD will have the opportunity to make recommendations to the NAHC on the disposition of the remains. With implementation of the proposed mitigation, potential impacts on human remains would be reduced to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*VI. GEOLOGY AND SOILS*

Would the project:

a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

- i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.
 

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** Although the Project site is not located in within an Alquist-Priolo Earthquake Fault Zone, similar to the majority of southern California, the Project site is located within a seismically active area. The active San Jacinto fault is located approximately 4 miles southwest of the site. The San Andres fault is located approximately 5 miles northeast of the Project site.

Activities associated with the proposed construction will be required to comply with seismic requirements of the California Building Code (CBC), City recommended engineering design measures, and utilization of standard construction practices, to be verified at the building permit stage, as applicable. Compliance with these standards is anticipated to limit hazards from seismic ground shaking to less than significant levels. Therefore, impacts resulting from implementation of the proposed Project related to rupture of an Alquist-Priolo Earthquake Fault Zone are considered to be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- ii) Strong seismic ground shaking?
 

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** As described in VI(a)(i) above, the San Jacinto fault is located approximately 4 miles southwest of the Project site. Thus, the site will be affected by seismic



activity as a result of earthquakes on other major active faults located throughout the southern California area. Proper engineering design, in accordance with the CBC, City recommended engineering design measures, and utilization of standard construction practices, to be verified at the building permit stage, will ensure that potential for impacts from regional geologic hazards would be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** Liquefaction occurs when loose, unconsolidated, water-laden soils are subject to shaking, causing the soils to lose cohesion. Liquefaction occurs primarily in areas of recently deposited sands and silts and in areas of high groundwater levels. Implementation of the proposed Project will not result in an increase in the potential for seismic-related ground failure, including liquefaction, to occur. The Project site is not located in an area mapped as potentially susceptible to liquefaction. In addition, based on the geotechnical evaluation of the Project site, the site was determined to contain relatively dense sand with gravels and cobbles with the groundwater depth more than 100 feet below ground. As such, liquefaction and liquefaction-related seismic hazards will not affect the Project.

In addition, the proposed Project will be required to comply with applicable seismic requirements of the CBC and City recommended engineering design measures. Compliance with these standards is anticipated to limit hazards from seismic ground failure, including liquefaction, to less than significant levels. No mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The Project site is relatively flat, with a gradual slope to the west-northwest. The site is not located near a mountain or landslide area. In addition, the proposed Project will be required to comply with applicable design requirements of the CBC and City recommended engineering design measures. As such, no impacts were identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** Construction of the proposed Project will temporarily disturb onsite soils during grading activities, thereby increasing the potential for soil erosion to occur; however, onsite grading requirements are not significant, and land disturbed during construction will be saturated with water, as needed, and will not pose significant erosion concerns. The use of standard erosion control measures during construction will reduce potential impacts to a less than significant level. In addition, once construction is complete, landscaping on the site will be planted in accordance with City landscaping requirements to reduce the potential for erosion to occur. Therefore, impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** Refer to Response VI(a), above. The proposed Project will be constructed consistent with applicable engineering design recommendations and requirements of the CBC. Therefore, impacts related to unstable soils are considered less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** Refer to Response VI(a), above. The proposed Project will be constructed consistent with applicable engineering design recommendations and requirements of the CBC. Therefore, impacts related to unstable soils are considered less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The Project site is located within an area that is already developed with existing infrastructure (i.e., water and sewer lines) and does not propose any septic system. In addition, the Project as proposed does not require the construction of any new facilities as it relates to wastewater. No impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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#### VII. GREENHOUSE GAS EMISSIONS

Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Less than Significant Impact.** The natural process through which heat is retained in the troposphere is called the “greenhouse effect.”<sup>1</sup> The greenhouse effect traps heat in the troposphere through a three-fold process, summarized as follows: short wave radiation emitted by the Sun is absorbed by the Earth; the Earth emits a portion of this energy in the form of long wave radiation; and, greenhouse gases in the upper atmosphere absorb this long wave radiation and emit this long wave radiation into space and toward the Earth. This “trapping” of the long wave (thermal) radiation emitted back toward the Earth is the underlying process of the greenhouse effect.

The most abundant greenhouse gases are water vapor and carbon dioxide. Many other trace gases have greater ability to absorb and re-radiate long wave radiation; however, these gases are not as plentiful. For this reason, and to gauge the potency of greenhouse gases (GHGs), scientists have established a Global Warming Potential for each greenhouse gas based on its ability to absorb and re-radiate long wave radiation and uses carbon dioxide as the reference gas with a Global Warming Potential of one (1).

<sup>1</sup> The troposphere is the bottom layer of the atmosphere, which extends 10 to 12 miles above the Earth’s surface.

Greenhouse gases include:<sup>2</sup>

- Water Vapor. Although water vapor has not received the scrutiny of other greenhouse gases, it is the primary contributor to the greenhouse effect. Natural processes, such as evaporation from oceans and rivers and transpiration from plants, contribute approximately 90 percent and 10 percent of the water vapor in our atmosphere, respectively. The primary human-related source of water vapor comes from fuel combustion in motor vehicles; however, this is not believed to contribute a significant amount (less than one percent) to atmospheric concentrations of water vapor.
- Carbon Dioxide. Carbon dioxide is the most widely emitted greenhouse gas; fossil fuel combustion in stationary and mobile sources is the primary source of emissions. Due to the emergence of industrial facilities and mobile sources in the past 250 years, the concentration of carbon dioxide in the atmosphere has increased 35 percent.<sup>3</sup>
- Methane. Methane emissions come from biogenic sources, incomplete combustion in forest fires, landfills, manure management, and leaks in natural gas pipelines. In the United States, the top three sources of methane are landfills, natural gas systems, and enteric fermentation. Methane is the primary component of natural gas, which is used for space and water heating, steam production, and power generation. The Global Warming Potential of methane is 21.
- Nitrous Oxide. Nitrous oxide production sources include natural and human-related sources. Primary human-related sources include agricultural soil management, animal manure management, sewage treatment, mobile and stationary combustion of fossil fuel, adipic acid production, and nitric acid production. The Global Warming Potential of nitrous oxide is 310.
- Hydrofluorocarbons. Hydrofluorocarbons are typically used as refrigerants for both stationary refrigeration and mobile air conditioning. The use of hydrofluorocarbons for cooling and foam blowing is growing, as the continued phase out of chlorofluorocarbons (CFCs) and hydrochlorofluorocarbons (HCFCs) gains momentum. The Global Warming Potential of hydrofluorocarbons range from 140 for Hydrofluorocarbon-152a to 6,300 for Hydrofluorocarbon-236fa.
- Perfluorocarbons. Perfluorocarbons are compounds consisting of carbon and fluorine. They are primarily created as a by-product of aluminum production and semi-conductor manufacturing. Perfluorocarbons are potent greenhouse gases with a Global Warming Potential several thousand times that of carbon dioxide, depending on the specific perfluorocarbon. Another area of concern regarding perfluorocarbons is their long

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<sup>2</sup> All Global Warming Potentials are given as 100-year Global Warming Potential. Unless noted otherwise, all Global Warming Potentials were obtained from the Intergovernmental Panel on Climate Change. (Intergovernmental Panel on Climate Change, *Climate Change, The Science of Climate Change – Contribution of Working Group I to the Second Assessment Report of the IPCC*, 1996).

<sup>3</sup> United States Environmental Protection Agency, *Inventory of U.S. Greenhouse Gas Emissions and Sinks 1990 to 2004*, April 2006, <http://www.epa.gov/climatechange/emissions/usinventoryreport.html>.

atmospheric lifetime (up to 50,000 years).<sup>4</sup> The Global Warming Potential of perfluorocarbons range from 5,700 to 11,900.

- *Sulfur hexafluoride*. Sulfur hexafluoride is a colorless, odorless, nontoxic, nonflammable gas. It is most commonly used as an electrical insulator in high voltage equipment that transmits and distributes electricity. Sulfur hexafluoride is the most potent greenhouse gas that has been evaluated by the Intergovernmental Panel on Climate Change with a Global Warming Potential of 23,900; however, its global warming contribution is not as high as the Global Warming Potential indicates due to its low mixing ratio compared to carbon dioxide (4 parts per trillion in 1990 versus 365 parts per million).<sup>5</sup>

### Electricity Consumption

The process of generating electricity is the single largest source of emissions in the United States, representing 34 percent of emissions from all sources across the country in 2007. Electricity generation also accounted for the largest share of carbon dioxide emissions from fossil fuel combustion, approximately 42 percent in 2007. Electricity was consumed primarily by users in the residential, commercial, and industrial sectors for lighting, heating, electric motors, appliances, electronics, and air conditioning.<sup>6</sup>

### Effects of Climate Change on the Project

Changes to the global climate system and ecosystems and to California might include:

- The loss of sea ice and mountain snowpack resulting in higher sea levels and higher sea surface evaporation rates with a corresponding increase in tropospheric water vapor due to the atmosphere's ability to hold more water vapor at higher temperatures;<sup>7</sup>
- Rise in global average sea level primarily due to thermal expansion and melting of glaciers and ice caps and the Greenland and Antarctic ice sheets;<sup>8</sup>
- Changes in weather that include widespread changes in precipitation, ocean salinity, and wind patterns, and more energetic extreme weather including droughts, heavy precipitation, heat waves, extreme cold, and the intensity of tropical cyclones;<sup>9</sup>
- Decline of the Sierra snowpack (which accounts for approximately half of the surface water storage in California) by 70 percent to as much as 90 percent over the next 100 years;<sup>10</sup>

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<sup>4</sup> Energy Information Administration, *Other Gases: Hydrofluorocarbons, Perfluorocarbons, and Sulfur Hexafluoride*, October 29, 2001, [http://www.eia.doe.gov/oiaf/1605/gg00rpt/other\\_gases.html](http://www.eia.doe.gov/oiaf/1605/gg00rpt/other_gases.html).

<sup>5</sup> United States Environmental Protection Agency, *High GWP Gases and Climate Change*, October 19, 2006, <http://www.epa.gov/highgwp/scientific.html#sf6>.

<sup>6</sup> United States Environmental Protection Agency, *Inventory of U.S. Greenhouse Gas Emissions and Sinks: 1990-2008*, April 15, 2010, <http://www.epa.gov/climatechange/emissions/usinventoryreport.html>

<sup>7</sup> *Ibid.*

<sup>8</sup> *Ibid.*

<sup>9</sup> *Ibid.*

<sup>10</sup> California Environmental Protection Agency, Climate Action Team, *Climate Action Team Report to Governor Schwarzenegger and the Legislature (Executive Summary)*, March, 2006.

- Increase in the number of days conducive to ozone formation by 25 to 85 percent (depending on the future temperature scenario) in high ozone areas of Los Angeles and the San Joaquin Valley by the end of the 21<sup>st</sup> century;<sup>11</sup> and,
- High potential for erosion of California’s coastlines and sea water intrusion into the Delta and levee systems due to the rise in sea level.<sup>12</sup>

The City does not currently have adopted thresholds of significance for GHG emissions. The City is therefore utilizing the California Air Pollution Control Officers Association (CAPCOA) report “CEQA & Climate Change” dated January 2008 as an interim threshold to determine whether a GHG analysis will be required. A 900 metric ton screening threshold for determining when an air quality analysis is required was chosen based on available guidance from the CAPCOA white paper. The CAPCOA report references the 900 metric ton guideline as a conservative threshold for requiring further analysis and mitigation. This emission level is based on the amount of vehicle trips, the typical energy and water use, and other factors associated with projects. CAPCOA identifies project types that are estimated to emit approximately 900 metric tons of GHG’s annually.

The following table identifies project types and project sizes that are estimated to emit approximately 900 metric tons of GHGs. Discretionary projects that are greater than or equal to the project sizes listed in Table VII-1 below must perform a GHG analysis.<sup>13</sup>

**TABLE VII-1**  
**Project Types that Require a GHG Analysis and Mitigation**

Project Type	Project Size that Generates Approximately 900 Metric Tons of GHGs per Year
Single Family Residential	50 units
Apartments/Condominiums	70 units
General Commercial Office Space	35,000 square feet
Retail Space	11,000 square feet
Supermarket/Grocery Space	6,300 square feet

The Redlands Park Once Transit Center will contain approximately 6,170 square feet of retail commercial space, comprising 2,280 gross-square-feet on the north side of the parking garage fronting Stuart Avenue, and 3,890 gross-square-feet of small retail uses on the south side of the garage fronting the railroad tracks. Approximately 2,000 square feet of the space on the south side of the garage will be utilized for transit support uses including transit patron facilities and bicycle storage. The proposed Project is substantially below the 35,000 square feet general commercial office space and the 11,000 square feet of retail space utilized as a screening guideline. Therefore, the proposed Project is below the 900 metric ton screening criteria established by CAPCOA, and

<sup>11</sup> Ibid.

<sup>12</sup> Ibid.

<sup>13</sup> From the City of San Diego Memorandum, dated March 19, 2010, From Cecilia Gallardo, to Environmental Analysis Division regarding, Addressing Greenhouse Gas Emissions from Projects subject to CEQA

potential impacts from greenhouse gas emissions are considered less than significant. No mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The following is a summary of applicable City of Redlands plans, policies, and regulations that pertain to greenhouse gas emissions and efforts to reduce such emissions.

**City of Redlands General Plan – Open Space and Conservation Element**

The General Plan’s Open Space and Conservation Element reflects key goals contained in many other City and regional plans and programs and will help guide their future updates. The Open Space and Conservation Element ties various natural resource-based plans and programs together using a strategy of growth and development. It contains policies for sustainable development, preservation of open space and wildlife, management of resources, and other initiatives to protect the public health, safety, and welfare.

Policies which address local greenhouse gas mitigation strategies in Redlands are integrated within the General Plan. Together, this collection of policies support and promote the recommendations outlined in the City’s Sustainability Action Plan and Community Sustainability Plan (describe in further detail below). The City is continuing to investigate additional steps that can be taken to help reduce greenhouse gas emissions, identify adaptation goals, and curb the impact of climate change at the local level.

**Redlands Community Sustainability Plan (Draft)**

The Redlands Community Sustainability Plan (RCSP) is a policy document intended to guide the City’s efforts to become increasingly sustainable. It will be implemented over the coming decades through such documents as the general plan, zoning and other regulations, and the actions of city government and citizens. The Plan identifies opportunities for achieving economic growth based on energy efficiency, expanded use of renewable energy and other clean technologies, and other sustainable practices. The Plan is organized into ten sustainability themes.

**City of Redlands Sustainability Action Plan (Draft)**

The Redlands Sustainability Action Plan (RSAP) is a policy document setting forth a comprehensive strategy for increasing local responses to the emerging negative effects of climate change. It also identifies opportunities for achieving economic growth based on energy efficiency, expanded use of renewable energy and other clean technologies, and other sustainable practices. The strategy is organized into ten sustainability themes. For each of these themes, several goals, potential actions that will contribute to achieving these goals, and indicators for measuring progress are provided.

The actions are intended to reduce greenhouse gas emissions that originate within the City (e.g., automobile emissions) or outside the city (e.g., out of state power plant emissions) in support of daily life here, and to promote local economic growth based on clean technology, clean technology products and sustainable practices. The document also provides the initial findings regarding the quantity of the City’s greenhouse gas emissions for the year 2008.

Refer to Response VII(a), above, regarding discussion of Project-related greenhouse gas emissions. The Project will not conflict with any applicable plans, policies, or regulations pertaining to the reduction of greenhouse gases. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*VIII. HAZARDS AND HAZARDOUS MATERIALS*

Would the project:

- a. Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials?

**Less Than Significant Impact.** The proposed Project will result in the construction of the Redlands Park Once Transit Center. Due to the nature of the Project, the routine transport, use, or disposal of hazardous materials on or through the subject site is not anticipated. Although minimal amounts of such substances may be present during construction and through operation related to gas and oil leaking from vehicles, they are not anticipated to create a significant public hazard. Therefore, impacts will be less than significant, and no mitigation is required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

**Less than Significant Impact.** Due to the age of the existing structure onsite, there is the potential for asbestos containing materials (ACMs) and/or lead-based paint (LBP) to be present. The handling, treatment, and disposal of ACMs and LBP are regulated by Federal, State, and local agency regulations, and the U.S. Environmental Protection Agency (EPA) requires an inspection for asbestos where facilities are to undergo demolition. Where ACMs are found, regulations require that they be removed prior to the commencement of demolition activities. Additionally,



with regard to LBP, demolition requires engineering controls and air quality monitoring for airborne lead particles when the exposure of construction workers is likely.

The handling of hazardous material during all demolition activities must be conducted in accordance with the SCAQMD Rule 1403 and the California Code of Regulations (CCR) Title 8 and 17 regarding the handling and disposal of ACMs and LBP respectively. The South Coast Air Quality Management District (SCAQMD) and the State oversee removal of ACMs and LBP removal. In addition, the Project applicant will be required to notify these agencies prior to any demolition activities, pursuant to State and County law. Such requirements will reduce the potential for the release of hazardous materials into the environment to less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** See VIII(a) and VIII(B), above. There are no schools within one-quarter mile of the Project site. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The proposed Project site has not been identified as a hazardous materials site pursuant to Government Code Section 65962.5 and the EDR database search conducted for the Project; refer to Appendix A, *EDR Database Record Search*. Therefore, no significant impacts related to this issue were identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

**No Impact.** The Project site is located approximately 2.5 miles southwest of Redlands Municipal Airport. No public airports or public use airports are located within 0.25 mile of the Project site. No impacts will occur, and no mitigation measures are required.

Activities associated with the required grading, demolition, and construction activities will not increase the potential to result in a safety hazard for people residing or working in areas surrounding the Project site. Long-term operation of the Redlands Park Once Transit center would not interfere with the operations of any airport. The Project site is not located within any airport land use plan, the airport environs overlay zone, or airport approach overlay zone. Therefore, no significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?

**No Impact.** Refer to Response to VII(e), above. The Project site is not in close proximity to any private airstrip. Therefore, no significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

**No Impact.** The demolition of the existing structure and the construction of the Redlands Park Once Transit Center will not interfere with the implementation of or physically interfere with an

adopted emergency response plan or evacuation plan. Proposed roadway improvements will not interfere with circulation or access. No impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The Project site is located within an urbanized and developed area. There are no wildlands or other areas prone to wildfire within the vicinity of the Project site. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**IX. HYDROLOGY AND WATER QUALITY**

Would the project:

a. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** Activities associated with implementation of the proposed Project will result in the paving of the existing partially vacant dirt lot. Currently, the waste discharge from the site includes storm water runoff. Construction of the proposed Project will introduce additional waste discharge from uses associated with the commercial activity; however, the proposed Project will be consistent with applicable waste discharge requirements.

In addition, the proposed Project will be designed to include best management practices (BMPs) and source control measures that will ensure that potential impacts during construction and operation are less than significant. The Project will require preparation of a Water Pollution Control Plan (WPCP) and implementation of BMPs detailed in the WPCP during construction activities. Implementation of these BMPs will preclude any violations of existing standards and discharge regulations. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

**No Impact.** The Project site does not require the construction of wells, and the use of groundwater will not be required for the proposed Project. In addition, the Project is located in an urban area, and public water service is currently provided. Connection to the public water system will be available. As such, no significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site?

**Less than Significant Impact.** The Project site is mostly vacant consisting of a dirt lot, with one warehouse structure. Limited grading will be required to prepare the site for development, and significant site alteration will not occur. No streams or rivers occur onsite that would be impacted by the proposed grading activities. As stated above, the Project will implement BMPs that are intended to maintain or reduce increases in peak flow velocities from the Project site. In addition, following construction of the Redlands Park Once Transit Center, landscaping will be installed, consistent with City landscaping design requirements, to further reduce the potential for runoff from the Project site to occur. With implementation of the proposed BMPs and adherence to City storm water requirements, no adverse impacts to the downstream conveyance system are anticipated. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner, which would result in flooding on- or off-site?

**Less than Significant Impact.** See Response to IX(c), above. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e. Create or contribute runoff water, which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

**Less than Significant Impact.** The Project will be required to comply with all City storm water quality standards during construction and after construction. Appropriate BMPs will be implemented to ensure that water quality is not degraded, therefore ensuring that Project runoff is directed to appropriate drainage systems. Due to the nature of the Project, any runoff from the site is not anticipated to exceed the capacity of existing storm water systems or provide substantial additional sources of polluted runoff. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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f. Otherwise substantially degrade water quality?

**Less than Significant Impact.** The Project will be required to comply with all City storm water quality standards during construction and after construction. In addition, appropriate BMPs will be implemented to ensure that the proposed development does not significantly impact water quality. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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g. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

**No Impact.** Based on the FEMA Flood Insurance Rate Map No. 06071C8716H, revised August 28, 2008, this project is within a Flood Zone – AO – Depth 1. This is subject to one-foot depth flooding in the 100 year storm; however, this area has a fully developed existing storm drain system designed with the capacity to handle this type of storm event, and the Project does not propose any housing in this area. As such, no significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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h. Place within a 100-year flood hazard area, structures that would impede or redirect flood flows?

**No Impact.** Based on the FEMA Flood Insurance Rate Map No. 06071C8716H, revised August 28, 2008, this project is within a Flood Zone – AO – Depth 1. This is subject to one-foot depth flooding in the 100 year storm; however, this area has a fully developed existing storm drain system designed with the capacity to handle this type of storm event. As such, less than significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?

**No Impact.** Based on the FEMA Flood Insurance Rate Map No. 06071C8716H, revised August 28, 2008, this project is within a Flood Zone – AO – Depth 1. This is subject to one-foot depth flooding in the 100 year storm; however, this area has a fully developed existing storm drain system designed with the capacity to handle this type of storm event. As such, less than significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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j. Inundation by seiche, tsunami, or mudflow?

No large bodies of water are located near the site, and there is no potential for damage by a seiche or tsunami.

**Less than Significant Impact.** As the Project site is located along a relatively flat surface, the potential for mudflows to occur is low. In addition, the Project will be designed consistent with CBC and City design requirements to reduce the potential for structural damage from mudslides to occur. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*X. LAND USE AND PLANNING*

Would the project:

a. Physically divide an established community?

**No Impact.** The Project site is located in a developed urban community and surrounded by similar commercial development with residential uses located approximately 100 feet north of the site on Third Street; however, the proposed Project will not affect adjacent properties or be inconsistent with surrounding land uses. The Project will not physically divide an established community. Less than significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?

**No Impact.** The Project will result in demolition of the existing structure onsite and construction of the Redlands Park Once Transit Center. The proposed Project will be consistent with existing Specific Plan Town Center (TC) and Town Center Historical (TC-H) zone that applies to the property and will be consistent with surrounding commercial uses. No changes to the existing

General Plan land use or zoning designations are proposed. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c. Conflict with any applicable habitat conservation plan or natural community conservation plan?

**No Impact.** The Project will not conflict with any applicable habitat conservation plan or natural community conservation plan. The Project site is not within the City’s mapped Biotic Resources map, and no other adopted conservation plans affect the subject site. No significant impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*XI. MINERAL RESOURCES*

Would the project?

- a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

**No Impact.** There are no known mineral resources located on the Project site. The urbanized and developed nature of the site and vicinity would preclude the extraction of any such resources. The proposed Project site is not currently being utilized for mineral extraction and does not contain any known mineral resources that would be of value to the region. Therefore, no significant impacts were identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

**No Impact.** See XI(a), above. The Project area has not been delineated on a local general plan, specific plan, or other land use plan as a locally important mineral resource recovery site, and no such resources will be affected with Project implementation. Therefore, no significant impacts were identified, and no mitigation measures are required.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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## XII. NOISE

Would the project result in:

- a. Exposure of persons to, or generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

**Less Than Significant Impact with Mitigation.** Short-term noise impacts would be associated with onsite grading and demolition activities of the existing warehouse and construction of the Redlands Park Once Transit Center. Construction-related short-term noise levels will be higher than existing ambient noise levels in the Project area, but will no longer occur once construction of the Project is completed. Sensitive receptors (e.g. residential uses) occur in the immediate area, and may be temporarily affected by Project construction noise; however, construction activities will be required to comply with the construction hours specified in the City's Municipal Code which are intended to reduce potential adverse effects resulting from construction noise. With compliance to the City's construction noise requirements and mitigation measure below, Project construction noise levels will be reduced to less than significant, .

The following mitigation measures shall be implemented to minimize the increase in temporary noise levels and reduce impacts to a less than significant level:

- NOS-1** In order to mitigate potential impacts the Project's construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday with no construction activities permitted during weekends and Federal holidays. Project contractors shall ensure that all construction equipment, fixed or mobile, shall be operated with properly functioning and maintained mufflers, consistent with manufacturer standards.

For the long-term, existing noise levels will not be impacted due to the nature of the surrounding uses including roadways, a train depot, the Downtown Redlands area, and other surrounding commercial uses. Typical noise levels associated with a parking garage including, vehicles entering and existing the structure, car doors, and conversations are anticipated from implementation of the proposed project. However, these uses are typical of the surrounding area, and therefore, no significant noise-producing traffic or operations will occur. No significant long-term impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Exposure of persons to, or generation of, excessive ground borne vibration or ground borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** As described in Response to XII(a) above, potential effects from construction noise will be reduced through compliance with City restrictions. Pile driving activities that would potentially result in ground borne vibration or ground borne noise would adhere to City standards, would be temporary and would cease upon completion of construction activities. As such, the Project will not result in the exposure of persons to excessive ground borne vibration or noise, and impacts will be less than significant. No mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The Project site currently supports a warehouse on a portion of the site. The remaining area of the site is vacant and consists of dirt. The areas surrounding the site consist of railroad tracks, a roadway, and commercial uses including Downtown Redlands. Although construction of the Park Once Transit Center on the existing site will increase existing ambient noise levels generated onsite from vehicles utilizing the Redlands Park Once Transit Center and activities associated with the commercial retail uses of the structure, the noise will be similar to what is existing in the area. Long-term noise levels will be limited to that generated on the existing roadway and mainly associated with the approaches to the site. The noise level generated by vehicles will diminish once a car is parked and therefore, will not significantly increase long-term noise levels. Post-construction noise levels and traffic will be generally similar as compared to noise associated with the existing surrounding uses. Therefore, no substantial permanent increase in ambient noise levels is anticipated. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The demolition of the existing building and the construction of the Redlands Park Once Transit Center will not expose people to a substantial increase in temporary or periodic ambient noise levels. Construction noise will result during grading, demolition, and construction activities, but will be temporary in nature. Construction-related noise impacts from the Project will generally be higher than existing ambient noise levels in the Project area, but will no longer occur once Project construction is completed. In addition, the Project will be required to comply with the Redlands Municipal Code, Chapter 8.06, Community Noise Control. Implementation of these standard measures will reduce potential Project impacts from an increase in ambient noise levels during construction to a less than significant level, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. For a project located within an airport land use plan, or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The Project site is not located within an airport land use plan. The Project site is located approximately 2.5 miles southwest of Redlands Municipal Airport. No impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The Project site is not located within the vicinity of a private airstrip. No impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*XIII. POPULATION AND HOUSING*

Would the project:

a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** The Project site is located in a developed urban area and is surrounded by commercial uses and existing residential uses to the north. The site currently receives water and sewer service from the City, and no extension of infrastructure to new areas is required. Construction of the Park Once Transit Center will include retail on the bottom floors; however, the Project site is located within a commercial area and is located near Downtown Redlands, which consist of commercial uses. In addition, construction for the Park Once Transit Center will also include road improvements to Stuart Avenue. Although the Project proposes new businesses and some minor roadway improvements, the associated uses of the Park Once Transit Center would be similar to the surrounding area, and therefore, would not introduce substantial population growth to the area. As such, impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**No Impact.** The Project will result in demolition of the existing warehouse; and the construction of the Redlands Park Once Transit Center. No displacement of housing or residents will occur. No impacts were identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**No Impact.** See Response to XIII(b), above.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*XIV. PUBLIC SERVICES*

a. Would the project result in substantial adverse physical impacts associated with the provisions of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services:

i) Fire Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** The Project site is located in an urbanized and developed area where fire protection services are already provided. Demolition of the existing structure and construction of the Redlands Park Once Transit Center will not adversely affect existing levels of fire protection services to the area, and will not require the construction of new or expansion of existing governmental facilities. Impacts related to fire protection will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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ii) Police Protection

**Less than Significant Impact.** The Project site is located in an urbanized and developed area within the City of Redlands where police protection services are already provided. Demolition of the existing structure onsite and construction of the Redlands Park Once Transit Center will not adversely affect existing levels of police protection services or create significant new demand, and will not require the construction of new or expansion of existing governmental facilities. As such, impacts related to police protection will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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iii) Schools

**No Impact.** The Project site is located in an urbanized and developed area where public school services are available; however, the proposed Project does not propose a use that would increase the demand on public schools, as the Project will result in construction of the Redlands Park Once Transit Center. As such, no impacts related to schools were identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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iv) Parks

**No Impact.** The Project site is located in an urbanized and developed area where City-operated parks are available. The closest public park to the Project site is Lincoln Memorial Shrine, located between South 4<sup>th</sup> Street and South Eureka Street, approximately 0.25 mile to the south of the project site. The proposed Project does not include uses that would increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists. As such, no impacts related to parks were identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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v) Other public facilities

**No Impact.** The Project site is located in an urbanized and developed area where City services are already available. Demolition of the existing structure and construction of the Redlands Park Once Transit Center will not adversely affect existing levels of public services and will not require the construction or expansion of an existing governmental facility. No significant impact will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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#### XV. RECREATION -

- a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- b. Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

This response applies to Questions XV(a) and (b) above.

**No Impact.** The proposed Project will not significantly increase the use of existing neighborhood or regional parks or other recreational facilities, as the proposed Project will result in construction of a Transit Center. No housing units are proposed, and therefore, an increase in the use of available parks or facilities such that substantial deterioration occurs, or that would require the construction or expansion of recreational facilities to satisfy demand would occur. As such, no significant impacts related to recreational facilities have been identified, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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### XVI. TRANSPORTATION/TRAFFIC

Would the project?

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <p>b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?</p>  | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

The following response applies to Questions XVI(a) and (b) above.

**Less Than Significant Impact.** The proposed Project will result in removal of the existing structure on the project site, and construction of The Redlands Park Once Transit Center. The following section is based on the *Traffic Study* dated March 9, 2011, prepared for the project by the Mobility Group; refer to Appendix B, *Traffic Study*.

The following assumptions were utilized in the *Traffic Study* prepared for the Project:

- The Project will be completed and in operation by 2016;
- A new traffic signal would be installed at the intersection of Stuart Avenue and Eureka Street by 2016, based on the Development Agreement for the Promenade Project and the City's commitment to install the signal by 2016. The existing lane configuration was assumed to remain as is at this intersection; and,
- The parking garage itself does not generate trips independently, so the traffic analysis focused on operational analysis of the garage driveway and the two nearest intersections on Stuart Avenue – at Stuart Avenue and Orange Street and at Stuart Avenue and Eureka Street in order to ensure the satisfactory operation of those intersections. Beyond these studied intersections, parking garage traffic will be:
  - (a) already on downtown roadways and redistributed to the parking garage destination,



- (b) related to the Redlands Passenger Rail Line (which will be analyzed separately in other environmental documents; however, it should be noted that, the engineering design and environmental compliance for this project are in a preliminary stage, with no draft documents prepared to date. As such, no additional details on traffic impacts or mitigation measures) , or
- (c) additional traffic from the Downtown Specific Plan which will also be analyzed in a separate environmental document.

Although the proposed Project will not be a trip generating use, the existing circulation patterns on area roadways and intersections will be altered from implementation of the proposed Project. As indicated in the Traffic Study prepared for the Project, existing traffic conditions (levels of service) are currently level of service (LOS) C or better, and therefore are currently meeting City of Redlands General Plan standards; refer to Table XVI-1, Existing Conditions - Intersection Level of Service. Intersection level of service would continue to meet the General Plan standards with implementation of the proposed Project; refer to Table XVI-2, Future with Project Conditions – Intersection Level of Service. In addition, the level of service analysis results at the unsignalized driveway location for traffic volumes entering and exiting the garage driveway on Stuart Avenue, demonstrated that all driveway movements would operate at LOS B or better and therefore no significant traffic impacts were identified. As such, the Project driveway and adjacent intersections would operate satisfactorily and there would be no significant traffic impacts from the Proposed Project. Therefore, no traffic mitigations are required.

**Table XVI-1  
Existing Conditions - Intersection Level of Service**

No.	Intersection	Control Type	A.M. Peak	P.M. Peak
1	Eureka St. & Stuart Ave.	2-way Stop	V/C: (18.7) LOS: C	V/C: (19.9) LOS: C
2	Orange St. & Stuart Ave.	Signalized	V/C: 0.295 LOS: A	V/C: 0.545 LOS: A

Notes:

Source: The Mobility Group, Redlands Park Once Garage: Traffic Study, March 9, 2011

Volume/capacity ratio shown for signalized intersections.

For 2-way stop intersections, delay/vehicle and LOS shown for worst case minor (stopped) approach.

**Table XVI-2  
Future with Project Conditions – Intersection Level of Service**

No.	Intersection	Control Type	Future Without Project (2016)		Future With Project (2016)	
			A.M. Peak	P.M. Peak	A.M. Peak	P.M. Peak
1	Eureka St. & Stuart Ave.	Signalized	V/C: 0.311 LOS: A	V/C: 0.323 LOS: A	V/C: 0.333 LOS: A	V/C: 0.344 LOS: A
2	Orange St. & Stuart Ave.	Signalized	V/C: 0.322 LOS: A	V/C: 0.616 LOS: B	V/C: 0.420 LOS: A	V/C: 0.733 LOS: C

Notes:

Source: The Mobility Group, Redlands Park Once Garage: Traffic Study, March 9, 2011

It should be noted that a temporary minor increase in traffic may occur during construction but those trips would cease after Project construction. As such, less than significant impacts related to construction vehicle trips would occur from implementation of the proposed Project.

The proposed Redlands Park Once Transit Center would be a supporting structure for the future planned Redlands Passenger Rail Line. Design features of the transit center include approximately 2,000 square feet of the space on the south side of the garage to be utilized for transit support uses including transit patron facilities and bicycle storage. The proposed Project design has incorporated features that ensure compatible uses consistent with applicable City plans and ordinances related to circulation patterns for all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit. Therefore, impacts are considered less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

**No Impact.** The proposed Redlands Park Once Parking Transit Center will not result in a change to air traffic patterns in that the structures will be less than 55 feet in height, due to height restrictions within the Town Center and Town Center – Historic District. Therefore, the proposed Project will not create a safety risk. The affected property is not located within any ALUCPs or near any private airstrip, and will not result in a change in air patterns. No impacts will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

**No Impact.** No design features or incompatible uses that would increase potential hazards are proposed, and the Project would not affect emergency access to the site or adjacent properties. Driveway design for the Redlands Park Once Transit Center will be consistent with City design requirements to ensure safe ingress/egress from the properties. Additionally, as the Project site is located in an existing commercial district, the Project will not result in incompatible uses that will create hazardous conditions. Therefore, significant impacts related to design feature hazards or emergency access would not occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- e. Result in inadequate emergency access?

**No Impact.** The proposed Project is consistent with the existing zoning and will not result in inadequate emergency access. The Project design will be subject to City review and approval for consistency with all design requirements to ensure that no impediments to emergency access occur. No impacts will occur, and no mitigation measures are required. Refer also to Response to XVI(d), above.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**No Impact.** The proposed Redlands Park Once Transit Center would be a supporting use for travelers on the bike path and bike path system in the City of Redlands utilizing the future planned Redlands Passenger Rail Line. In addition, design features of the transit center include approximately 2,000 square feet of the space on the south side of the garage to be utilized for transit support uses including transit patron facilities and bicycle storage. The proposed Project design has incorporated features that ensure compatible uses consistent with applicable City plans and ordinances related to public transit, bicycle, and pedestrian facilities. Therefore, no significant impacts related to this issue will occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*XVII. UTILITIES AND SERVICE SYSTEMS*

Would the project:

a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant Impact.** Implementation of the proposed Project will not interrupt existing sewer service to the Project site or other surrounding uses. A minimal increase in demand for wastewater disposal or treatment will be created by the proposed Project, as compared to current conditions. The proposed Project is not anticipated to generate significant amounts of wastewater. In addition, because the site is located in an urbanized and developed area, adequate services are already available to serve the site. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The construction of the Park Once Transit Center will result in a slight increase in water demand for the associated retail uses; however, it will not significantly increase the demand for water or wastewater treatment services. As such, the proposed Project will not trigger the need for new treatment facilities. Adequate services are available to serve the proposed Project. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The volume of new storm water runoff generated by the impervious surface area will not result in substantial quantities requiring new or expanded storm water treatment facilities, as adequate services are available to serve the Redlands Park Once Transit Center. Therefore, the Project would not require the construction of new storm water drainage facilities or the expansion of existing facilities. See also IX(c-f). Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The proposed Project will result in a slight increase in the demand for water service over that which currently exists, as the Project will result in construction of a transit center with a parking structure and retail commercial uses. In addition, the proposed uses are not anticipated to create a significant increase in water demand, and the site is located within a

commercial area where adequate services are currently available to serve the site without requiring expanded entitlements. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. Result in a determination by the wastewater treatment provided which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The proposed Project will result in a minimal increase in the demand for wastewater treatment services over that which currently exists, as Project uses are those associated with a parking structure and commercial retail. The additional demand for service will not interfere with any wastewater treatment provider’s service capacity. The surrounding area consists of commercial uses that currently receive wastewater treatment services from the City, and adequate services are available to serve the site. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f. Be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** Construction debris and waste will be generated from the demolition of the existing warehouse and construction of the proposed Redlands Park Once Transit Center. All solid waste from the Project site will be transported to the San Timoteo Landfill, located at 31 Refuse Road, which has adequate capacity to accept the limited amount of waste that would be generated by the proposed Project. Long-term operation of the Transit Center is anticipated to generate typical amounts of solid waste for a parking structure and commercial retail use, which will result in a minimal increase over that currently produced by the surrounding commercial area. Impacts are considered to be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
g. Comply with federal, state, and local statutes and regulation related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Less than Significant Impact.** The Project will result in demolition of the existing onsite structure use to allow for construction of Redlands Park Once Transit Center. The Project will comply with all Federal, State, and local statutes and regulations related to solid waste. The Project will not result in the generation of large amounts of solid waste, nor would the Project generate or require transport of hazardous waste materials other than minimal amounts generated during the construction phase. All demolition activities will comply with any City of Redlands requirements for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts will be less than significant, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*XVIII. MANDATORY FINDINGS OF SIGNIFICANCE -*

a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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**Less than Significant with Mitigation Incorporated.** The Project may have the potential to degrade the quality of the environment, notably with respect to archaeological and paleontological resources. As such, mitigation measures have been proposed to reduce impacts to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable futures projects)?

**Less than Significant with Mitigation Incorporated.** As documented in this Initial Study, the Project may have the potential to degrade the environment as a result of impacts to cultural or paleontological resources, which may have cumulatively considerable impacts. As such, mitigation measures have been proposed to reduce impacts to less than significant. Other future projects within the surrounding area would be required to comply with applicable local, State, and Federal regulations to reduce potential impacts to less than significant, or to the extent possible. As such, the proposed Project is not anticipated to contribute to potentially significant cumulative environmental impacts.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c. Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

**Less than Significant Impact.** Implementation of the Project will result in the demolition of the existing structure, and construction of the Redlands Park Once Transit Center. As the property is currently in a developed commercial area, it is consistent with the setting and with the use anticipated by the City. It is not anticipated that demolition or construction activities will create conditions that would significantly directly or indirectly impact human beings. Impacts will be less than significant.



## REFERENCES

- City of Redlands, Community Development Department. *1995 General Plan*, dated August 1995, as amended on December 12, 1997.
- City of Redlands. *Municipal Code*. Last updated July 20, 2010.
- City of Redlands Redevelopment Agency. *Downtown Redlands Specific Plan, Specific Plan No. 45*, as amended to November 19, 1996.
- City of Redlands. *Redlands Community Sustainability Plan*, dated March 2011.
- City of Redlands. *Sustainability Action Plan*, dated March 2010.
- Environmental Data Resources Inc. (EDR). *The EDR Radius Map Report, Redlands Park Once Parking Structure, Inquiry Number: 3007467.1s*, dated March 7, 2011.
- National Register of Historic Place. San Bernardino #91001535. 1991.
- Ninyo and Moore. *Geotechnical Evaluation Redlands" Park Once" Parking Structure*, dated February 18, 2011.
- The Mobility Group. *Redlands Park Once Garage, Traffic Study*, dated March 9, 2011.

## MITIGATION MEASURES AND MITIGATION MONITORING AND REPORTING PROGRAM

### AIR QUALITY

- AIR-1 In order to mitigate potential impacts as identified, the Project shall be required to comply with all regulations of the AQMD. In addition, on-site daily watering shall be conducted to control fugitive dust emissions.
- AIR-2 Total projected construction maximum daily emission levels for each criteria pollutant are anticipated to be below the established significance thresholds for all construction stages of the proposed development for the associated pollutants. In addition, all architectural coatings used for construction of the Redlands Park Once Transit Center will be compliant with the SCAQMD Rule 1113 Architectural Coatings, which limits volatile organic compound (VOC) content. Thus, emissions associated with Project construction will not result in a significant impact on ambient air quality. Additionally, because emissions are anticipated to be less than the significance levels, the Project will not conflict with or obstruct the implementation of the SCAQMD or applicable portions of the State Implementation Plan (SIP).
- AIR-3 As applicable, standard design and operational measures (such as minimize the idling of construction vehicles onsite; properly maintain of mobile and other construction equipment; replace ground cover in disturbed areas quickly; water exposed surfaces twice daily; cover stock piles with tarps, etc.) will be implemented, as appropriate, during the construction phase to reduce potential emissions (e.g. fugitive dust). Additionally, the Project will be consistent with applicable City requirements aimed at protecting air quality and reducing green house gas emissions.

### CULTURAL RESOURCES

To avoid potential impacts to unknown (i.e., buried) cultural resources, the following mitigation measures are proposed:

- CULT-1 Prior to the issuance of a grading and/or building permit, the City of Redlands, or applicant if the project is developed by another entity, shall retain the services of a qualified archaeologist (as determined by the City) to conduct a Phase 2 subsurface testing plan for subsurface artifacts. Any resources uncovered during the course of the subsurface testing shall be recorded and/or removed by a qualified archaeologist pursuant to applicable State regulations.
- CULT-2 Construction Monitoring shall be performed by a qualified archaeologist and/or Native American monitor. In the event that previously unidentified potentially significant cultural resources are discovered, the archaeological monitor(s) shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow evaluation of potentially significant resources. As such, it is anticipated that, with

- implementation of the proposed mitigation, Project impacts on cultural resources would be reduced to less than significant. In the event that previously unidentified potentially significant cultural resources are discovered, the archaeological monitor(s) shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow evaluation of potentially significant resources.
- CULT-3 Potentially significant impacts to unknown paleontological resources could occur during Project grading; thus, construction-monitoring for paleontological resources will be implemented in order to minimize potential impacts. Mitigation will detail the process that shall be undertaken prior to and during grading and construction and will prescribe a step-by-step process that will be followed, should onsite resources be discovered. Implementation of the proposed mitigation will ensure that if buried paleontological resources are unearthed, the Project Paleontologist will have the authority to redirect the earthwork in the vicinity of the find(s) if necessary and be able to examine the find(s) to determine their significance.
- CULT-4 To ensure that undiscovered human remains, if encountered, are properly handled, mitigation is proposed to require that a qualified monitor be present onsite during all ground-disturbing activities. Monitoring shall be performed by a qualified archaeologist and/or Native American monitor. If human remains are discovered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition, pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified immediately if any human remains are found. If such remains are determined to be prehistoric, the Coroner would be required to notify the Native American Heritage Commission (NAHC), which would then determine significance and notify a Most Likely Descendant (MLD). With permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery, and shall complete the inspection within 24 hours of notification by the NAHC. The MLD will have the opportunity to make recommendations to the NAHC on the disposition of the remains. With implementation of the proposed mitigation, potential impacts on human remains would be reduced to less than significant.

## **NOISE**

- NOS-1 In order to mitigate potential impacts the project's construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday with no construction activities permitted during weekends and Federal Holidays. Project contractors shall ensure that all construction equipment, fixed or mobile, shall be operated with properly functioning and maintained mufflers, consistent with manufacturer standards.

# **APPENDIX A EDR DATABASE RECORD SEARCH**

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**Redland Park Once Parking Structure**

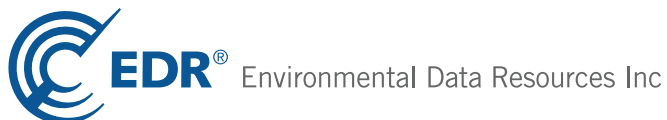
Third Street / Stuart Avenue

Redlands, CA 92374

Inquiry Number: 3007467.1s

March 07, 2011

# The EDR Radius Map™ Report



440 Wheelers Farms Road  
Milford, CT 06461  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

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## GEOCHECK ADDENDUM

GeoCheck - Not Requested

*Thank you for your business.*  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### TARGET PROPERTY INFORMATION

#### ADDRESS

THIRD STREET / STUART AVENUE  
REDLANDS, CA 92374

#### COORDINATES

Latitude (North): 34.059200 - 34° 3' 33.1"  
Longitude (West): 117.184200 - 117° 11' 3.1"  
Universal Transverse Mercator: Zone 11  
UTM X (Meters): 483000.9  
UTM Y (Meters): 3768540.8  
Elevation: 1348 ft. above sea level

### USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 34117-A2 REDLANDS, CA  
Most Recent Revision: 1988

### TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

### DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

### STANDARD ENVIRONMENTAL RECORDS

#### ***Federal NPL site list***

NPL..... National Priority List  
Proposed NPL..... Proposed National Priority List Sites  
NPL LIENS..... Federal Superfund Liens

#### ***Federal Delisted NPL site list***

Delisted NPL..... National Priority List Deletions

## EXECUTIVE SUMMARY

### ***Federal CERCLIS list***

CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System  
FEDERAL FACILITY..... Federal Facility Site Information listing

### ***Federal CERCLIS NFRAP site List***

CERC-NFRAP..... CERCLIS No Further Remedial Action Planned

### ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

### ***Federal RCRA generators list***

RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

### ***Federal institutional controls / engineering controls registries***

US ENG CONTROLS..... Engineering Controls Sites List  
US INST CONTROL..... Sites with Institutional Controls

### ***Federal ERNS list***

ERNS..... Emergency Response Notification System

### ***State- and tribal - equivalent NPL***

RESPONSE..... State Response Sites

### ***State and tribal landfill and/or solid waste disposal site lists***

SWF/LF..... Solid Waste Information System

### ***State and tribal leaking storage tank lists***

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

### ***State and tribal registered storage tank lists***

AST..... Aboveground Petroleum Storage Tank Facilities  
INDIAN UST..... Underground Storage Tanks on Indian Land  
FEMA UST..... Underground Storage Tank Listing

### ***State and tribal voluntary cleanup sites***

INDIAN VCP..... Voluntary Cleanup Priority Listing

### **ADDITIONAL ENVIRONMENTAL RECORDS**

### ***Local Brownfield lists***

US BROWNFIELDS..... A Listing of Brownfields Sites



# EXECUTIVE SUMMARY

## **Local Lists of Landfill / Solid Waste Disposal Sites**

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations  
ODI..... Open Dump Inventory  
WMUDS/SWAT..... Waste Management Unit Database  
HAULERS..... Registered Waste Tire Haulers Listing  
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

## **Local Lists of Hazardous waste / Contaminated Sites**

US CDL..... Clandestine Drug Labs  
HIST Cal-Sites..... Historical Calsites Database  
SCH..... School Property Evaluation Program  
Toxic Pits..... Toxic Pits Cleanup Act Sites  
CDL..... Clandestine Drug Labs  
US HIST CDL..... National Clandestine Laboratory Register

## **Local Land Records**

LIENS 2..... CERCLA Lien Information  
LUCIS..... Land Use Control Information System  
LIENS..... Environmental Liens Listing

## **Records of Emergency Release Reports**

HMIRS..... Hazardous Materials Information Reporting System  
CHMIRS..... California Hazardous Material Incident Report System  
LDS..... Land Disposal Sites Listing  
MCS..... Military Cleanup Sites Listing

## **Other Ascertainable Records**

DOT OPS..... Incident and Accident Data  
DOD..... Department of Defense Sites  
FUDS..... Formerly Used Defense Sites  
CONSENT..... Superfund (CERCLA) Consent Decrees  
ROD..... Records Of Decision  
UMTRA..... Uranium Mill Tailings Sites  
MINES..... Mines Master Index File  
TRIS..... Toxic Chemical Release Inventory System  
TSCA..... Toxic Substances Control Act  
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)  
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing  
SSTS..... Section 7 Tracking Systems  
ICIS..... Integrated Compliance Information System  
PADS..... PCB Activity Database System  
MLTS..... Material Licensing Tracking System  
RADINFO..... Radiation Information Database  
FINDS..... Facility Index System/Facility Registry System  
RAATS..... RCRA Administrative Action Tracking System  
CA BOND EXP. PLAN..... Bond Expenditure Plan  
WDS..... Waste Discharge System  
NPDES..... NPDES Permits Listing

## EXECUTIVE SUMMARY

Cortese.....	"Cortese" Hazardous Waste & Substances Sites List
Notify 65.....	Proposition 65 Records
WIP.....	Well Investigation Program Case List
HAZNET.....	Facility and Manifest Data
EMI.....	Emissions Inventory Data
INDIAN RESERV.....	Indian Reservations
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
FINANCIAL ASSURANCE.....	Financial Assurance Information Listing
HWT.....	Registered Hazardous Waste Transporter Database
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
PROC.....	Certified Processors Database
MWMP.....	Medical Waste Management Program Listing
COAL ASH DOE.....	Sleam-Electric Plan Operation Data

### EDR PROPRIETARY RECORDS

#### ***EDR Proprietary Records***

EDR Historical Cleaners..... EDR Proprietary Historic Dry Cleaners

### SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

### STANDARD ENVIRONMENTAL RECORDS

#### ***Federal RCRA CORRACTS facilities list***

CORRACTS: CORRACTS is a list of handlers with RCRA Corrective Action Activity. This report shows which nationally-defined corrective action core events have occurred for every handler that has had corrective action activity.

A review of the CORRACTS list, as provided by EDR, and dated 05/25/2010 has revealed that there is 1 CORRACTS site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>TELEDYNE CONTINENTAL MOTORS</i></b>	<b><i>840 W BROCKTON AVE</i></b>	<b><i>NW 1/2 - 1 (0.618 mi.)</i></b>	<b><i>U86</i></b>	<b><i>132</i></b>

## EXECUTIVE SUMMARY

### ***Federal RCRA generators list***

RCRA-LQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

A review of the RCRA-LQG list, as provided by EDR, and dated 02/17/2010 has revealed that there is 1 RCRA-LQG site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SHELL SERVICE STATION</b>	<b>127 E REDLANDS BLVD</b>	<b>SE 1/8 - 1/4 (0.190 mi.)</b>	<b>I40</b>	<b>53</b>

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 02/17/2010 has revealed that there are 7 RCRA-SQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>DUTCH GIRL DRY CLEANERS</b>	<b>34 W COLTON AVE</b>	<b>N 1/8 - 1/4 (0.222 mi.)</b>	<b>N52</b>	<b>80</b>
<b>CITROGRAPH PRINTING</b>	<b>113 E STATE ST</b>	<b>SE 1/8 - 1/4 (0.231 mi.)</b>	<b>P65</b>	<b>94</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SALERNOS SERVICENTER</b>	<b>609 3RD ST</b>	<b>N 0 - 1/8 (0.072 mi.)</b>	<b>C12</b>	<b>23</b>
<b>REDLANDS AUTO ELECTRIC</b>	<b>349 N EUREKA</b>	<b>SW 0 - 1/8 (0.097 mi.)</b>	<b>D19</b>	<b>31</b>
<b>REIDS HONDA DOCTOR</b>	<b>345 W PEARL</b>	<b>NNW 0 - 1/8 (0.122 mi.)</b>	<b>21</b>	<b>35</b>
<b>HONDA OF REDLANDS</b>	<b>405 W REDLANDS BLVD</b>	<b>SW 1/8 - 1/4 (0.177 mi.)</b>	<b>H37</b>	<b>50</b>
<b>JIM GLAZE INC MAZDA</b>	<b>500 W REDLANDS</b>	<b>WSW 1/8 - 1/4 (0.218 mi.)</b>	<b>L45</b>	<b>64</b>

### ***State- and tribal - equivalent CERCLIS***

ENVIROSTOR: The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

A review of the ENVIROSTOR list, as provided by EDR, and dated 11/08/2010 has revealed that there are

## EXECUTIVE SUMMARY

2 ENVIROSTOR sites within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>EDISON/REDLANDS II (REDLANDS B)</b> Status: Active	<b>501-525 W. REDLANDS BL.</b>	<b>WSW 1/8 - 1/4 (0.219 mi.)</b>	<b>L48</b>	<b>68</b>
<b>TELEDYNE TECH INC TELEDYNE CON</b> Status: Refer: RCRA Status: Active	<b>840 W BROCKTON AVE</b>	<b>NW 1/2 - 1 (0.618 mi.)</b>	<b>U85</b>	<b>118</b>

### **State and tribal leaking storage tank lists**

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the State Water Resources Control Board Leaking Underground Storage Tank Information System.

A review of the LUST list, as provided by EDR, and dated 12/16/2010 has revealed that there are 18 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MOBIL #08-EV5</b> Status: Completed - Case Closed	<b>604 ORANGE</b>	<b>NE 0 - 1/8 (0.080 mi.)</b>	<b>B14</b>	<b>27</b>
<b>REDLANDS SHELL</b> Status: Completed - Case Closed	<b>127 E REDLANDS BLVD</b>	<b>SE 1/8 - 1/4 (0.190 mi.)</b>	<b>I42</b>	<b>59</b>
REDLANDS BATTERY Status: Completed - Case Closed	305 W COLTON AVE	NNW 1/8 - 1/4 (0.226 mi.)	O61	91
CONOCO PHILLIPS #253356 Status: Open - Site Assessment	201 REDLANDS BOULEVARD	ESE 1/8 - 1/4 (0.228 mi.)	K62	91
STATER BROS. SITE GTE Status: Completed - Case Closed	11 COLTON AVE 11 4TH ST	NNE 1/8 - 1/4 (0.231 mi.) S 1/4 - 1/2 (0.257 mi.)	N63 Q70	92 100
ARCO PETROLEUM PRODUCTS #9716 Status: Completed - Case Closed	902 ORANGE STREET	NNE 1/4 - 1/2 (0.312 mi.)	R74	102
THRIFTY OIL #346/ ARCO #9716 Status: Completed - Case Closed	902 ORANGE ST	NNE 1/4 - 1/2 (0.312 mi.)	R76	107
TOSCO/ 76 STATION #6019 <b>REDLANDS BATTERY</b>	901 ORANGE AVE <b>305</b>	NNE 1/4 - 1/2 (0.313 mi.) <b>NE 1/4 - 1/2 (0.334 mi.)</b>	R77 <b>78</b>	108 <b>110</b>
<b>RICH OIL CO., INC</b> Status: Completed - Case Closed	<b>1029 ORANGE</b>	<b>N 1/4 - 1/2 (0.415 mi.)</b>	<b>81</b>	<b>113</b>
PERFORMANCE AUTO Status: Completed - Case Closed	520 E STATE ST	ESE 1/4 - 1/2 (0.430 mi.)	T82	115
<b>PERFORMANCE AUTO</b> ARCO #6052 Status: Completed - Case Closed	<b>520 STATE</b> 539 E REDLANDS BLVD	<b>ESE 1/4 - 1/2 (0.430 mi.)</b> ESE 1/4 - 1/2 (0.456 mi.)	<b>T83</b> T84	<b>115</b> 117
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO STATION #6052 Status: Completed - Case Closed Status: Completed - Case Closed	539 REDLANDS BOULEVARD	WSW 1/8 - 1/4 (0.239 mi.)	L68	96
<b>ARCO #6052</b>	<b>539 REDLANDS</b>	<b>WSW 1/8 - 1/4 (0.239 mi.)</b>	<b>L69</b>	<b>99</b>

## EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
STOP N' GO #385 Status: Completed - Case Closed	765 W REDLANDS BLVD	WSW 1/4 - 1/2 (0.370 mi.)	S79	111
STOP N' GO #385	765 REDLANDS BLVD	WSW 1/4 - 1/2 (0.370 mi.)	S80	111

SLIC: SLIC Region comes from the California Regional Water Quality Control Board.

A review of the SLIC list, as provided by EDR, and dated 12/16/2010 has revealed that there are 2 SLIC sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ORANGE PLAZA CLEANERS</b> Facility Status: Completed - Case Closed	<b>450 ORANGE ST</b>	<b>E 0 - 1/8 (0.063 mi.)</b>	<b>B10</b>	<b>14</b>
<b>STATER BROS MARKETS #018</b> Facility Status: Completed - Case Closed	<b>11 E COLTON AVE</b>	<b>NNE 1/8 - 1/4 (0.231 mi.)</b>	<b>N64</b>	<b>93</b>

### **State and tribal registered storage tank lists**

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the State Water Resources Control Board's Hazardous Substance Storage Container Database.

A review of the UST list, as provided by EDR, and dated 02/03/2011 has revealed that there are 2 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>REDLANDS SHELL</b> TOSCO SS # 30494-3356	<b>127 E REDLANDS BLVD</b> 201 E REDLANDS BLVD	<b>SE 1/8 - 1/4 (0.190 mi.)</b> ESE 1/8 - 1/4 (0.226 mi.)	<b>I42</b> K59	<b>59</b> 90

### **State and tribal voluntary cleanup sites**

VCP: Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

A review of the VCP list, as provided by EDR, and dated 11/08/2010 has revealed that there is 1 VCP site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>EDISON/REDLANDS II (REDLANDS B</b>	<b>501-525 W. REDLANDS BL.</b>	<b>WSW 1/8 - 1/4 (0.219 mi.)</b>	<b>L48</b>	<b>68</b>

# EXECUTIVE SUMMARY

## ADDITIONAL ENVIRONMENTAL RECORDS

### **Local Lists of Landfill / Solid Waste Disposal Sites**

SWRCY: A listing of recycling facilities in California.

A review of the SWRCY list, as provided by EDR, and dated 11/18/2010 has revealed that there is 1 SWRCY site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
REDLANDS RECYCLING	612 LAWTON ST	WNW 1/4 - 1/2 (0.307 mi.)	73	102

### **Local Lists of Registered Storage Tanks**

CA FID UST: The Facility Inventory Database contains active and inactive underground storage tank locations. The source is the State Water Resource Control Board.

A review of the CA FID UST list, as provided by EDR, and dated 10/31/1994 has revealed that there are 14 CA FID UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>TRUSTORE RESOURCES</i>	<i>31 W STUART AVE</i>	<i>E 0 - 1/8 (0.045 mi.)</i>	<i>B5</i>	<i>10</i>
<i>REDLANDS VALLEY MEAT</i>	<i>523 ORANGE ST</i>	<i>ENE 0 - 1/8 (0.062 mi.)</i>	<i>B8</i>	<i>13</i>
<i>MAGID SHELL</i>	<i>127 E REDLANDS BLVD</i>	<i>SE 1/8 - 1/4 (0.190 mi.)</i>	<i>I41</i>	<i>58</i>
<i>DILL LUMBER</i>	<i>105 E HIGH</i>	<i>ENE 1/8 - 1/4 (0.202 mi.)</i>	<i>43</i>	<i>63</i>
<i>GENE'S AUTO REPAIR</i>	<i>221 E STUART AVE</i>	<i>E 1/8 - 1/4 (0.225 mi.)</i>	<i>J54</i>	<i>84</i>
<i>UNOCAL 76 STN #3356</i>	<i>201 E REDLANDS BLVD</i>	<i>ESE 1/8 - 1/4 (0.226 mi.)</i>	<i>K56</i>	<i>86</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>RETTIG MACHINE SHOP, INC.</i>	<i>205 W STUART</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>A1</i>	<i>8</i>
<i>SALERNO'S SERVICENTER</i>	<i>609 3RD ST</i>	<i>N 0 - 1/8 (0.074 mi.)</i>	<i>C13</i>	<i>26</i>
<i>REDLANDS AUTO ELECTRIC</i>	<i>349 N EUREKA</i>	<i>SW 0 - 1/8 (0.097 mi.)</i>	<i>D19</i>	<i>31</i>
<i>TIRE &amp; RUBBER</i>	<i>300 W REDLANDS BLVD</i>	<i>SSW 1/8 - 1/4 (0.132 mi.)</i>	<i>F25</i>	<i>38</i>
<i>FREDFORD &amp; CO</i>	<i>420 ORIENTAL AVE</i>	<i>WSW 1/8 - 1/4 (0.164 mi.)</i>	<i>G29</i>	<i>41</i>
<i>FOAMIE CAR WASH</i>	<i>412 W REDLANDS BLVD</i>	<i>SW 1/8 - 1/4 (0.173 mi.)</i>	<i>H30</i>	<i>42</i>
<i>GROSZ. RONALD</i>	<i>440 ORIENTAL AVE</i>	<i>WSW 1/8 - 1/4 (0.174 mi.)</i>	<i>G32</i>	<i>44</i>
<i>AUTO CENTER</i>	<i>420 W REDLANDS BLVD</i>	<i>SW 1/8 - 1/4 (0.177 mi.)</i>	<i>H34</i>	<i>45</i>

HIST UST: Historical UST Registered Database.

A review of the HIST UST list, as provided by EDR, and dated 10/15/1990 has revealed that there are 15 HIST UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CANYON CITY TRANSFER & STORAGE	31 W STUART AVE	E 0 - 1/8 (0.045 mi.)	B4	9
GRIGSBY BROS.	21 W STUART AVE	E 0 - 1/8 (0.050 mi.)	B6	11
GRIGSBY BROS	21 W STUART AVE	E 0 - 1/8 (0.050 mi.)	B7	12
CITRUS VILLAGE TOWING	418 ORANGE ST	E 0 - 1/8 (0.063 mi.)	B9	13
KHOURY'S MOBIL	604 ORANGE ST	NE 0 - 1/8 (0.080 mi.)	B15	28
MICHAEL A. KOHOURY	604 ORANGE ST	NE 0 - 1/8 (0.080 mi.)	B16	29

## EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
UNION OIL SERVICE STATION #335	201 E REDLANDS BLVD	ESE 1/8 - 1/4 (0.226 mi.)	K58	89
STATION #3356	201 E REDLANDS BLVD	ESE 1/8 - 1/4 (0.226 mi.)	K60	90

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RETTIG MACHINE SHOP, INC.	205 W STUART AVE	0 - 1/8 (0.000 mi.)	A2	8
INLAND CONTRACTORS, INC.	254 W STUART AVE	W 0 - 1/8 (0.005 mi.)	A3	9
REDLANDS AUTO ELECTRIC	349 N EUREKA ST	SW 0 - 1/8 (0.097 mi.)	D20	35
FIRESTONE STORE #2765	300 W REDLANDS BLVD	SSW 1/8 - 1/4 (0.132 mi.)	F24	37
FRED FORD & COMPANY	420 ORIENTAL AVE	WSW 1/8 - 1/4 (0.164 mi.)	G28	40
RONDOR IMPORT SERVICE	440 ORIENTAL AVE	WSW 1/8 - 1/4 (0.174 mi.)	G31	43
JIM GLAZE, INC.	420 W REDLANDS BLVD	SW 1/8 - 1/4 (0.177 mi.)	H36	50

SWEEPS UST: Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

A review of the SWEEPS UST list, as provided by EDR, and dated 06/01/1994 has revealed that there are 14 SWEEPS UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>TRUSTORE RESOURCES</i>	<i>31 W STUART AVE</i>	<i>E 0 - 1/8 (0.045 mi.)</i>	<i>B5</i>	<i>10</i>
<i>REDLANDS VALLEY MEAT</i>	<i>523 ORANGE ST</i>	<i>ENE 0 - 1/8 (0.062 mi.)</i>	<i>B8</i>	<i>13</i>
<i>MAGID SHELL</i>	<i>127 E REDLANDS BLVD</i>	<i>SE 1/8 - 1/4 (0.190 mi.)</i>	<i>I41</i>	<i>58</i>
<i>DILL LUMBER</i>	<i>105 E HIGH</i>	<i>ENE 1/8 - 1/4 (0.202 mi.)</i>	<i>43</i>	<i>63</i>
<i>GENE'S AUTO REPAIR</i>	<i>221 E STUART AVE</i>	<i>E 1/8 - 1/4 (0.225 mi.)</i>	<i>J54</i>	<i>84</i>
<i>UNOCAL 76 STN #3356</i>	<i>201 E REDLANDS BLVD</i>	<i>ESE 1/8 - 1/4 (0.226 mi.)</i>	<i>K56</i>	<i>86</i>

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>RETTIG MACHINE SHOP, INC.</i>	<i>205 W STUART</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>A1</i>	<i>8</i>
<i>SALERNO'S SERVICENTER</i>	<i>609 3RD ST</i>	<i>N 0 - 1/8 (0.074 mi.)</i>	<i>C13</i>	<i>26</i>
<i>REDLANDS AUTO ELECTRIC</i>	<i>349 N EUREKA</i>	<i>SW 0 - 1/8 (0.097 mi.)</i>	<i>D19</i>	<i>31</i>
<i>TIRE &amp; RUBBER</i>	<i>300 W REDLANDS BLVD</i>	<i>SSW 1/8 - 1/4 (0.132 mi.)</i>	<i>F25</i>	<i>38</i>
<i>FREDFORD &amp; CO</i>	<i>420 ORIENTAL AVE</i>	<i>WSW 1/8 - 1/4 (0.164 mi.)</i>	<i>G29</i>	<i>41</i>
<i>FOAMIE CAR WASH</i>	<i>412 W REDLANDS BLVD</i>	<i>SW 1/8 - 1/4 (0.173 mi.)</i>	<i>H30</i>	<i>42</i>
<i>GROSZ, RONALD</i>	<i>440 ORIENTAL AVE</i>	<i>WSW 1/8 - 1/4 (0.174 mi.)</i>	<i>G32</i>	<i>44</i>
<i>AUTO CENTER</i>	<i>420 W REDLANDS BLVD</i>	<i>SW 1/8 - 1/4 (0.177 mi.)</i>	<i>H34</i>	<i>45</i>

### Local Land Records

DEED: The use of recorded land use restrictions is one of the methods the DTSC uses to protect the public from unsafe exposures to hazardous substances and wastes .

A review of the DEED list, as provided by EDR, and dated 12/14/2010 has revealed that there is 1 DEED site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>EDISON/REDLANDS II (REDLANDS B</i>	<i>501-525 W. REDLANDS BL.</i>	<i>WSW 1/8 - 1/4 (0.219 mi.)</i>	<i>L48</i>	<i>68</i>

## EXECUTIVE SUMMARY

### ***Other Ascertainable Records***

RCRA-NonGen: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA-NonGen list, as provided by EDR, and dated 02/17/2010 has revealed that there are 2 RCRA-NonGen sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>JIM GLAZE AUTO CENTER</b>	<b>420 W REDLANDS BLVD</b>	<b>SW 1/8 - 1/4 (0.177 mi.)</b>	<b>H35</b>	<b>47</b>
JIM GLAZE INC MAZDA	500 W REDLANDS BLVD	WSW 1/8 - 1/4 (0.218 mi.)	L47	66

HIST CORTESE: The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSTITES].

A review of the HIST CORTESE list, as provided by EDR, and dated 04/01/2001 has revealed that there are 7 HIST CORTESE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MOBIL #08-EV5</b>	<b>604 ORANGE</b>	<b>NE 0 - 1/8 (0.080 mi.)</b>	<b>B14</b>	<b>27</b>
STATER BROS. SITE	11	S 1/4 - 1/2 (0.257 mi.)	Q71	102
<b>BP WEST COAST PRODUCTS LLC 971</b>	<b>902 ORANGE ST</b>	<b>NNE 1/4 - 1/2 (0.312 mi.)</b>	<b>R75</b>	<b>104</b>
<b>REDLANDS BATTERY</b>	<b>305</b>	<b>NE 1/4 - 1/2 (0.334 mi.)</b>	<b>78</b>	<b>110</b>
<b>RICH OIL CO., INC</b>	<b>1029 ORANGE</b>	<b>N 1/4 - 1/2 (0.415 mi.)</b>	<b>81</b>	<b>113</b>
<b>PERFORMANCE AUTO</b>	<b>520 STATE</b>	<b>ESE 1/4 - 1/2 (0.430 mi.)</b>	<b>T83</b>	<b>115</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ARCO #6052</b>	<b>539 REDLANDS</b>	<b>WSW 1/8 - 1/4 (0.239 mi.)</b>	<b>L69</b>	<b>99</b>

DRYCLEANERS: A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaners' agents; linen supply; coin-operated laundries and cleaning; drycleaning plants except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

A review of the DRYCLEANERS list, as provided by EDR, and dated 09/15/2010 has revealed that there are 2 DRYCLEANERS sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ORANGE PLAZA CLEANERS</b>	<b>450 ORANGE ST</b>	<b>E 0 - 1/8 (0.063 mi.)</b>	<b>B10</b>	<b>14</b>
<b>DUTCH GIRL DRY CLEANERS</b>	<b>34 W COLTON AVE</b>	<b>N 1/8 - 1/4 (0.222 mi.)</b>	<b>N52</b>	<b>80</b>



## EXECUTIVE SUMMARY

San Bern. Co. Permit: San Bernardino County Fire Department Hazardous Materials Division.

A review of the San Bern. Co. Permit list, as provided by EDR, and dated 12/08/2010 has revealed that there are 23 San Bern. Co. Permit sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>ORANGE PLAZA CLEANERS</b>	<b>450 ORANGE ST</b>	<b>E 0 - 1/8 (0.063 mi.)</b>	<b>B10</b>	<b>14</b>
VONS #1734 - REDLANDS	522 N ORANGE ST	ENE 0 - 1/8 (0.067 mi.)	B11	22
CHIPOTLE MEXICAN GRILL #215	635 ORANGE ST	NE 0 - 1/8 (0.083 mi.)	17	30
BEACON PRINTERY	336 ORANGE ST	SE 0 - 1/8 (0.085 mi.)	18	30
REDLANDS MALL	100 REDLANDS MALL	S 0 - 1/8 (0.123 mi.)	E22	36
<b>SAV-ON #9701</b>	<b>101 REDLANDS MALL</b>	<b>S 1/8 - 1/4 (0.134 mi.)</b>	<b>E26</b>	<b>38</b>
DENNY'S RESTAURANT #7284	9 W REDLANDS BLVD	SSE 1/8 - 1/4 (0.144 mi.)	E27	40
CENTENNIAL PLAZA, LLC	101 E REDLANDS BLVD	SE 1/8 - 1/4 (0.179 mi.)	I38	53
<b>REDLANDS SHELL</b>	<b>127 E REDLANDS BLVD</b>	<b>SE 1/8 - 1/4 (0.190 mi.)</b>	<b>I42</b>	<b>59</b>
<b>DUTCH GIRL DRY CLEANERS</b>	<b>34 W COLTON AVE</b>	<b>N 1/8 - 1/4 (0.222 mi.)</b>	<b>N52</b>	<b>80</b>
GREG'S GARAGE	221 E STUART AVE	E 1/8 - 1/4 (0.225 mi.)	J53	84
<b>EXCEL AUTO WHOLESALE</b>	<b>305 W COLTON AVE</b>	<b>NNW 1/8 - 1/4 (0.225 mi.)</b>	<b>O55</b>	<b>85</b>
OLD TOWN LA QUINTA GAS STN	201 E REDLANDS BLVD	ESE 1/8 - 1/4 (0.226 mi.)	K57	88
<b>STATER BROS MARKETS #018</b>	<b>11 E COLTON AVE</b>	<b>NNE 1/8 - 1/4 (0.231 mi.)</b>	<b>N64</b>	<b>93</b>
CITROGRAPH PRINTING CO.	113 E STATE ST	SE 1/8 - 1/4 (0.231 mi.)	P66	95
HONDA YAMAHA OF REDLANDS	215 E REDLANDS BLVD	ESE 1/8 - 1/4 (0.233 mi.)	K67	96

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SALERNO'S SERVICENTER</b>	<b>609 3RD ST</b>	<b>N 0 - 1/8 (0.074 mi.)</b>	<b>C13</b>	<b>26</b>
<b>REDLANDS AUTO ELECTRIC</b>	<b>349 N EUREKA</b>	<b>SW 0 - 1/8 (0.097 mi.)</b>	<b>D19</b>	<b>31</b>
FIRESTONE TIRE & RUBBER	300 W REDLANDS BLVD	SSW 1/8 - 1/4 (0.132 mi.)	F23	37
RONDOR AUTO SERVICE	440 ORIENTAL AVE	WSW 1/8 - 1/4 (0.174 mi.)	G33	45
<b>TOM BELL'S REDLANDS AUTO PLAZA</b>	<b>500 W REDLANDS BLVD</b>	<b>WSW 1/8 - 1/4 (0.218 mi.)</b>	<b>L46</b>	<b>65</b>
<b>CBS AUTO REPAIR</b>	<b>525 W STUART ST</b>	<b>W 1/8 - 1/4 (0.221 mi.)</b>	<b>M50</b>	<b>78</b>
INLAND VALLEY AUTOMOTIVE, INC	525 W STUART AVE	W 1/8 - 1/4 (0.221 mi.)	M51	80

HWP: Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

A review of the HWP list, as provided by EDR, and dated 08/09/2010 has revealed that there is 1 HWP site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>TELEDYNE TECH INC TELEDYNE CON</b>	<b>840 W BROCKTON AVE</b>	<b>NW 1/2 - 1 (0.618 mi.)</b>	<b>U85</b>	<b>118</b>

### EDR PROPRIETARY RECORDS

#### **EDR Proprietary Records**

Manufactured Gas Plants: The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste.

## EXECUTIVE SUMMARY

Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

A review of the Manufactured Gas Plants list, as provided by EDR, has revealed that there are 2 Manufactured Gas Plants sites within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EDISON/REDLANDS MGP	501-525 W REDLANDS AT K	WSW 1/8 - 1/4 (0.219 mi.)	L49	77
SO CAL GAS/REDLANDS MGP	STATE STREET AT REDLAND	WSW 1/4 - 1/2 (0.290 mi.)	72	102

EDR Historical Auto Stations: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc.

A review of the EDR Historical Auto Stations list, as provided by EDR, has revealed that there are 2 EDR Historical Auto Stations sites within approximately 0.25 miles of the target property.

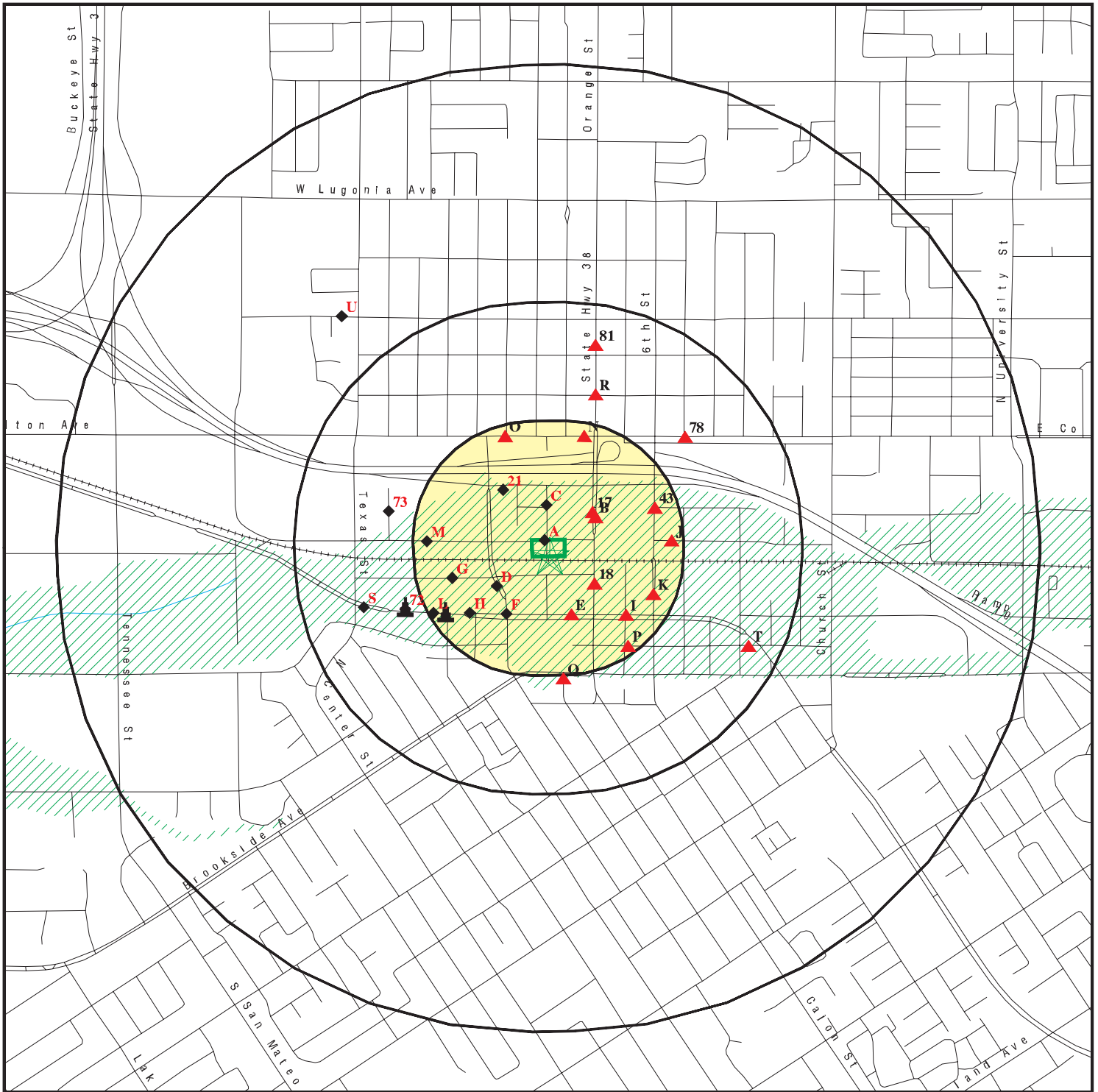
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
COLES R J	443 6TH	E 1/8 - 1/4 (0.188 mi.)	J39	53
BECKLEY J H	304 6TH	ESE 1/8 - 1/4 (0.203 mi.)	K44	64







## EXECUTIVE SUMMARY






Due to poor or inadequate address information, the following sites were not mapped. Count: 20 records.

<u>Site Name</u>	<u>Database(s)</u>
SO CAL GAS/REDLANDS (STAT	HIST CORTESE
FORT IRWIN LUCKY FUSE DISPOSAL	CHMIRS,HIST CORTESE,WMUDS/SWAT
JORCO CHEMICAL COMPANY	SWEEPS UST
ALLESSANDRO GROVES	FID,SWEEPS UST
CHURCH ST. LANDFILL	CERCLIS-NFRAP
UNIVERSAL RUNDEL	CERCLIS-NFRAP
CITY OF REDLANDS WELL FIELD	CERCLIS-NFRAP
REDLANDS FARMING CO	CERCLIS-NFRAP
TELEDYNE BATTERY	LUST SAN MATEO
CITY OF REDLAND/WASTE WATER	HAZNET
OLIVAS PARK	FINDS
JORCO CHEMICAL COMPANY	PERMITS SAN BERNARDINO
AT&T MOBILITY-LEGACY/ORANGE #50916	PERMITS SAN BERNARDINO
REDLANDS PAVILLION CLEANERS	PERMITS SAN BERNARDINO
JORCO CHEMICAL CO.	SLIC REGION 2
HOLLIDAY TRUCKING, INC.	MINES
CALIFORNIA PORTLAND CEMENT CO	MINES
CALIFORNIA PORTLAND CEMENT CO.	MINES
CEMEX, INC.	MINES
ROBERTSONS READY MIX, INC.	MINES

# OVERVIEW MAP - 3007467.1s



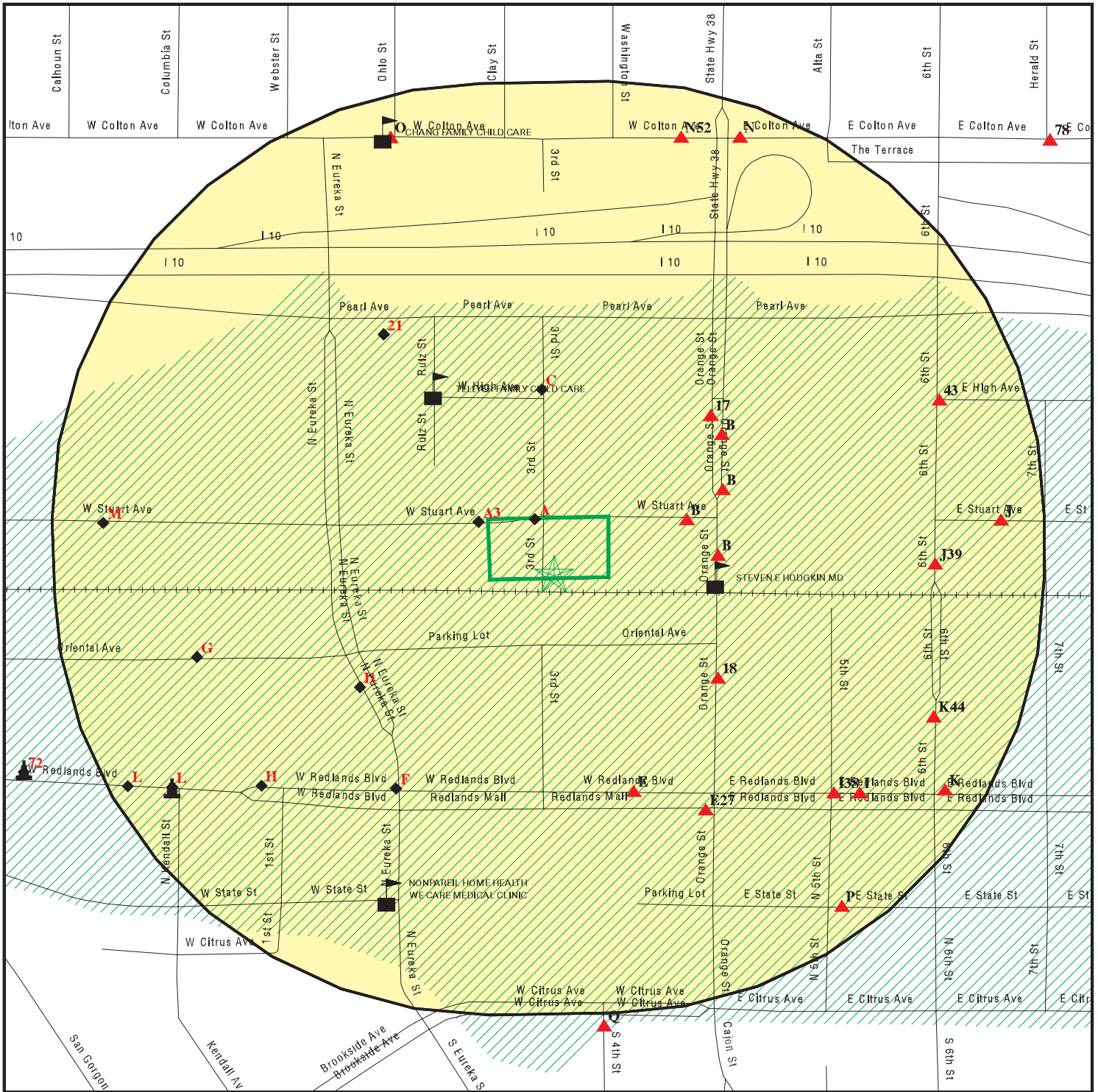
-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  National Priority List Sites
-  Dept. Defense Sites








-  Indian Reservations BIA
-  Oil & Gas pipelines
-  100-year flood zone
-  500-year flood zone
-  Areas of Concern






SITE NAME: Redland Park Once Parking Structure  
 ADDRESS: Third Street / Stuart Avenue  
 Redlands CA 92374  
 LAT/LONG: 34.0592 / 117.1842

CLIENT: RBF Consulting  
 CONTACT: Wesley Salter  
 INQUIRY #: 3007467.1s  
 DATE: March 07, 2011 7:38 pm

# DETAIL MAP - 3007467.1s



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Oil & Gas pipelines
-  100-year flood zone
-  500-year flood zone
-  Areas of Concern

SITE NAME: Redland Park Once Parking Structure  
 ADDRESS: Third Street / Stuart Avenue  
 Redlands CA 92374  
 LAT/LONG: 34.0592 / 117.1842

CLIENT: RBF Consulting  
 CONTACT: Wesley Salter  
 INQUIRY #: 3007467.1s  
 DATE: March 07, 2011 7:39 pm

## MAP FINDINGS SUMMARY

Database	Target Property	Search Distance (Miles)	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>STANDARD ENVIRONMENTAL RECORDS</b>								
<b><i>Federal NPL site list</i></b>								
NPL		1.000	0	0	0	0	NR	0
Proposed NPL		1.000	0	0	0	0	NR	0
NPL LIENS		TP	NR	NR	NR	NR	NR	0
<b><i>Federal Delisted NPL site list</i></b>								
Delisted NPL		1.000	0	0	0	0	NR	0
<b><i>Federal CERCLIS list</i></b>								
CERCLIS		0.500	0	0	0	NR	NR	0
FEDERAL FACILITY		1.000	0	0	0	0	NR	0
<b><i>Federal CERCLIS NFRAP site List</i></b>								
CERC-NFRAP		0.500	0	0	0	NR	NR	0
<b><i>Federal RCRA CORRACTS facilities list</i></b>								
CORRACTS		1.000	0	0	0	1	NR	1
<b><i>Federal RCRA non-CORRACTS TSD facilities list</i></b>								
RCRA-TSDF		0.500	0	0	0	NR	NR	0
<b><i>Federal RCRA generators list</i></b>								
RCRA-LQG		0.250	0	1	NR	NR	NR	1
RCRA-SQG		0.250	3	4	NR	NR	NR	7
RCRA-CESQG		0.250	0	0	NR	NR	NR	0
<b><i>Federal institutional controls / engineering controls registries</i></b>								
US ENG CONTROLS		0.500	0	0	0	NR	NR	0
US INST CONTROL		0.500	0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS		TP	NR	NR	NR	NR	NR	0
<b><i>State- and tribal - equivalent NPL</i></b>								
RESPONSE		1.000	0	0	0	0	NR	0
<b><i>State- and tribal - equivalent CERCLIS</i></b>								
ENVIROSTOR		1.000	0	1	0	1	NR	2
<b><i>State and tribal landfill and/or solid waste disposal site lists</i></b>								
SWF/LF		0.500	0	0	0	NR	NR	0
<b><i>State and tribal leaking storage tank lists</i></b>								
LUST		0.500	1	6	11	NR	NR	18
SLIC		0.500	1	1	0	NR	NR	2

## MAP FINDINGS SUMMARY

Database	Target Property	Search Distance (Miles)	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
INDIAN LUST		0.500	0	0	0	NR	NR	0
<b>State and tribal registered storage tank lists</b>								
UST		0.250	0	2	NR	NR	NR	2
AST		0.250	0	0	NR	NR	NR	0
INDIAN UST		0.250	0	0	NR	NR	NR	0
FEMA UST		0.250	0	0	NR	NR	NR	0
<b>State and tribal voluntary cleanup sites</b>								
VCP		0.500	0	1	0	NR	NR	1
INDIAN VCP		0.500	0	0	0	NR	NR	0
<b>ADDITIONAL ENVIRONMENTAL RECORDS</b>								
<b>Local Brownfield lists</b>								
US BROWNFIELDS		0.500	0	0	0	NR	NR	0
<b>Local Lists of Landfill / Solid Waste Disposal Sites</b>								
DEBRIS REGION 9		0.500	0	0	0	NR	NR	0
ODI		0.500	0	0	0	NR	NR	0
WMUDS/SWAT		0.500	0	0	0	NR	NR	0
SWRCY		0.500	0	0	1	NR	NR	1
HAULERS		TP	NR	NR	NR	NR	NR	0
INDIAN ODI		0.500	0	0	0	NR	NR	0
<b>Local Lists of Hazardous waste / Contaminated Sites</b>								
US CDL		TP	NR	NR	NR	NR	NR	0
HIST Cal-Sites		1.000	0	0	0	0	NR	0
SCH		0.250	0	0	NR	NR	NR	0
Toxic Pits		1.000	0	0	0	0	NR	0
CDL		TP	NR	NR	NR	NR	NR	0
US HIST CDL		TP	NR	NR	NR	NR	NR	0
<b>Local Lists of Registered Storage Tanks</b>								
CA FID UST		0.250	5	9	NR	NR	NR	14
HIST UST		0.250	9	6	NR	NR	NR	15
SWEEPS UST		0.250	5	9	NR	NR	NR	14
<b>Local Land Records</b>								
LIENS 2		TP	NR	NR	NR	NR	NR	0
LUCIS		0.500	0	0	0	NR	NR	0
LIENS		TP	NR	NR	NR	NR	NR	0
DEED		0.500	0	1	0	NR	NR	1
<b>Records of Emergency Release Reports</b>								
HMIRS		TP	NR	NR	NR	NR	NR	0
CHMIRS		TP	NR	NR	NR	NR	NR	0
LDS		TP	NR	NR	NR	NR	NR	0

## MAP FINDINGS SUMMARY

Database	Target Property	Search Distance (Miles)	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
MCS		TP	NR	NR	NR	NR	NR	0
<b>Other Ascertainable Records</b>								
RCRA-NonGen		0.250	0	2	NR	NR	NR	2
DOT OPS		TP	NR	NR	NR	NR	NR	0
DOD		1.000	0	0	0	0	NR	0
FUDS		1.000	0	0	0	0	NR	0
CONSENT		1.000	0	0	0	0	NR	0
ROD		1.000	0	0	0	0	NR	0
UMTRA		0.500	0	0	0	NR	NR	0
MINES		0.250	0	0	NR	NR	NR	0
TRIS		TP	NR	NR	NR	NR	NR	0
TSCA		TP	NR	NR	NR	NR	NR	0
FTTS		TP	NR	NR	NR	NR	NR	0
HIST FTTS		TP	NR	NR	NR	NR	NR	0
SSTS		TP	NR	NR	NR	NR	NR	0
ICIS		TP	NR	NR	NR	NR	NR	0
PADS		TP	NR	NR	NR	NR	NR	0
MLTS		TP	NR	NR	NR	NR	NR	0
RADINFO		TP	NR	NR	NR	NR	NR	0
FINDS		TP	NR	NR	NR	NR	NR	0
RAATS		TP	NR	NR	NR	NR	NR	0
CA BOND EXP. PLAN		1.000	0	0	0	0	NR	0
WDS		TP	NR	NR	NR	NR	NR	0
NPDES		TP	NR	NR	NR	NR	NR	0
Cortese		0.500	0	0	0	NR	NR	0
HIST CORTESE		0.500	1	1	5	NR	NR	7
Notify 65		1.000	0	0	0	0	NR	0
DRYCLEANERS		0.250	1	1	NR	NR	NR	2
WIP		0.250	0	0	NR	NR	NR	0
San Bern. Co. Permit		0.250	7	16	NR	NR	NR	23
HAZNET		TP	NR	NR	NR	NR	NR	0
EMI		TP	NR	NR	NR	NR	NR	0
INDIAN RESERV		1.000	0	0	0	0	NR	0
SCRD DRYCLEANERS		0.500	0	0	0	NR	NR	0
FINANCIAL ASSURANCE		TP	NR	NR	NR	NR	NR	0
HWP		1.000	0	0	0	1	NR	1
HWT		0.250	0	0	NR	NR	NR	0
COAL ASH EPA		0.500	0	0	0	NR	NR	0
PCB TRANSFORMER		TP	NR	NR	NR	NR	NR	0
PROC		0.500	0	0	0	NR	NR	0
MWMP		0.250	0	0	NR	NR	NR	0
COAL ASH DOE		TP	NR	NR	NR	NR	NR	0
<b>EDR PROPRIETARY RECORDS</b>								
<b>EDR Proprietary Records</b>								
Manufactured Gas Plants		1.000	0	1	1	0	NR	2
EDR Historical Auto Stations		0.250	0	2	NR	NR	NR	2
EDR Historical Cleaners		0.250	0	0	NR	NR	NR	0



## MAP FINDINGS SUMMARY

<u>Database</u>	<u>Target Property</u>	<u>Search Distance (Miles)</u>	<u>&lt; 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>&gt; 1</u>	<u>Total Plotted</u>
-----------------	----------------------------	--	-----------------	------------------	------------------	----------------	---------------	--------------------------

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A1**      **RETTIG MACHINE SHOP, INC.**  
**205 W STUART**  
**< 1/8**      **REDLANDS, CA 92374**  
**1 ft.**

**CA FID UST**      **S101619393**  
**SWEEPS UST**      **N/A**

**Site 1 of 3 in cluster A**

**Relative:**  
**Lower**

CA FID UST:  
Facility ID: 36008746  
Regulated By: UTNKA  
Regulated ID: 00018297  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: P O BOX  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92374  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1346 ft.**

**SWEEPS UST:**

Status: A  
Comp Number: 18297  
Number: 9  
Board Of Equalization: Not reported  
Ref Date: 03-24-92  
Act Date: 03-24-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1  
Swrcb Tank Id: 36-000-018297-000001  
Actv Date: 07-01-85  
Capacity: 1000  
Tank Use: M.V. FUEL  
Stg: P  
Content: LEADED  
Number Of Tanks: 1

**A2**      **RETTIG MACHINE SHOP, INC.**  
**205 W STUART AVE**  
**< 1/8**      **REDLANDS, CA 92374**  
**1 ft.**

**HIST UST**      **U001575512**  
**N/A**

**Site 2 of 3 in cluster A**

**Relative:**  
**Lower**

HIST UST:  
Region: STATE  
Facility ID: 00000018297  
Facility Type: Other  
Other Type: MACHINE SHOP  
Total Tanks: 0001  
Contact Name: FRANZ RETTIG  
Telephone: 7147937811  
Owner Name: RETTIG MACHINE SHOP, INC.  
Owner Address: 205 W. STUART AVE

**Actual:**  
**1346 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**RETTIG MACHINE SHOP, INC. (Continued)**

**U001575512**

Owner City,St,Zip: REDLANDS, CA 92374

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00001000  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: Not reported  
Leak Detection: None

**A3**  
**West**  
**< 1/8**  
**0.005 mi.**  
**28 ft.**

**INLAND CONTRACTORS, INC.**  
**254 W STUART AVE**  
**REDLANDS, CA 92374**

**HIST UST** **U001575503**  
**N/A**

**Site 3 of 3 in cluster A**

**Relative:**  
**Lower**

HIST UST:  
Region: STATE  
Facility ID: 00000049158  
Facility Type: Other  
Other Type: BUILDING CONTRACTOR  
Total Tanks: 0001  
Contact Name: GEORGE E. FIKRLE  
Telephone: 7147933261  
Owner Name: INLAND CONTRACTORS, INC.  
Owner Address: 254 WEST STUART AVE.  
Owner City,St,Zip: REDLANDS, CA 92374

**Actual:**  
**1343 ft.**

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00000500  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: Not reported  
Leak Detection: None

**B4**  
**East**  
**< 1/8**  
**0.045 mi.**  
**237 ft.**

**CANYON CITY TRANSFER & STORAGE**  
**31 W STUART AVE**  
**REDLANDS, CA 92374**

**HIST UST** **U001575498**  
**N/A**

**Site 1 of 11 in cluster B**

**Relative:**  
**Higher**

HIST UST:  
Region: STATE  
Facility ID: 00000054360  
Facility Type: Other  
Other Type: TRUCKING  
Total Tanks: 0001  
Contact Name: DAVID S. COWAN  
Telephone: 7147932215  
Owner Name: CANYON CITY TRANSFER & STORAGE  
Owner Address: 31 W. STUART AVE.  
Owner City,St,Zip: REDLANDS, CA 92374

**Actual:**  
**1354 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANYON CITY TRANSFER & STORAGE (Continued)**

**U001575498**

Tank Num: 001  
Container Num: 1  
Year Installed: 1958  
Tank Capacity: 00001000  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: Not reported  
Leak Detection: Visual, Stock Inventor

**B5**  
**East**  
**< 1/8**  
**0.045 mi.**  
**237 ft.**

**TRUSTORE RESOURCES**  
**31 W STUART AVE**  
**REDLANDS, CA 92374**  
**Site 2 of 11 in cluster B**

**CA FID UST S101619387**  
**SWEEPS UST N/A**  
**HAZNET**

**Relative:**  
**Higher**

CA FID UST:  
Facility ID: 36009130  
Regulated By: UTNKA  
Regulated ID: 00054360  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 31 W STUART AVE  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92374  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1354 ft.**

SWEEPS UST:  
Status: A  
Comp Number: 54360  
Number: 9  
Board Of Equalization: 44-021209  
Ref Date: 09-10-91  
Act Date: 09-10-91  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1  
Swrcb Tank Id: 36-000-054360-000001  
Actv Date: 07-01-85  
Capacity: 1000  
Tank Use: M.V. FUEL  
Stg: P  
Content: LEADED  
Number Of Tanks: 1

HAZNET:  
Gepaid: CAC001040744  
Contact: JOANIE EIDSVOOG  
Telephone: 0000000000  
Facility Addr2: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TRUSTORE RESOURCES (Continued)**

**S101619387**

Mailing Name: Not reported  
Mailing Address: 750 TERRADO PLAZA STE 111  
Mailing City,St,Zip: COVINA, CA 917230000  
Gen County: San Bernardino  
TSD EPA ID: CAT080013352  
TSD County: Los Angeles  
Waste Category: Waste oil and mixed oil  
Disposal Method: Recycler  
Tons: .4587  
Facility County: San Bernardino

Gepaid: CAC002623146  
Contact: KAREN PRESTON  
Telephone: 9093354755  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 35 CAJON ST  
Mailing City,St,Zip: REDLANDS, CA 923734746  
Gen County: San Bernardino  
TSD EPA ID: CAD982444481  
TSD County: San Bernardino  
Waste Category: Other organic solids  
Disposal Method: H010  
Tons: 0.02  
Facility County: San Bernardino

Gepaid: CAC002623146  
Contact: KAREN PRESTON  
Telephone: 9093354755  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 35 CAJON ST  
Mailing City,St,Zip: REDLANDS, CA 923734746  
Gen County: San Bernardino  
TSD EPA ID: CAD982444481  
TSD County: San Bernardino  
Waste Category: Unspecified oil-containing waste  
Disposal Method: H141  
Tons: 0.22  
Facility County: San Bernardino

**B6**  
**East**  
**< 1/8**  
**0.050 mi.**  
**262 ft.**

**GRIGSBY BROS.**  
**21 W STUART AVE**  
**REDLANDS, CA 92373**  
**Site 3 of 11 in cluster B**

**HIST UST** **U001575416**  
**N/A**

**Relative:**  
**Higher**

HIST UST:  
Region: STATE  
Facility ID: 00000060558  
Facility Type: Other  
Other Type: SUPPLIER  
Total Tanks: 0000  
Contact Name: Not reported  
Telephone: 7147923730  
Owner Name: JOHN M. & GARNET GRIGSBY  
Owner Address: 132 TERRACINA BLVD.  
Owner City,St,Zip: REDLANDS, CA 92373

**Actual:**  
**1355 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GRIGSBY BROS. (Continued)**

**U001575416**

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00001000  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: .25 inches  
Leak Detection: None

Tank Num: 002  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00000500  
Tank Used for: PRODUCT  
Type of Fuel: 06  
Tank Construction: Not reported  
Leak Detection: None

**B7**  
**East**  
**< 1/8**  
**0.050 mi.**  
**262 ft.**

**GRIGSBY BROS**  
**21 W STUART AVE**  
**REDLANDS, CA 92374**

**HIST UST** **U001575502**  
**N/A**

**Site 4 of 11 in cluster B**

**Relative:**  
**Higher**

HIST UST:

Region: STATE  
Facility ID: 0000008401  
Facility Type: Other  
Other Type: AG SUPPLIER  
Total Tanks: 0002  
Contact Name: Not reported  
Telephone: 7147923730  
Owner Name: GRIGSBY BROS.  
Owner Address: 21 WEST STUART AVE  
Owner City,St,Zip: REDLANDS, CA 92374

**Actual:**  
**1355 ft.**

Tank Num: 001  
Container Num: 1  
Year Installed: 1972  
Tank Capacity: 00005000  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Tank Construction: Not reported  
Leak Detection: Stock Inventor

Tank Num: 002  
Container Num: 2  
Year Installed: 1974  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Tank Construction: Not reported  
Leak Detection: Stock Inventor

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**B8**  
**ENE**  
 < 1/8  
 0.062 mi.  
 327 ft.

**REDLANDS VALLEY MEAT**  
**523 ORANGE ST**  
**REDLANDS, CA 92373**  
**Site 5 of 11 in cluster B**

**CA FID UST** **S101591610**  
**SWEEPS UST** **N/A**

**Relative:**  
**Higher**

CA FID UST:  
 Facility ID: 36008493  
 Regulated By: UTNKA  
 Regulated ID: Not reported  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: Not reported  
 Mail To: Not reported  
 Mailing Address: 523 ORANGE ST  
 Mailing Address 2: Not reported  
 Mailing City, St, Zip: REDLANDS 92373  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNS Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**Actual:**  
 1356 ft.

SWEEPS UST:  
 Status: A  
 Comp Number: 9465  
 Number: 9  
 Board Of Equalization: 44-020200  
 Ref Date: 03-24-92  
 Act Date: 03-24-92  
 Created Date: 09-07-88  
 Tank Status: A  
 Owner Tank Id: Not reported  
 Swrcb Tank Id: 36-000-009465-000001  
 Actv Date: 09-07-88  
 Capacity: 1  
 Tank Use: UNKNOWN  
 Stg: P  
 Content: UNKNOWN  
 Number Of Tanks: 1

**B9**  
**East**  
 < 1/8  
 0.063 mi.  
 331 ft.

**CITRUS VILLAGE TOWING**  
**418 ORANGE ST**  
**REDLANDS, CA 92374**  
**Site 6 of 11 in cluster B**

**HIST UST** **U001575500**  
**N/A**

**Relative:**  
**Higher**

HIST UST:  
 Region: STATE  
 Facility ID: 00000064263  
 Facility Type: Other  
 Other Type: TOWING  
 Total Tanks: 0005  
 Contact Name: DAN MADDEN  
 Telephone: 7147933629  
 Owner Name: KEN ADAY  
 Owner Address: 1384 CRESTWOOD DR.

**Actual:**  
 1357 ft.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CITRUS VILLAGE TOWING (Continued)**

**U001575500**

Owner City,St,Zip: REDLANDS, CA 92373

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported  
Leak Detection: None

Tank Num: 002  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported  
Leak Detection: None

Tank Num: 003  
Container Num: 3  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported  
Leak Detection: None

Tank Num: 004  
Container Num: 4  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: WASTE OIL  
Tank Construction: Not reported  
Leak Detection: None

Tank Num: 005  
Container Num: 5  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: WASTE OIL  
Tank Construction: Not reported  
Leak Detection: None

**B10**  
**East**  
**< 1/8**  
**0.063 mi.**  
**332 ft.**

**ORANGE PLAZA CLEANERS**  
**450 ORANGE ST**  
**REDLANDS, CA**  
**Site 7 of 11 in cluster B**

**SLIC** **S103888486**  
**DRYCLEANERS** **N/A**  
**San Bern. Co. Permit**  
**HAZNET**

**Relative:**  
**Higher**

**SLIC:**  
Region: STATE  
**Facility Status:** **Completed - Case Closed**  
Status Date: 2003-04-04 00:00:00  
Global Id: SLT8R1664149

**Actual:**  
**1357 ft.**



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

Lead Agency: SANTA ANA RWQCB (REGION 8)  
Lead Agency Case Number: Not reported  
Latitude: 34.05886  
Longitude: -117.181673  
Case Type: Cleanup Program Site  
Case Worker: MGC  
Local Agency: Not reported  
RB Case Number: SLT8R166  
File Location: Regional Board  
Potential Media Affected: Soil  
Potential Contaminants of Concern: Not reported  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**SLIC:**

Type: Soil and Groundwater  
Facility Status: Closed  
Region: 8  
Staff: MGC  
Substance: MGC  
Lead Agency: MGC  
Location Code: MGC  
Thomas Bros Code: MGC

**DRYCLEANERS:**

EPA Id: CAL000332938  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7389  
SIC Description: Business Services, NEC (apparel pressing service for the trade)  
Create Date: 5/23/2008 2:07:00 PM  
Facility Active: Yes  
Inactive Date: Not reported  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: BOB RAMA  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: BOB RAMA  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000244951  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7212  
SIC Description: Garment Pressing, and Agents for Laundries and Drycleaners  
Create Date: 2/22/2002

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

Facility Active: No  
Inactive Date: 6/30/2006 10:14:00 AM  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: SURENDRA PATEL  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: SURENDRA PATEL  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000332938  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7212  
SIC Description: Garment Pressing, and Agents for Laundries and Drycleaners  
Create Date: 5/23/2008 2:07:00 PM  
Facility Active: Yes  
Inactive Date: Not reported  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: BOB RAMA  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: BOB RAMA  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000244951  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7219  
SIC Description: Laundry and Garment Services, NEC (except diaper service and clothing alteration and repair)  
Create Date: 2/22/2002  
Facility Active: No  
Inactive Date: 6/30/2006 10:14:00 AM  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

Owner Name: SURENDRA PATEL  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: SURENDRA PATEL  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000244951  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7211  
SIC Description: Power Laundries, Family and Commercial  
Create Date: 2/22/2002  
Facility Active: No  
Inactive Date: 6/30/2006 10:14:00 AM  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: SURENDRA PATEL  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: SURENDRA PATEL  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000244951  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7216  
SIC Description: Drycleaning Plants, Except Rug Cleaning  
Create Date: 2/22/2002  
Facility Active: No  
Inactive Date: 6/30/2006 10:14:00 AM  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: SURENDRA PATEL  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: SURENDRA PATEL  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

EPA Id: CAL000332938  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7219  
SIC Description: Laundry and Garment Services, NEC (except diaper service and clothing alteration and repair)  
Create Date: 5/23/2008 2:07:00 PM  
Facility Active: Yes  
Inactive Date: Not reported  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: BOB RAMA  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: BOB RAMA  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000332938  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7211  
SIC Description: Power Laundries, Family and Commercial  
Create Date: 5/23/2008 2:07:00 PM  
Facility Active: Yes  
Inactive Date: Not reported  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: BOB RAMA  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: BOB RAMA  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAC002558042  
NAICS Code: Not reported  
NAICS Description: Not reported  
SIC Code: Not reported  
SIC Description: Not reported  
Create Date: 10/25/2002 1:41:00 PM  
Facility Active: No  
Inactive Date: 8/19/2003 10:43:00 AM  
Facility Addr2: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

Mailing Name: Not reported  
Mailing Address: 1551 N TUSTIN AVE STE 650  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 92705  
Region Code: 4  
Owner Name: TRIPLE NET PROPERTIES INC  
Owner Address: 1551 N TUSTIN AVE STE 650  
Owner Address 2: Not reported  
Owner Telephone: 7146678252  
Contact Name: KENT PETERS  
Contact Address: 1551 N TUSTIN AVE STE 650  
Contact Address 2: Not reported  
Contact Telephone: 7146678252

EPA Id: CAL000244951  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7389  
SIC Description: Business Services, NEC (apparel pressing service for the trade)  
Create Date: 2/22/2002  
Facility Active: No  
Inactive Date: 6/30/2006 10:14:00 AM  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: SURENDRA PATEL  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported  
Owner Telephone: 9097922612  
Contact Name: SURENDRA PATEL  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612

EPA Id: CAL000332938  
NAICS Code: 81232  
NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)  
SIC Code: 7216  
SIC Description: Drycleaning Plants, Except Rug Cleaning  
Create Date: 5/23/2008 2:07:00 PM  
Facility Active: Yes  
Inactive Date: Not reported  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: BOB RAMA  
Owner Address: 450 ORANGE ST  
Owner Address 2: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

Owner Telephone: 9097922612  
Contact Name: BOB RAMA  
Contact Address: 450 ORANGE ST  
Contact Address 2: Not reported  
Contact Telephone: 9097922612  
  
EPA Id: CAL000034900  
NAICS Code: Not reported  
NAICS Description: Not reported  
SIC Code: Not reported  
SIC Description: Not reported  
Create Date: 7/5/1990  
Facility Active: No  
Inactive Date: 6/30/1998  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST # N  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: RO WALTER  
Owner Address: --  
Owner Address 2: Not reported  
Owner Telephone: 0000000000  
Contact Name: --  
Contact Address: INACT PER 98VQ FINAL NOTICE  
Contact Address 2: - BATCH 4/27  
Contact Telephone: --

EPA Id: CAL000038708  
NAICS Code: Not reported  
NAICS Description: Not reported  
SIC Code: Not reported  
SIC Description: Not reported  
Create Date: 8/1/1990  
Facility Active: No  
Inactive Date: 6/30/1998  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST # N  
Mailing Address 2: Not reported  
Mailing State: CA  
Mailing Zip: 923743206  
Region Code: 4  
Owner Name: RO WALTER K  
Owner Address: --  
Owner Address 2: Not reported  
Owner Telephone: 0000000000  
Contact Name: --  
Contact Address: INACT PER 98VQ FINAL NOTICE  
Contact Address 2: - BATCH 4/27  
Contact Telephone: --

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0005112

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

Owner: RAMA, BHARAT  
Permit Number: PT0007831  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005112  
Owner: RAMA, BHARAT  
Permit Number: PT0007832  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

**HAZNET:**

Gepaid: CAL000244951  
Contact: SURENDRA PATEL  
Telephone: 9097922612  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 N ORANGE ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Los Angeles  
Waste Category: Liquids with halogenated organic compounds > 1000 mg/l  
Disposal Method: Transfer Station  
Tons: 0.23  
Facility County: Not reported

Gepaid: CAL000038708  
Contact: RO WALTER K  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST # N  
Mailing City,St,Zip: REDLANDS, CA 923743206  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene, etc.)  
Disposal Method: Recycler  
Tons: .2774  
Facility County: San Bernardino

Gepaid: CAL000038708  
Contact: RO WALTER K  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 450 ORANGE ST # N  
Mailing City,St,Zip: REDLANDS, CA 923743206  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene,

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ORANGE PLAZA CLEANERS (Continued)**

**S103888486**

etc.)  
 Disposal Method: Recycler  
 Tons: .2732  
 Facility County: San Bernardino

Gepaid: CAL000038708  
 Contact: RO WALTER K  
 Telephone: 0000000000  
 Facility Addr2: Not reported  
 Mailing Name: Not reported  
 Mailing Address: 450 ORANGE ST # N  
 Mailing City,St,Zip: REDLANDS, CA 923743206  
 Gen County: San Bernardino  
 TSD EPA ID: CAD981397417  
 TSD County: Los Angeles  
 Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene, etc.)

Disposal Method: Recycler  
 Tons: .0625  
 Facility County: San Bernardino

Gepaid: CAL000038708  
 Contact: --  
 Telephone: --  
 Facility Addr2: Not reported  
 Mailing Name: Not reported  
 Mailing Address: 450 ORANGE ST # N  
 Mailing City,St,Zip: REDLANDS, CA 923743206  
 Gen County: San Bernardino  
 TSD EPA ID: Not reported  
 TSD County: Los Angeles  
 Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene, etc.)

Disposal Method: Not reported  
 Tons: 0  
 Facility County: Not reported

[Click this hyperlink](#) while viewing on your computer to access 7 additional CA\_HAZNET: record(s) in the EDR Site Report.

**B11**  
**ENE**  
 < 1/8  
 0.067 mi.  
 356 ft.

**VONS #1734 - REDLANDS**  
**522 N ORANGE ST**  
**REDLANDS, CA 92374**  
**Site 8 of 11 in cluster B**

**San Bern. Co. Permit S106911174**  
**N/A**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
 Region: SAN BERNARDINO  
 Facility ID: FA0007165  
 Owner: THE VONS COMPANIES, INC  
 Permit Number: PT0004106  
 Permit Category: LIMITED QUANTITY GENERATOR(B)  
 Facility Status: ACTIVE  
 Expiration Date: 2011-02-28 00:00:00

**Actual:**  
 1356 ft.

Region: SAN BERNARDINO  
 Facility ID: FA0007165  
 Owner: THE VONS COMPANIES, INC



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**VONS #1734 - REDLANDS (Continued)**

**S106911174**

Permit Number: PT0004108  
Permit Category: HAZMAT HANDLER- 100+ EMPLOYEES  
Facility Status: ACTIVE  
Expiration Date: 2011-02-28 00:00:00

**C12**  
**North**  
**< 1/8**  
**0.072 mi.**  
**382 ft.**

**SALERNOS SERVICENTER**  
**609 3RD ST**  
**REDLANDS, CA 92373**

**RCRA-SQG**  
**FINDS**  
**HAZNET**

**1000217141**  
**CAD059279976**

**Site 1 of 2 in cluster C**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 01/24/1986  
Facility name: SALERNOS SERVICENTER  
Facility address: 609 3RD ST  
REDLANDS, CA 92373  
EPA ID: CAD059279976  
Mailing address: PO BOX 869  
REDLANDS, CA 92373  
Contact: ENVIRONMENTAL MANAGER  
Contact address: 609 THIRD ST  
REDLANDS, CA 92373

**Actual:**  
**1343 ft.**

Contact country: US  
Contact telephone: (714) 792-7122  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: ROBER SALERNO  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SALERNOS SERVICENTER (Continued)**

**1000217141**

Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

**FINDS:**

Registry ID: 110002652148

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and its Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

**HAZNET:**

Gepaid: CAD059279976  
Contact: UNDELIVERABLE PER 93 FEE FORM  
Telephone: --  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 609 3RD ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Los Angeles  
Waste Category: Unspecified organic liquid mixture

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SALERNOS SERVICENTER (Continued)**

**1000217141**

Disposal Method: Recycler  
Tons: 0.18  
Facility County: Not reported

Gepaid: CAD059279976  
Contact: UNDELIVERABLE PER 93 FEE FORM  
Telephone: 0  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 609 3RD ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino  
TSD EPA ID: CAL000113451  
TSD County: San Bernardino  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Recycler  
Tons: 0.41  
Facility County: San Bernardino

Gepaid: CAD059279976  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 609 3RD ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino  
TSD EPA ID: CAL000113451  
TSD County: Los Angeles  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Transfer Station  
Tons: 1.1884  
Facility County: San Bernardino

Gepaid: CAD059279976  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 609 3RD ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino  
TSD EPA ID: CAD009452657  
TSD County: San Mateo  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Recycler  
Tons: .1876  
Facility County: San Bernardino

Gepaid: CAD059279976  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 609 3RD ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SALERNOS SERVICENTER (Continued)**

**1000217141**

TSD EPA ID: CAL000113451  
TSD County: Los Angeles  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Recycler  
Tons: .8548  
Facility County: San Bernardino

[Click this hyperlink](#) while viewing on your computer to access 9 additional CA\_HAZNET: record(s) in the EDR Site Report.

**C13**  
**North**  
**< 1/8**  
**0.074 mi.**  
**389 ft.**

**SALERNO'S SERVICENTER**  
**609 3RD ST**  
**REDLANDS, CA 92374**  
**Site 2 of 2 in cluster C**

**CA FID UST** **S101591285**  
**SWEEPS UST** **N/A**  
**San Bern. Co. Permit**

**Relative:**  
**Lower**

CA FID UST:  
Facility ID: 36003682  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 609 THIRD ST  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92374  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1342 ft.**

SWEEPS UST:  
Status: A  
Comp Number: 9958  
Number: 1  
Board Of Equalization: 44-020236  
Ref Date: 03-24-92  
Act Date: 03-24-92  
Created Date: 09-16-88  
Tank Status: A  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-009958-000001  
Actv Date: 09-16-88  
Capacity: 1  
Tank Use: UNKNOWN  
Stg: P  
Content: UNKNOWN  
Number Of Tanks: 1

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0005871  
Owner: SALERNO, ROBERT F.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SALERNO'S SERVICENTER (Continued)**

**S101591285**

Permit Number: PT0002673  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005871  
Owner: SALERNO, ROBERT F.  
Permit Number: PT0002672  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

**B14  
NE  
< 1/8  
0.080 mi.  
425 ft.**

**MOBIL #08-EV5  
604 ORANGE  
REDLANDS, CA 92373**

**HIST CORTESE  
LUST S103943744  
N/A**

**Site 9 of 11 in cluster B**

**Relative:  
Higher**

**CORTESE:**  
Region: CORTESE  
Facility County Code: 36  
Reg By: LTNKA  
Reg Id: 083600252T

**Actual:  
1356 ft.**

**LUST:**

Region: STATE  
Global Id: T0607100031  
Latitude: 34.060659  
Longitude: -117.1825269  
Case Type: LUST Cleanup Site  
Status: Completed - Case Closed  
Status Date: 1988-07-11 00:00:00  
Lead Agency: SAN BERNARDINO COUNTY LOP  
Case Worker: CR2  
Local Agency: SAN BERNARDINO COUNTY LOP  
RB Case Number: 083600252T  
LOC Case Number: 87033  
File Location: Local Agency  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

**LUST REG 8:**

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083600252T  
Local Case Num: 87033  
Case Type: Soil only  
Substance: Regular Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: HIGH

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MOBIL #08-EV5 (Continued)**

**S103943744**

Enf Type: CLOS  
 Funding: Not reported  
 How Discovered: Tank Test  
 How Stopped: Not reported  
 Leak Cause: UNK  
 Leak Source: Tank  
 Global ID: T0607100031  
 How Stopped Date: Not reported  
 Enter Date: 12/31/1986  
 Review Date: Not reported  
 Prelim Assess: Not reported  
 Discover Date: 5/27/1986  
 Enforcement Date: Not reported  
 Close Date: 7/11/1988  
 Workplan: Not reported  
 Pollution Char: 8/25/1987  
 Remed Plan: Not reported  
 Remed Action: Not reported  
 Monitoring: Not reported  
 Enter Date: 12/31/1986  
 GW Qualifies: Not reported  
 Soil Qualifies: Not reported  
 Operator: Not reported  
 Facility Contact: Not reported  
 Interim: Not reported  
 Oversight Program: LUST  
 Latitude: 34.0607605  
 Longitude: -117.1824405  
 MTBE Date: Not reported  
 Max MTBE GW: Not reported  
 MTBE Concentration: 0  
 Max MTBE Soil: Not reported  
 MTBE Fuel: 1  
 MTBE Tested: Site NOT Tested for MTBE. Includes Unknown and Not Analyzed.  
 MTBE Class: \*  
 Staff: RS  
 Staff Initials: CR2  
 Lead Agency: Local Agency  
 Local Agency: 36000L  
 Hydr Basin #: UPPER SANTA ANA VALL  
 Beneficial: Not reported  
 Priority: Not reported  
 Cleanup Fund Id: Not reported  
 Work Suspended: Not reported  
 Summary: Not reported

**B15**  
**NE**  
 < 1/8  
 0.080 mi.  
 425 ft.

**KHOURY'S MOBIL**  
**604 ORANGE ST**  
**REDLANDS, CA 92373**  
**Site 10 of 11 in cluster B**

**HIST UST** **U001575433**  
**N/A**

**Relative:**  
**Higher**

HIST UST:  
 Region: STATE  
 Facility ID: 00000037558  
 Facility Type: Gas Station  
 Other Type: Not reported  
 Total Tanks: 0003

**Actual:**  
**1356 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**KHOURY'S MOBIL (Continued)**

**U001575433**

Contact Name: MICHAEL KHOURY  
Telephone: 7147926115  
Owner Name: MICHAEL A. KHOURY  
Owner Address: 604 ORANGE ST.  
Owner City,St,Zip: REDLANDS, CA 92373

Tank Num: 001  
Container Num: 3  
Year Installed: Not reported  
Tank Capacity: 00026000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported  
Leak Detection: None

Tank Num: 002  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: Not reported  
Leak Detection: None

Tank Num: 003  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: PRODUCT  
Type of Fuel: PREMIUM  
Tank Construction: Not reported  
Leak Detection: None

**B16  
NE  
< 1/8  
0.080 mi.  
425 ft.**

**MICHAEL A. KOHOURY  
604 ORANGE ST  
REDLANDS, CA 92373  
Site 11 of 11 in cluster B**

**HIST UST U001575443  
N/A**

**Relative:  
Higher**

HIST UST:  
Region: STATE  
Facility ID: 00000039435  
Facility Type: Gas Station  
Other Type: Not reported  
Total Tanks: 0004  
Contact Name: Not reported  
Telephone: 7147926115  
Owner Name: MOBIL OIL CORPORATION  
Owner Address: 612 S. FLOWER STREET  
Owner City,St,Zip: LOS ANGELES, CA 90017

**Actual:  
1356 ft.**

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00012000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MICHAEL A. KOHOURY (Continued)**

**U001575443**

Leak Detection: Stock Inventor

Tank Num: 002  
Container Num: 2  
Year Installed: Not reported  
Tank Capacity: 00008000  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: Not reported  
Leak Detection: Stock Inventor

Tank Num: 003  
Container Num: 3  
Year Installed: Not reported  
Tank Capacity: 00006000  
Tank Used for: PRODUCT  
Type of Fuel: REGULAR  
Tank Construction: Not reported  
Leak Detection: Stock Inventor

Tank Num: 004  
Container Num: 4  
Year Installed: Not reported  
Tank Capacity: 00000280  
Tank Used for: WASTE  
Type of Fuel: WASTE OIL  
Tank Construction: Not reported  
Leak Detection: Stock Inventor

17  
NE  
< 1/8  
0.083 mi.  
438 ft.

**CHIPOTLE MEXICAN GRILL #215**  
**635 ORANGE ST**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit S109598516**  
**N/A**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0012362  
Owner: CHIPOTLE MEXICAN GRILL  
Permit Number: PT0021657  
Permit Category: BULK CO2 AT RETAIL FOOD FACILITIES  
Facility Status: ACTIVE  
Expiration Date: 2010-05-31 00:00:00

**Actual:**  
**1355 ft.**

18  
SE  
< 1/8  
0.085 mi.  
450 ft.

**BEACON PRINTERY**  
**336 ORANGE ST**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit S104764223**  
**N/A**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0001389  
Owner: HUNTER, JOHN W  
Permit Number: PT0001539  
Permit Category: LIMITED QUANTITY GENERATOR(B)

**Actual:**  
**1358 ft.**



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BEACON PRINTERY (Continued)**

**S104764223**

Facility Status: INACTIVE  
Expiration Date: 2010-05-31 00:00:00

**D19**  
**SW**  
**< 1/8**  
**0.097 mi.**  
**511 ft.**

**REDLANDS AUTO ELECTRIC**  
**349 N EUREKA**  
**REDLANDS, CA 92374**  
**Site 1 of 2 in cluster D**

**RCRA-SQG 1000595560**  
**FINDS CAD983595109**  
**CA FID UST**  
**SWEEPS UST**  
**San Bern. Co. Permit**  
**HAZNET**

**Relative:**  
**Lower**

**RCRA-SQG:**

**Actual:**  
**1338 ft.**

Date form received by agency: 07/15/1991  
Facility name: REDLANDS AUTO ELECTRIC  
Facility address: 349 N EUREKA  
REDLANDS, CA 92374  
EPA ID: CAD983595109  
Contact: BRYAN HOLTROP  
Contact address: 349 N EUREKA  
REDLANDS, CA 92374  
Contact country: US  
Contact telephone: (714) 792-4776  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: BRYAN HOLTROP  
Owner/operator address: 349 N EUREKA  
REDLANDS, CA 92374  
Owner/operator country: Not reported  
Owner/operator telephone: (714) 792-4776  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
Used oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS AUTO ELECTRIC (Continued)**

**1000595560**

Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

**FINDS:**

Registry ID: 110002852994

**Environmental Interest/Information System**

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

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**CA FID UST:**

Facility ID: 36004398  
Regulated By: UTNKA  
Regulated ID: 00047682  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 349 N EUREKA  
Mailing Address 2: Not reported  
Mailing City, St, Zip: REDLANDS 92374  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS AUTO ELECTRIC (Continued)**

**1000595560**

**SWEEPS UST:**

Status: A  
Comp Number: 47682  
Number: 9  
Board Of Equalization: 44-021089  
Ref Date: 09-10-91  
Act Date: 09-10-91  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1  
Swrcb Tank Id: 36-000-047682-000001  
Actv Date: 07-08-88  
Capacity: 200  
Tank Use: OIL  
Stg: W  
Content: WASTE OIL  
Number Of Tanks: 1

**San Bern. Co. Permit:**

Region: SAN BERNARDINO  
Facility ID: FA0005629  
Owner: COOPER, JAMES A  
Permit Number: PT0002027  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005629  
Owner: COOPER, JAMES A  
Permit Number: PT0002026  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

**HAZNET:**

Gepaid: CAD983595109  
Contact: BRYAN HOLTROP  
Telephone: 9097924776  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 349 N EUREKA ST  
Mailing City,St,Zip: REDLANDS, CA 923743171  
Gen County: San Bernardino  
TSD EPA ID: CAT000613893  
TSD County: Los Angeles  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Not reported  
Tons: .1245  
Facility County: San Bernardino

Gepaid: CAD983595109  
Contact: BRYAN HOLTROP  
Telephone: 9097924776  
Facility Addr2: Not reported  
Mailing Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS AUTO ELECTRIC (Continued)**

**1000595560**

Mailing Address: 349 N EUREKA ST  
Mailing City,St,Zip: REDLANDS, CA 923743171  
Gen County: San Bernardino  
TSD EPA ID: CAT000613893  
TSD County: Los Angeles  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Transfer Station  
Tons: .6225  
Facility County: San Bernardino

Gepaid: CAD983595109  
Contact: BRYAN HOLTROP  
Telephone: 9097924776  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 349 N EUREKA ST  
Mailing City,St,Zip: REDLANDS, CA 923743171  
Gen County: San Bernardino  
TSD EPA ID: CAT000613927  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: .6166  
Facility County: San Bernardino

Gepaid: CAD983595109  
Contact: BRYAN HOLTROP  
Telephone: 9097924776  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 349 N EUREKA ST  
Mailing City,St,Zip: REDLANDS, CA 923743171  
Gen County: San Bernardino  
TSD EPA ID: CAT000613976  
TSD County: Orange  
Waste Category: Liquids with halogenated organic compounds > 1000 mg/l  
Disposal Method: Transfer Station  
Tons: .0333  
Facility County: San Bernardino

Gepaid: CAD983595109  
Contact: BRYAN HOLTROP  
Telephone: 9097924776  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 349 N EUREKA ST  
Mailing City,St,Zip: REDLANDS, CA 923743171  
Gen County: San Bernardino  
TSD EPA ID: CAT000613893  
TSD County: Los Angeles  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: .1708  
Facility County: San Bernardino

MAP FINDINGS

Map ID Direction Distance Elevation	Site		Database(s) EDR ID Number EPA ID Number
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**REDLANDS AUTO ELECTRIC (Continued)**

**1000595560**

[Click this hyperlink](#) while viewing on your computer to access 17 additional CA\_HAZNET: record(s) in the EDR Site Report.

<b>D20</b> <b>SW</b> <b>&lt; 1/8</b> <b>0.097 mi.</b> <b>511 ft.</b>	<b>REDLANDS AUTO ELECTRIC</b> <b>349 N EUREKA ST</b> <b>REDLANDS, CA 92374</b>  <b>Site 2 of 2 in cluster D</b>	<b>HIST UST</b>	<b>U001575509</b> <b>N/A</b>
--	---	-----------------	---------------------------------

<b>Relative:</b> <b>Lower</b>	<table border="0" style="width: 100%;"> <tr><td colspan="2"><b>HIST UST:</b></td></tr> <tr><td>Region:</td><td>STATE</td></tr> <tr><td>Facility ID:</td><td>00000047682</td></tr> <tr><td>Facility Type:</td><td>Other</td></tr> <tr><td>Other Type:</td><td>GARAGE</td></tr> <tr><td>Total Tanks:</td><td>0001</td></tr> <tr><td>Contact Name:</td><td>ARTHUR COOPER</td></tr> <tr><td>Telephone:</td><td>7147924776</td></tr> <tr><td>Owner Name:</td><td>ARTHUR COOPER</td></tr> <tr><td>Owner Address:</td><td>33844 AVE "C"</td></tr> <tr><td>Owner City,St,Zip:</td><td>YUCAIPA, CA 92399</td></tr> <tr><td colspan="2"> </td></tr> <tr><td>Tank Num:</td><td>001</td></tr> <tr><td>Container Num:</td><td>1</td></tr> <tr><td>Year Installed:</td><td>1975</td></tr> <tr><td>Tank Capacity:</td><td>00000200</td></tr> <tr><td>Tank Used for:</td><td>WASTE</td></tr> <tr><td>Type of Fuel:</td><td>WASTE OIL</td></tr> <tr><td>Tank Construction:</td><td>Not reported</td></tr> <tr><td>Leak Detection:</td><td>None</td></tr> </table>	<b>HIST UST:</b>		Region:	STATE	Facility ID:	00000047682	Facility Type:	Other	Other Type:	GARAGE	Total Tanks:	0001	Contact Name:	ARTHUR COOPER	Telephone:	7147924776	Owner Name:	ARTHUR COOPER	Owner Address:	33844 AVE "C"	Owner City,St,Zip:	YUCAIPA, CA 92399			Tank Num:	001	Container Num:	1	Year Installed:	1975	Tank Capacity:	00000200	Tank Used for:	WASTE	Type of Fuel:	WASTE OIL	Tank Construction:	Not reported	Leak Detection:	None
<b>HIST UST:</b>																																									
Region:	STATE																																								
Facility ID:	00000047682																																								
Facility Type:	Other																																								
Other Type:	GARAGE																																								
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Container Num:	1																																								
Year Installed:	1975																																								
Tank Capacity:	00000200																																								
Tank Used for:	WASTE																																								
Type of Fuel:	WASTE OIL																																								
Tank Construction:	Not reported																																								
Leak Detection:	None																																								
<b>Actual:</b> <b>1338 ft.</b>																																									

<b>21</b> <b>NNW</b> <b>&lt; 1/8</b> <b>0.122 mi.</b> <b>642 ft.</b>	<b>REIDS HONDA DOCTOR</b> <b>345 W PEARL</b> <b>REDLANDS, CA 92373</b>	<b>RCRA-SQG</b> <b>FINDS</b>	<b>1000596914</b> <b>CAD983609033</b>
--	--	---------------------------------	--

<b>Relative:</b> <b>Lower</b>	<table border="0" style="width: 100%;"> <tr><td colspan="2"><b>RCRA-SQG:</b></td></tr> <tr><td>Date form received by agency:</td><td>10/21/1991</td></tr> <tr><td>Facility name:</td><td>REIDS HONDA DOCTOR</td></tr> <tr><td>Facility address:</td><td>345 W PEARL</td></tr> <tr><td></td><td>REDLANDS, CA 92373</td></tr> <tr><td>EPA ID:</td><td>CAD983609033</td></tr> <tr><td>Contact:</td><td>JAN GUSTAFASSON</td></tr> <tr><td>Contact address:</td><td>345 W PEARL</td></tr> <tr><td></td><td>REDLANDS, CA 92373</td></tr> <tr><td>Contact country:</td><td>US</td></tr> <tr><td>Contact telephone:</td><td>(714) 793-7805</td></tr> <tr><td>Contact email:</td><td>Not reported</td></tr> <tr><td>EPA Region:</td><td>09</td></tr> <tr><td>Classification:</td><td>Small Small Quantity Generator</td></tr> <tr><td>Description:</td><td>Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time</td></tr> </table>	<b>RCRA-SQG:</b>		Date form received by agency:	10/21/1991	Facility name:	REIDS HONDA DOCTOR	Facility address:	345 W PEARL		REDLANDS, CA 92373	EPA ID:	CAD983609033	Contact:	JAN GUSTAFASSON	Contact address:	345 W PEARL		REDLANDS, CA 92373	Contact country:	US	Contact telephone:	(714) 793-7805	Contact email:	Not reported	EPA Region:	09	Classification:	Small Small Quantity Generator	Description:	Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time
<b>RCRA-SQG:</b>																															
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Facility name:	REIDS HONDA DOCTOR																														
Facility address:	345 W PEARL																														
	REDLANDS, CA 92373																														
EPA ID:	CAD983609033																														
Contact:	JAN GUSTAFASSON																														
Contact address:	345 W PEARL																														
	REDLANDS, CA 92373																														
Contact country:	US																														
Contact telephone:	(714) 793-7805																														
Contact email:	Not reported																														
EPA Region:	09																														
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<b>Actual:</b> <b>1340 ft.</b>																															

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REIDS HONDA DOCTOR (Continued)**

**1000596914**

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

FINDS:

Registry ID: 110002863330

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**E22**  
**South**  
**< 1/8**  
**0.123 mi.**  
**652 ft.**

**REDLANDS MALL**  
**100 REDLANDS MALL**  
**REDLANDS, CA 92373**  
**Site 1 of 3 in cluster E**

**San Bern. Co. Permit S104769469**  
**N/A**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0005644  
Owner: GGP-REDLANDS MALL, L.P  
Permit Number: PT0005246  
Permit Category: HAZMAT HANDLER 0-10 EMPLOYEES  
Facility Status: ACTIVE

**Actual:**  
**1353 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS MALL (Continued)**

**S104769469**

Expiration Date: 2010-11-30 00:00:00

**F23**  
**SSW**  
**1/8-1/4**  
**0.132 mi.**  
**695 ft.**

**FIRESTONE TIRE & RUBBER**  
**300 W REDLANDS BLVD**  
**REDLANDS, CA 92373**

**San Bern. Co. Permit**

**S103368135**  
**N/A**

**Site 1 of 3 in cluster F**

**Relative:**  
**Lower**

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0003227  
Owner: BFS RETAIL & COMMERCIAL OPS  
Permit Number: PT0002320  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**Actual:**  
**1341 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0003227  
Owner: BFS RETAIL & COMMERCIAL OPS  
Permit Number: PT0002321  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**F24**  
**SSW**  
**1/8-1/4**  
**0.132 mi.**  
**695 ft.**

**FIRESTONE STORE #2765**  
**300 W REDLANDS BLVD**  
**REDLANDS, CA 92373**

**HIST UST**

**1000222925**  
**N/A**

**Site 2 of 3 in cluster F**

**Relative:**  
**Lower**

HIST UST:

Region: STATE  
Facility ID: 00000018333  
Facility Type: Other  
Other Type: AUTO SERVICE CENTER  
Total Tanks: 0001  
Contact Name: MR. JOE MEDINA  
Telephone: 7147933373  
Owner Name: FIRESTONE TIRE & RUBBER CO  
Owner Address: 1200 FIRESTONE PARKWAY  
Owner City,St,Zip: AKRON, OH 44317

**Actual:**  
**1341 ft.**

Tank Num: 001  
Container Num: 1  
Year Installed: Not reported  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: WASTE OIL  
Tank Construction: Not reported  
Leak Detection: None

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**F25**  
**SSW**  
**1/8-1/4**  
**0.132 mi.**  
**695 ft.**

**TIRE & RUBBER**  
**300 W REDLANDS BLVD**  
**REDLANDS, CA 92373**

**CA FID UST** **S101591253**  
**SWEEPS UST** **N/A**

**Site 3 of 3 in cluster F**

**Relative:**  
**Lower**

CA FID UST:  
 Facility ID: 36003129  
 Regulated By: UTNKA  
 Regulated ID: 00018333  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: Not reported  
 Mail To: Not reported  
 Mailing Address: 1200 FIRESTONE PKY  
 Mailing Address 2: Not reported  
 Mailing City, St, Zip: REDLANDS 92373  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNS Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**Actual:**  
**1341 ft.**

**SWEEPS UST:**

Status: A  
 Comp Number: 18333  
 Number: 9  
 Board Of Equalization: 44-008231  
 Ref Date: 03-24-92  
 Act Date: 03-24-92  
 Created Date: 02-29-88  
 Tank Status: A  
 Owner Tank Id: 1  
 Swrcb Tank Id: 36-000-018333-000001  
 Actv Date: 07-08-88  
 Capacity: 1  
 Tank Use: OIL  
 Stg: W  
 Content: WASTE OIL  
 Number Of Tanks: 1

**E26**  
**South**  
**1/8-1/4**  
**0.134 mi.**  
**710 ft.**

**SAV-ON #9701**  
**101 REDLANDS MALL**  
**REDLANDS, CA 92373**

**San Bern. Co. Permit** **S103820637**  
**HAZNET** **N/A**

**Site 2 of 3 in cluster E**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
 Region: SAN BERNARDINO  
 Facility ID: FA0005919  
 Owner: CVS CAREMARK  
 Permit Number: PT0009452  
 Permit Category: HAZMAT HANDLER 11-25 EMPLOYEEES  
 Facility Status: ACTIVE  
 Expiration Date: 2011-07-31 00:00:00  
  
 Region: SAN BERNARDINO

**Actual:**  
**1353 ft.**



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SAV-ON #9701 (Continued)**

**S103820637**

Facility ID: FA0005919  
Owner: CVS CAREMARK  
Permit Number: PT0009453  
Permit Category: LIMITED QUANTITY GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

HAZNET:

Gepaid: CAL000268094  
Contact: Erica Fransen  
Telephone: 2083954793  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO Box 20 Dept 72405  
Mailing City,St,Zip: BOISE, ID 83726  
Gen County: San Bernardino  
TSD EPA ID: CAD008364432  
TSD County: Los Angeles  
Waste Category: Alkaline solution without metals (pH > 12.5)  
Disposal Method: Transfer Station  
Tons: 0.16  
Facility County: Not reported

Gepaid: CAL000268094  
Contact: Erica Fransen  
Telephone: 2083954793  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO Box 20 Dept 72405  
Mailing City,St,Zip: BOISE, ID 83726  
Gen County: San Bernardino  
TSD EPA ID: CAD008364432  
TSD County: Los Angeles  
Waste Category: Alkaline solution without metals (pH > 12.5)  
Disposal Method: Transfer Station  
Tons: 0.01  
Facility County: San Bernardino

Gepaid: CAL000268094  
Contact: Erica Fransen  
Telephone: 2083954793  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO Box 20 Dept 72405  
Mailing City,St,Zip: BOISE, ID 83726  
Gen County: San Bernardino  
TSD EPA ID: CAD008364432  
TSD County: San Bernardino  
Waste Category: Alkaline solution without metals (pH > 12.5)  
Disposal Method: Transfer Station  
Tons: 0.15  
Facility County: San Bernardino

Gepaid: CAL000194821  
Contact: AMERICAN DRUG STORES INC  
Telephone: 8019615780  
Facility Addr2: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SAV-ON #9701 (Continued)**

**S103820637**

Mailing Name: Not reported  
 Mailing Address: 250 PARKCENTER BLVD PO BOX 20  
 Mailing City,St,Zip: BOISE, ID 837260000  
 Gen County: San Bernardino  
 TSD EPA ID: CAD981402522  
 TSD County: Kern  
 Waste Category: Photochemicals/photoprocessing waste  
 Disposal Method: Recycler  
 Tons: .0325  
 Facility County: San Bernardino

Gepaid: CAL000268094  
 Contact: Erica Fransen  
 Telephone: 2083954793  
 Facility Addr2: Not reported  
 Mailing Name: Not reported  
 Mailing Address: PO Box 20 Dept 72405  
 Mailing City,St,Zip: BOISE, ID 83726  
 Gen County: San Bernardino  
 TSD EPA ID: CAD008364432  
 TSD County: Los Angeles  
 Waste Category: Alkaline solution without metals (pH > 12.5)  
 Disposal Method: Transfer Station  
 Tons: 0.16  
 Facility County: Not reported

[Click this hyperlink](#) while viewing on your computer to access additional CA\_HAZNET: detail in the EDR Site Report.

**E27**  
**SSE**  
 1/8-1/4  
 0.144 mi.  
 762 ft.

**DENNY'S RESTAURANT #7284**  
**9 W REDLANDS BLVD**  
**REDLANDS, CA 92373**  
 Site 3 of 3 in cluster E

**San Bern. Co. Permit**    **S109598551**  
 N/A

**Relative:**  
**Higher**

**Actual:**  
 1357 ft.

San Bern. Co. Permit:  
 Region: SAN BERNARDINO  
 Facility ID: FA0012525  
 Owner: REDNAP, INC.  
 Permit Number: PT0021909  
 Permit Category: BULK CO2 AT RETAIL FOOD FACILITIES  
 Facility Status: ACTIVE  
 Expiration Date: 2010-05-31 00:00:00

**G28**  
**WSW**  
 1/8-1/4  
 0.164 mi.  
 864 ft.

**FRED FORD & COMPANY**  
**420 ORIENTAL AVE**  
**REDLANDS, CA 92374**  
 Site 1 of 5 in cluster G

**HIST UST**    **U001575501**  
 N/A

**Relative:**  
**Lower**

**Actual:**  
 1331 ft.

HIST UST:  
 Region: STATE  
 Facility ID: 00000013153  
 Facility Type: Other  
 Other Type: Not reported  
 Total Tanks: 0001

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FRED FORD & COMPANY (Continued)**

**U001575501**

Contact Name: FRED FORD  
Telephone: 7147931592  
Owner Name: FRED FORD & COMPANY  
Owner Address: 420 ORIENTAL AVENUE  
Owner City,St,Zip: REDLANDS, CA 92373

Tank Num: 001  
Container Num: 01  
Year Installed: Not reported  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: DIESEL  
Tank Construction: 1/4 inches  
Leak Detection: Stock Inventor

**G29**  
**WSW**  
**1/8-1/4**  
**0.164 mi.**  
**864 ft.**

**FREDFORD & CO**  
**420 ORIENTAL AVE**  
**REDLANDS, CA 92374**

**CA FID UST**  
**SWEEPS UST**  
**HAZNET**

**S101591166**  
**N/A**

**Site 2 of 5 in cluster G**

**Relative:**  
**Lower**

CA FID UST:  
Facility ID: 36002043  
Regulated By: UTNKA  
Regulated ID: 00013153  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 420 ORIENTAL AVE  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1331 ft.**

**SWEEPS UST:**

Status: A  
Comp Number: 13153  
Number: 9  
Board Of Equalization: 44-020436  
Ref Date: 03-24-92  
Act Date: 03-24-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1  
Swrcb Tank Id: 36-000-013153-000001  
Actv Date: 07-08-88  
Capacity: 10000  
Tank Use: M.V. FUEL  
Stg: P  
Content: DIESEL  
Number Of Tanks: 1

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FREDFORD & CO (Continued)**

**S101591166**

HAZNET:

Gepaid: CAC002185561  
Contact: FRED AVERY FORD  
Telephone: 9097931592  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 22  
Mailing City,St,Zip: REDLANDS, CA 92373  
Gen County: San Bernardino  
TSD EPA ID: CAT080013352  
TSD County: San Bernardino  
Waste Category: Unspecified oil-containing waste  
Disposal Method: Recycler  
Tons: 3.33  
Facility County: San Bernardino

**H30  
SW  
1/8-1/4  
0.173 mi.  
915 ft.**

**FOAMIE CAR WASH  
412 W REDLANDS BLVD  
REDLANDS, CA 92373**

**CA FID UST S101591732  
SWEEPS UST N/A**

**Site 1 of 5 in cluster H**

**Relative:  
Lower**

CA FID UST:

Facility ID: 36008778  
Regulated By: UTNKA  
Regulated ID: 00020135  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: 7147927551  
Mail To: Not reported  
Mailing Address: 412 W REDLANDS BLVD  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:  
1332 ft.**

SWEEPS UST:

Status: A  
Comp Number: 20135  
Number: 2  
Board Of Equalization: 44-018070  
Ref Date: 07-28-92  
Act Date: 07-28-92  
Created Date: 02-29-88  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: Not reported  
Actv Date: Not reported  
Capacity: Not reported  
Tank Use: Not reported  
Stg: Not reported  
Content: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**FOAMIE CAR WASH (Continued)**

**S101591732**

Number Of Tanks: Not reported  
  
Status: Not reported  
Comp Number: 20135  
Number: Not reported  
Board Of Equalization: 44-018070  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-020135-000001  
Actv Date: Not reported  
Capacity: 10000  
Tank Use: M.V. FUEL  
Stg: PRODUCT  
Content: REG UNLEADED  
Number Of Tanks: 2

Status: Not reported  
Comp Number: 20135  
Number: Not reported  
Board Of Equalization: 44-018070  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-020135-000002  
Actv Date: Not reported  
Capacity: 5000  
Tank Use: M.V. FUEL  
Stg: PRODUCT  
Content: REG UNLEADED  
Number Of Tanks: Not reported

**G31  
WSW  
1/8-1/4  
0.174 mi.  
919 ft.**

**RONDOR IMPORT SERVICE  
440 ORIENTAL AVE  
REDLANDS, CA 92374**

**HIST UST U001575513  
N/A**

**Site 3 of 5 in cluster G**

**Relative:  
Lower**

HIST UST:  
Region: STATE  
Facility ID: 00000068505  
Facility Type: Other  
Other Type: AUTO REPAIR  
Total Tanks: 0001  
Contact Name: Not reported  
Telephone: 7142928154  
Owner Name: RONALD A. GROSS  
Owner Address: 440 ORIENTAL AVENUE  
Owner City,St,Zip: REDLANDS, CA 92374

**Actual:  
1331 ft.**

Tank Num: 001  
Container Num: 1  
Year Installed: 1960  
Tank Capacity: 00001000

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**RONDOR IMPORT SERVICE (Continued)**

**U001575513**

Tank Used for: WASTE  
Type of Fuel: 5  
Tank Construction: Unkown centimeters  
Leak Detection: Stock Inventor

**G32**  
**WSW**  
**1/8-1/4**  
**0.174 mi.**  
**919 ft.**

**GROSZ, RONALD**  
**440 ORIENTAL AVE**  
**REDLANDS, CA 92373**

**CA FID UST S101591170**  
**SWEEPS UST N/A**

**Site 4 of 5 in cluster G**

**Relative:**  
**Lower**

CA FID UST:  
Facility ID: 36002090  
Regulated By: UTNKI  
Regulated ID: 00068505  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 440 ORIENTAL AVE  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Inactive

**Actual:**  
**1331 ft.**

SWEEPS UST:  
Status: Not reported  
Comp Number: 68505  
Number: Not reported  
Board Of Equalization: 44-021502  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-068505-000001  
Actv Date: Not reported  
Capacity: 1000  
Tank Use: OIL  
Stg: WASTE  
Content: WASTE OIL  
Number Of Tanks: 1

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**G33**  
**WSW**  
**1/8-1/4**  
**0.174 mi.**  
**919 ft.**

**RONDOR AUTO SERVICE**  
**440 ORIENTAL AVE**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit**

**S104769665**  
**N/A**

**Site 5 of 5 in cluster G**

**Relative:**  
**Lower**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0005799  
Owner: GROSZ, RONALD  
Permit Number: PT0006951  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2010-12-31 00:00:00

**Actual:**  
**1331 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0005799  
Owner: GROSZ, RONALD  
Permit Number: PT0006952  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2010-12-31 00:00:00

**H34**  
**SW**  
**1/8-1/4**  
**0.177 mi.**  
**932 ft.**

**AUTO CENTER**  
**420 W REDLANDS BLVD**  
**REDLANDS, CA 92373**

**CA FID UST**  
**SWEEPS UST**  
**EMI**

**S101591188**  
**N/A**

**Site 2 of 5 in cluster H**

**Relative:**  
**Lower**

CA FID UST:  
Facility ID: 36002301  
Regulated By: UTNKA  
Regulated ID: 00043081  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 420 W REDLANDS BLVD  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1332 ft.**

SWEEPS UST:

Status: A  
Comp Number: 43081  
Number: 9  
Board Of Equalization: 44-021029  
Ref Date: 09-10-91  
Act Date: 09-10-91  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1  
Swrcb Tank Id: 36-000-043081-000001

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AUTO CENTER (Continued)**

**S101591188**

Actv Date: 07-08-88  
Capacity: 1000  
Tank Use: M.V. FUEL  
Stg: P  
Content: REG UNLEADED  
Number Of Tanks: 2  
  
Status: A  
Comp Number: 43081  
Number: 9  
Board Of Equalization: 44-021029  
Ref Date: 09-10-91  
Act Date: 09-10-91  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 2  
Swrcb Tank Id: 36-000-043081-000002  
Actv Date: 07-08-88  
Capacity: 100  
Tank Use: OIL  
Stg: W  
Content: WASTE OIL  
Number Of Tanks: Not reported

**EMI:**

Year: 1990  
County Code: 36  
Air Basin: SC  
Facility ID: 8887  
Air District Name: SC  
SIC Code: 7539  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 2  
Reactive Organic Gases Tons/Yr: 2  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 2006  
County Code: 36  
Air Basin: SC  
Facility ID: 8887  
Air District Name: SC  
SIC Code: 7539  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1.325927573641056787  
Reactive Organic Gases Tons/Yr: 1.111  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**AUTO CENTER (Continued)**

**S101591188**

Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 2007  
County Code: 36  
Air Basin: SC  
Facility ID: 8887  
Air District Name: SC  
SIC Code: 7539  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1.325927573641056787  
Reactive Organic Gases Tons/Yr: 1.111  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

**H35**  
**SW**  
**1/8-1/4**  
**0.177 mi.**  
**932 ft.**

**JIM GLAZE AUTO CENTER**  
**420 W REDLANDS BLVD**  
**REDLANDS, CA 92373**

**RCRA-NonGen** **1000116029**  
**FINDS** **CAD982473985**  
**HAZNET**

**Site 3 of 5 in cluster H**

**Relative:**  
**Lower**

RCRA-NonGen:  
Date form received by agency: 11/17/1992  
Facility name: JIM GLAZE AUTO CENTER  
Facility address: 420 W REDLANDS BLVD  
REDLANDS, CA 92373  
EPA ID: CAD982473985  
Mailing address: W REDLANDS BLVD  
REDLANDS, CA 92373  
Contact: ENVIRONMENTAL MANAGER  
Contact address: 420 W REDLANDS BLVD  
REDLANDS, CA 92373  
Contact country: US  
Contact telephone: (714) 793-2141  
Contact email: Not reported  
EPA Region: 09  
Classification: Non-Generator  
Description: Handler: Non-Generators do not presently generate hazardous waste

**Actual:**  
**1332 ft.**

Owner/Operator Summary:  
Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: JIM GLAZE  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIM GLAZE AUTO CENTER (Continued)**

**1000116029**

Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

FINDS:

Registry ID: 110002821849

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZNET:

Gepaid: CAD982473985  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 420 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734636  
Gen County: San Bernardino  
TSD EPA ID: CAT000613927  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 5.7448  
Facility County: San Bernardino  
  
Gepaid: CAD982473985

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIM GLAZE AUTO CENTER (Continued)**

**1000116029**

Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 420 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734636  
Gen County: San Bernardino  
TSD EPA ID: CAT000613927  
TSD County: San Bernardino  
Waste Category: Not reported  
Disposal Method: Transfer Station  
Tons: .0000  
Facility County: San Bernardino

Gepaid: CAD982473985  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 420 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734636  
Gen County: San Bernardino  
TSD EPA ID: CAT000613893  
TSD County: Los Angeles  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: .2042  
Facility County: San Bernardino

Gepaid: CAD982473985  
Contact: --  
Telephone: --  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 420 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734636  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 1.69  
Facility County: Not reported

Gepaid: CAD982473985  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 420 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734636  
Gen County: San Bernardino  
TSD EPA ID: CAT000613893  
TSD County: Los Angeles  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 0.075

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIM GLAZE AUTO CENTER (Continued)**

**1000116029**

Facility County: San Bernardino

[Click this hyperlink](#) while viewing on your computer to access  
1 additional CA\_HAZNET: record(s) in the EDR Site Report.

**H36  
SW  
1/8-1/4  
0.177 mi.  
932 ft.**

**JIM GLAZE, INC.  
420 W REDLANDS BLVD  
REDLANDS, CA 92373**

**HIST UST U001575429  
N/A**

**Site 4 of 5 in cluster H**

**Relative:  
Lower**

HIST UST:

Region: STATE  
Facility ID: 00000043081  
Facility Type: Other  
Other Type: AUTOMOBILE DEALERSHI  
Total Tanks: 0002  
Contact Name: R. JAMES GLAZA  
Telephone: 7147932141  
Owner Name: JIM GLAZE, INC.  
Owner Address: 420 W. REDLANDS BLVD.  
Owner City,St,Zip: REDLANDS, CA 92373

**Actual:  
1332 ft.**

Tank Num: 001  
Container Num: 1  
Year Installed: 1963  
Tank Capacity: 00001000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported  
Leak Detection: Visual

Tank Num: 002  
Container Num: 2  
Year Installed: 1963  
Tank Capacity: 00000100  
Tank Used for: WASTE  
Type of Fuel: WASTE OIL  
Tank Construction: Not reported  
Leak Detection: Visual

**H37  
SW  
1/8-1/4  
0.177 mi.  
936 ft.**

**HONDA OF REDLANDS  
405 W REDLANDS BLVD  
REDLANDS, CA 92373**

**RCRA-SQG 1001967680  
FINDS CAR000071944  
HAZNET**

**Site 5 of 5 in cluster H**

**Relative:  
Lower**

RCRA-SQG:

Date form received by agency: 04/28/2000  
Facility name: HONDA OF REDLANDS  
Facility address: 405 W REDLANDS BLVD  
REDLANDS, CA 923734635  
EPA ID: CAR000071944  
Contact: PHIL NILLACK  
Contact address: 405 W REDLANDS BLVD  
REDLANDS, CA 923734635

**Actual:  
1334 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HONDA OF REDLANDS (Continued)**

**1001967680**

Contact country: US  
Contact telephone: (909) 793-2833  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

**Owner/Operator Summary:**

Owner/operator name: HONDA OF REDLANDS  
Owner/operator address: 405 W REDLANDS BLVD  
REDLANDS, CA 92373  
Owner/operator country: Not reported  
Owner/operator telephone: (909) 793-2833  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

**Hazardous Waste Summary:**

Waste code: D000  
Waste name: Not Defined  
Waste code: D039  
Waste name: TETRACHLOROETHYLENE  
Violation Status: No violations found

**FINDS:**

Registry ID: 110002936235

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HONDA OF REDLANDS (Continued)**

**1001967680**

events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZNET:

Gepaid: CAR000071944  
Contact: PHIL NILLACK  
Telephone: 9097932833  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 405 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734635  
Gen County: San Bernardino  
TSD EPA ID: CAT000613927  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 0.06  
Facility County: San Bernardino

Gepaid: CAR000071944  
Contact: PHIL NILLACK  
Telephone: 9097932833  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 405 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734635  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 0.24  
Facility County: Not reported

Gepaid: CAR000071944  
Contact: PHIL NILLACK  
Telephone: 9097932833  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 405 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734635  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Los Angeles  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 0.15  
Facility County: Not reported

Gepaid: CAR000071944  
Contact: PHIL NILLACK  
Telephone: 9097932833  
Facility Addr2: Not reported  
Mailing Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**HONDA OF REDLANDS (Continued)**

**1001967680**

Mailing Address: 405 W REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734635  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 0.25  
Facility County: Not reported

**I38**  
**SE**  
**1/8-1/4**  
**0.179 mi.**  
**944 ft.**

**CENTENNIAL PLAZA, LLC**  
**101 E REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 1 of 4 in cluster I**

**San Bern. Co. Permit** **S105698112**  
**N/A**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0005632  
Owner: CENTENNIAL PLAZA LLC  
Permit Number: PT0004102  
Permit Category: HAZMAT HANDLER 0-10 EMPLOYEES  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**Actual:**  
**1362 ft.**

**J39**  
**East**  
**1/8-1/4**  
**0.188 mi.**  
**990 ft.**

**COLES R J**  
**443 6TH**  
**CHINO, CA**  
**Site 1 of 3 in cluster J**

**EDR Historical Auto Stations** **1009115467**  
**N/A**

**Relative:**  
**Higher**

EDR Historical Auto Stations:  
Name: COLES R J  
Year: 1923  
Type: AUTOMOBILE REPAIRING

**Actual:**  
**1369 ft.**

**I40**  
**SE**  
**1/8-1/4**  
**0.190 mi.**  
**1002 ft.**

**SHELL SERVICE STATION**  
**127 E REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 2 of 4 in cluster I**

**RCRA-LQG** **1006805162**  
**FINDS** **CAR000124149**  
**HAZNET**

**Relative:**  
**Higher**

RCRA-LQG:  
Date form received by agency: 02/26/2004  
Facility name: SHELL SERVICE STATION  
Facility address: 127 E REDLANDS BLVD  
SAP #135799  
REDLANDS, CA 92373  
EPA ID: CAR000124149  
Mailing address: SHELL OIL PRODUCTS US  
12700 NORTHBOROUGH DR MFT240G  
HOUSTON, TX 770672508  
Contact: BURKE D ALBEDA  
Contact address: Not reported  
Not reported

**Actual:**  
**1364 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**1006805162**

Contact country: Not reported  
Contact telephone: (310) 798-3944  
Contact email: BDALBEDA@SHELLOPUS.COM  
EPA Region: 09  
Classification: Large Quantity Generator  
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:

Owner/operator name: EQUILON ENTERPRISES LLC DBA  
Owner/operator address: P O BOX 2648  
HOUSTON, TX 77252  
Owner/operator country: Not reported  
Owner/operator telephone: (713) 241-5036  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: SHELL OIL PRODUCTS US  
Owner/operator address: Not reported  
Not reported  
Owner/operator country: US  
Owner/operator telephone: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: 08/01/1998  
Owner/Op end date: Not reported

Owner/operator name: EQUILON ENTERPRISES LLC DBA SHELL OIL PR  
Owner/operator address: PO BOX 2648  
HOUSTON, TX 77252  
Owner/operator country: US  
Owner/operator telephone: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: 08/01/1998  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**1006805162**

On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Commercial status unknown

Universal Waste Summary:

Waste type: Batteries  
Accumulated waste on-site: No  
Generated waste on-site: No

Waste type: Lamps  
Accumulated waste on-site: No  
Generated waste on-site: No

Waste type: Pesticides  
Accumulated waste on-site: No  
Generated waste on-site: No

Waste type: Thermostats  
Accumulated waste on-site: No  
Generated waste on-site: No

Historical Generators:

Date form received by agency: 02/26/2004  
Facility name: SHELL SERVICE STATION  
Classification: Large Quantity Generator

Date form received by agency: 08/16/2002  
Facility name: SHELL SERVICE STATION  
Classification: Small Quantity Generator

Hazardous Waste Summary:

Waste code: D001  
Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

Waste code: D018  
Waste name: BENZENE

Waste code: D001  
Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**1006805162**

MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

Waste code: D018  
Waste name: BENZENE

Violation Status: No violations found

**FINDS:**

Registry ID: 110013309437

**Environmental Interest/Information System**

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**HAZNET:**

Gepaid: CAR000124149  
Contact: Sondra Bienvenu  
Telephone: 7132415036  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 2648  
Mailing City,St,Zip: Houston, TX 772522648  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Los Angeles  
Waste Category: Tank bottom waste  
Disposal Method: Treatment, Tank  
Tons: 0.62  
Facility County: Not reported

Gepaid: CAR000124149  
Contact: Sondra Bienvenu  
Telephone: 7132415036  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 2648  
Mailing City,St,Zip: Houston, TX 772522648  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Los Angeles  
Waste Category: Other organic solids  
Disposal Method: Transfer Station  
Tons: 0.01  
Facility County: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**1006805162**

Gepaid: CAR000124149  
Contact: N CORTEZ/ENVTL DATA ANALYST  
Telephone: 2818742224  
Facility Addr2: S A P No 135799  
Mailing Name: Not reported  
Mailing Address: 12700 NORTHBOROUGH DRIVE MFT 240-G  
Mailing City,St,Zip: Houston, TX 770672508  
Gen County: San Bernardino  
TSD EPA ID: CAD028409019  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Treatment, Tank  
Tons: 0.64  
Facility County: San Bernardino

Gepaid: CAR000124149  
Contact: N CORTEZ/ENVTL DATA ANALYST  
Telephone: 2818742224  
Facility Addr2: S A P No 135799  
Mailing Name: Not reported  
Mailing Address: 12700 NORTHBOROUGH DRIVE MFT 240-G  
Mailing City,St,Zip: Houston, TX 770672508  
Gen County: San Bernardino  
TSD EPA ID: CAT080013352  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Recycler  
Tons: 5.62  
Facility County: San Bernardino

Gepaid: CAR000124149  
Contact: N CORTEZ/ENVTL DATA ANALYST  
Telephone: 2818742224  
Facility Addr2: S A P No 135799  
Mailing Name: Not reported  
Mailing Address: 12700 NORTHBOROUGH DRIVE MFT 240-G  
Mailing City,St,Zip: Houston, TX 770672508  
Gen County: San Bernardino  
TSD EPA ID: CAD982484933  
TSD County: San Bernardino  
Waste Category: Other empty containers 30 gallons or more  
Disposal Method: Disposal, Other  
Tons: 10.5  
Facility County: San Bernardino

[Click this hyperlink](#) while viewing on your computer to access additional CA\_HAZNET: detail in the EDR Site Report.

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**I41**  
**SE**  
**1/8-1/4**  
**0.190 mi.**  
**1002 ft.**

**MAGID SHELL**  
**127 E REDLANDS BLVD**  
**REDLANDS, CA 92373**

**CA FID UST**    **S101591316**  
**SWEEPS UST**    **N/A**

**Site 3 of 4 in cluster I**

**Relative:**  
**Higher**

CA FID UST:  
 Facility ID: 36004641  
 Regulated By: UTNKA  
 Regulated ID: Not reported  
 Cortese Code: Not reported  
 SIC Code: Not reported  
 Facility Phone: Not reported  
 Mail To: Not reported  
 Mailing Address: 127 E REDLANDS BLVD  
 Mailing Address 2: Not reported  
 Mailing City, St, Zip: REDLANDS 92373  
 Contact: Not reported  
 Contact Phone: Not reported  
 DUNS Number: Not reported  
 NPDES Number: Not reported  
 EPA ID: Not reported  
 Comments: Not reported  
 Status: Active

**Actual:**  
**1364 ft.**

**SWEEPS UST:**

Status: A  
 Comp Number: 9022  
 Number: 1  
 Board Of Equalization: 44-000074  
 Ref Date: 07-28-92  
 Act Date: 07-28-92  
 Created Date: 09-12-88  
 Tank Status: A  
 Owner Tank Id: Not reported  
 Swrcb Tank Id: 36-000-009022-000001  
 Actv Date: 09-12-88  
 Capacity: 1  
 Tank Use: UNKNOWN  
 Stg: P  
 Content: UNKNOWN  
 Number Of Tanks: 4

Status: A  
 Comp Number: 9022  
 Number: 1  
 Board Of Equalization: 44-000074  
 Ref Date: 07-28-92  
 Act Date: 07-28-92  
 Created Date: 09-12-88  
 Tank Status: A  
 Owner Tank Id: Not reported  
 Swrcb Tank Id: 36-000-009022-000002  
 Actv Date: 09-12-88  
 Capacity: 1  
 Tank Use: UNKNOWN  
 Stg: P  
 Content: UNKNOWN  
 Number Of Tanks: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MAGID SHELL (Continued)**

**S101591316**

Status: A  
 Comp Number: 9022  
 Number: 1  
 Board Of Equalization: 44-000074  
 Ref Date: 07-28-92  
 Act Date: 07-28-92  
 Created Date: 09-12-88  
 Tank Status: A  
 Owner Tank Id: Not reported  
 Swrcb Tank Id: 36-000-009022-000003  
 Actv Date: 09-12-88  
 Capacity: 1  
 Tank Use: UNKNOWN  
 Stg: P  
 Content: UNKNOWN  
 Number Of Tanks: Not reported

Status: A  
 Comp Number: 9022  
 Number: 1  
 Board Of Equalization: 44-000074  
 Ref Date: 07-28-92  
 Act Date: 07-28-92  
 Created Date: 09-12-88  
 Tank Status: A  
 Owner Tank Id: Not reported  
 Swrcb Tank Id: 36-000-009022-000004  
 Actv Date: 09-12-88  
 Capacity: 1  
 Tank Use: UNKNOWN  
 Stg: P  
 Content: UNKNOWN  
 Number Of Tanks: Not reported

**I42**  
**SE**  
**1/8-1/4**  
**0.190 mi.**  
**1002 ft.**

**REDLANDS SHELL**  
**127 E REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 4 of 4 in cluster I**

**LUST** **U003784746**  
**UST** **N/A**  
**San Bern. Co. Permit**  
**HAZNET**

**Relative:**  
**Higher**

**LUST:**  
 Region: STATE  
 Global Id: T0607186192  
 Latitude: 34.057658  
 Longitude: -117.180676  
 Case Type: LUST Cleanup Site  
 Status: Completed - Case Closed  
 Status Date: 2007-03-19 00:00:00  
 Lead Agency: SAN BERNARDINO COUNTY LOP  
 Case Worker: JC3  
 Local Agency: SAN BERNARDINO COUNTY LOP  
 RB Case Number: Not reported  
 LOC Case Number: 2003013  
 File Location: Local Agency  
 Potential Media Affect: Aquifer used for drinking water supply  
 Potential Contaminants of Concern: Gasoline  
 Site History: Not reported

**Actual:**  
**1364 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS SHELL (Continued)**

**U003784746**

[Click here to access the California GeoTracker records for this facility:](#)

LUST REG 8:

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Pollution Characterization  
Case Number: Not reported  
Local Case Num: 2003013  
Case Type: Undefined  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: 6TH STREET  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: SAS  
How Stopped: Not reported  
Leak Cause: UNK  
Leak Source: UNK  
Global ID: T0607186192  
How Stopped Date: Not reported  
Enter Date: Not reported  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: 3/21/2003  
Enforcement Date: Not reported  
Close Date: Not reported  
Workplan: Not reported  
Pollution Char: 4/16/2003  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: Not reported  
GW Qualifies: ND  
Soil Qualifies: =  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 0  
Longitude: 0  
MTBE Date: 12/7/2004  
Max MTBE GW: 1  
MTBE Concentration: 0  
Max MTBE Soil: 53000  
MTBE Fuel: 1  
MTBE Tested: MTBE Detected. Site tested for MTBE & MTBE detected  
MTBE Class: \*  
Staff: CAB  
Staff Initials: JC3  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: Not reported  
Beneficial: Not reported  
Priority: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS SHELL (Continued)**

**U003784746**

Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

UST:

Facility ID: 14659  
Latitude: 34.05738  
Longitude: -117.18111

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0011868  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: INACTIVE  
Expiration Date: 2004-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0011869  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: INACTIVE  
Expiration Date: 2004-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0011870  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: INACTIVE  
Expiration Date: 2004-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0011871  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: INACTIVE  
Expiration Date: 2004-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0016623  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0016624  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: ACTIVE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS SHELL (Continued)**

**U003784746**

Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0016625  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0002314  
Permit Category: HAZMAT HANDLER 0-10 EMPLOYEES  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0005649  
Owner: SAADE, NABIL  
Permit Number: PT0002315  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**HAZNET:**

Gepaid: CAL000220896  
Contact: NABIL SAADE  
Telephone: 9098825085  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 1108 W HIGHLAND AVE  
Mailing City,St,Zip: SAN BERNARDINO, CA 924050000  
Gen County: San Bernardino  
TSD EPA ID: CAT080013352  
TSD County: Los Angeles  
Waste Category: Oil/water separation sludge  
Disposal Method: Recycler  
Tons: 0.41  
Facility County: Not reported

Gepaid: CAL000220896  
Contact: NABIL SAADE  
Telephone: 9098825085  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 1108 W HIGHLAND AVE  
Mailing City,St,Zip: SAN BERNARDINO, CA 924050000  
Gen County: San Bernardino  
TSD EPA ID: CAT080013352  
TSD County: Los Angeles  
Waste Category: Tank bottom waste  
Disposal Method: H039  
Tons: 0.417  
Facility County: San Bernardino



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS SHELL (Continued)**

**U003784746**

Gepaid: CAL000073123  
Contact: KIM MICHAEL  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 127 E REDLANDS BLVD  
Mailing City,St,Zip: REDLANDS, CA 923734745  
Gen County: San Bernardino  
TSD EPA ID: CAT000613893  
TSD County: Los Angeles  
Waste Category: Unspecified organic liquid mixture  
Disposal Method: Transfer Station  
Tons: .2480  
Facility County: San Bernardino

**43**  
**ENE**  
**1/8-1/4**  
**0.202 mi.**  
**1064 ft.**

**DILL LUMBER**  
**105 E HIGH**  
**REDLANDS, CA 92373**

**CA FID UST S101591620**  
**SWEEPS UST N/A**

**Relative:**  
**Higher**

CA FID UST:  
Facility ID: 36008519  
Regulated By: UTNKA  
Regulated ID: Not reported  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: PO BOX 692  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1367 ft.**

**SWEEPS UST:**

Status: A  
Comp Number: 10345  
Number: 9  
Board Of Equalization: Not reported  
Ref Date: 03-24-92  
Act Date: 03-24-92  
Created Date: 09-06-88  
Tank Status: A  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-010345-000001  
Actv Date: 09-06-88  
Capacity: 1  
Tank Use: UNKNOWN  
Stg: P  
Content: UNKNOWN  
Number Of Tanks: 1

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**K44**  
**ESE**  
**1/8-1/4**  
**0.203 mi.**  
**1072 ft.**

**BECKLEY J H**  
**304 6TH**  
**CHINO, CA**

**EDR Historical Auto Stations**

**1009115744**  
**N/A**

**Site 1 of 8 in cluster K**

**Relative:**  
**Higher**

EDR Historical Auto Stations:

Name: CHINO SERVICE STATION  
Year: 1923  
Type: AUTOMOBILE SERVICE STATIONS

**Actual:**  
**1369 ft.**

Name: DECKER V L  
Year: 1931  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: BECKLEY J H  
Year: 1934  
Type: GASOLINE AND OIL SERVICE STATIONS

Name: BECKLEY J H  
Year: 1938  
Type: GASOLINE AND OIL SERVICE STATIONS

**L45**  
**WSW**  
**1/8-1/4**  
**0.218 mi.**  
**1150 ft.**

**JIM GLAZE INC MAZDA**  
**500 W REDLANDS**  
**REDLANDS, CA 92373**

**RCRA-SQG**  
**FINDS**

**1000116026**  
**CAD981442304**

**Site 1 of 7 in cluster L**

**Relative:**  
**Lower**

RCRA-SQG:

Date form received by agency: 09/01/1996  
Facility name: JIM GLAZE INC MAZDA  
Facility address: 500 W REDLANDS  
REDLANDS, CA 92373  
EPA ID: CAD981442304  
Mailing address: W REDLANDS  
REDLANDS, CA 92373

**Actual:**  
**1327 ft.**

Contact: Not reported  
Contact address: Not reported  
Not reported  
Contact country: Not reported  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIM GLAZE INC MAZDA (Continued)**

**1000116026**

Owner/Op start date: Not reported  
Owner/Op end date: Not reported  
  
Owner/operator name: JIM GLAZE  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: Unknown  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: Unknown  
Furnace exemption: Unknown  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

FINDS:

Registry ID: 110002707303

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

L46  
WSW  
1/8-1/4  
0.218 mi.  
1150 ft.

**TOM BELL'S REDLANDS AUTO PLAZA**  
**500 W REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 2 of 7 in cluster L**

**San Bern. Co. Permit S110168983**  
**HAZNET N/A**

Relative:  
Lower

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0005628  
Owner: REDLANDS AUTOMOTIVE SALES INC  
Permit Number: PT0002322  
Permit Category: SPECIAL GENERATOR(B)

Actual:  
1327 ft.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TOM BELL'S REDLANDS AUTO PLAZA (Continued)**

**S110168983**

Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00  
  
Region: SAN BERNARDINO  
Facility ID: FA0005628  
Owner: REDLANDS AUTOMOTIVE SALES INC  
Permit Number: PT0002323  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0012993  
Owner: DYNAMIC AUTO IMAGES INC  
Permit Number: PT0022814  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-01-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0012993  
Owner: DYNAMIC AUTO IMAGES INC  
Permit Number: PT0022815  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-01-31 00:00:00

**HAZNET:**

Gepaid: CAL000341659  
Contact: ELISA ANDERSON  
Telephone: 7147713400  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 1407 N BATAVIA ST STE 102  
Mailing City,St,Zip: ORANGE, CA 928673525  
Gen County: San Bernardino  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Unspecified solvent mixture Waste  
Disposal Method: H061  
Tons: 0.198  
Facility County: San Bernardino

**L47**  
**WSW**  
**1/8-1/4**  
**0.218 mi.**  
**1150 ft.**

**JIM GLAZE INC MAZDA**  
**500 W REDLANDS BLVD**  
**REDLANDS, CA 92373**

**RCRA-NonGen** **1000116027**  
**CAD981571482**

**Site 3 of 7 in cluster L**

**Relative:**  
**Lower**

RCRA-NonGen:  
Date form received by agency: 11/17/1992  
Facility name: JIM GLAZE INC MAZDA  
Facility address: 500 W REDLANDS BLVD  
REDLANDS, CA 92373  
EPA ID: CAD981571482  
Mailing address: W REDLANDS BLVD  
REDLANDS, CA 92373

**Actual:**  
**1327 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIM GLAZE INC MAZDA (Continued)**

**1000116027**

Contact: JAMES GLAZE  
Contact address: 500 W REDLANDS BLVD  
REDLANDS, CA 92373  
Contact country: US  
Contact telephone: Not reported  
Contact email: Not reported  
EPA Region: 09  
Classification: Non-Generator  
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: JIM GLAZE INC MAZDA  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**L48**  
**WSW**  
**1/8-1/4**  
**0.219 mi.**  
**1156 ft.**

**EDISON/REDLANDS II (REDLANDS BL) MGP**  
**501-525 W. REDLANDS BL. AT KENDALL**  
**REDLANDS, CA 92373**

**DEED** **S106568287**  
**VCP** **N/A**  
**ENVIROSTOR**

**Site 4 of 7 in cluster L**

**Relative:**  
**Lower**

**DEED:**  
 Area: FOUNTAIN CENTER SITE  
 Sub Area: Not reported  
 Site Type: VOLUNTARY CLEANUP  
 Status: ACTIVE  
 Deed Date(s): 7/25/2006

**Actual:**  
**1327 ft.**

**VCP:**

Facility ID: 36490113  
 Site Type: Voluntary Cleanup  
 Site Type Detail: Voluntary Cleanup  
 Site Mgmt. Req.: DAY, ELD, HOS, LUC, EX, NUSE, NDEV, NSUB, SCH, COV, RES  
 Acres: 1.6000000000000001  
 National Priorities List: NO  
 Cleanup Oversight Agencies: SMBRP  
 Lead Agency: SMBRP  
 Lead Agency Description: DTSC - Site Mitigation And Brownfield Reuse Program  
 Project Manager: JOHNSON ABRAHAM  
 Supervisor: Shahir Haddad  
 Division Branch: Cleanup Cypress  
 Site Code: 400449  
 Assembly: 63  
 Senate: 31  
 Special Programs Code: Voluntary Cleanup Program  
 Status: Active  
 Status Date: 7/30/2002  
 Restricted Use: YES  
 Funding: Responsible Party  
 Lat/Long: 34.06304999999997 / -117.226127777778  
 APN: 0171-031-16  
 Past Use: MANUFACTURED GAS PLANT  
 Potential COC: 10003, 10009, 10064, 10067, 10097, 10196, 10198, 30003, 30013, 30019, 30160, 30542  
 Confirmed COC: Not reported  
 Potential Description: SOIL  
 Alias Name: BK 171, PG 3, (PART) PARCELS 16,18,19,20  
 Alias Type: Alternate Name  
 Alias Name: EDISON/REDLANDS (REDLANDS BL) MGP  
 Alias Type: Alternate Name  
 Alias Name: EDISON/REDLANDS II (KENDALL ST) MGP  
 Alias Type: Alternate Name  
 Alias Name: EDISON/REDLANDS II (REDLANDS) MGP  
 Alias Type: Alternate Name  
 Alias Name: TOWN GAS PLANT REDLANDS II  
 Alias Type: Alternate Name  
 Alias Name: 0171-031-16  
 Alias Type: APN  
 Alias Name: 110033619617  
 Alias Type: EPA (FRS #)  
 Alias Name: 400449  
 Alias Type: Project Code (Site Code)  
 Alias Name: 36490113  
 Alias Type: Envirostor ID Number

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: CEQA - Initial Study/ Neg. Declaration  
Completed Date: 2003-09-11 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 2002-07-30 00:00:00  
Comments: RP entered into a VCA with DTSC to prepare a RAW and to implement a removal action under the oversight of DTSC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 1996-12-05 00:00:00  
Comments: DTSC and Edison signed a Consent Order providing for DTSC oversight of a Remedial Investigation/Feasibility, including a Health Risk Assessment for the site.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 1994-05-10 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operation & Maintenance Order/Agreement  
Completed Date: 2006-06-30 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction  
Completed Date: 2006-07-25 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 2008-02-19 00:00:00  
Comments: DTSC staff visited the site. No changes have been noted since last year's visit.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 2006-07-26 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2007-11-09 00:00:00

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Comments: Submitted the letter to the RP.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2007-11-09 00:00:00  
Comments: DTSC sent the cost estimate for the upcoming year.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 1998-12-17 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction Monitoring Report  
Completed Date: 2008-02-04 00:00:00  
Comments: Southern California Edison submitted the Annual Report.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2009-11-18 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2009-01-07 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 2009-01-28 00:00:00  
Comments: DTSC staff visited the site, met with Mr. Bernie Rapan and Mr. George Monte, and taken photographs. Noticed changes and provided in the attached report.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 2010-03-01 00:00:00  
Comments: DTSC completed LUC site visit and took photographs.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 2003-09-11 00:00:00  
Comments: CEQA - ND: DTSC completed Removal Action Workplan (RAW) and Negative Declaration (ND). The RAW and ND were approved on 9/11/03. The Notice of Determination (NOD) of a CEQA was signed on 9/11/03. Removal action will occur with the adjacent Redlands I site. The proposed cleanup option is excavation and offsite thermal disoption. Approximately 40,000 cubic yards of contaminated soil will be removed from these two sites together.



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 2005-09-02 00:00:00  
Comments: DTSC completed review and approved the removal action completion report . A Land Use Covenant or Deed Restriction needs to be placed on the property.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Characterization Report  
Completed Date: 1999-03-19 00:00:00  
Comments: DTSC approved the RI/FS with certain conditions to be completed during Remedial Action Workplan (RAW). Site is contaminated with PAHs. Excavation of contaminated soil and thermal desorption is the proposed remedy. Treated soil will be properly disposed off-site. Site will then be used for residential purposes. DTSC completed its tasks under the current agreement. A new agreement should be signed for further remediation activities. DTSC conditionally approved the FS report. The conditions are as follows: 1. As proposed if RP extends the excavation north of boring RI-2 in a southerly direction during remedial activities, RP should conduct additional confirmation sampling. The chemicals included in the confirmation sampling are benzene, toluene, ethyl benzene and xylene (BTEX). The confirmation sampling should be inside the excavation area near Boring RI-21. However, if no need of soil excavation around Boring RI-21, Boring RI-21, DTSC requires further sampling at this location as explained in the response. The RAW should include this this sampling effort. 2. During remedial activities, it is the RP's responsibility to conduct appropriate confirmation sampling for Chromium VI. The RAW should discuss this sampling effort with appropriate testing methods. 3. If any soils greater than benzo(a)pyrene equivalent concentration of 0.9 mg/kg remains at the site, a post remediation health risk assessment should be prepared and submitted to DTSC. 4. The RAW should summarize the results of the FS, and after DTSC's acceptance makes it available for public review. Appropriate public participation activities should be completed before the final approval of RAW. DTSC is considering the scope of work under the current agreement (Docket No. HSA 95/95-079) has been completed. Another agreement is to be completed for further remediation activities.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 1995-04-21 00:00:00  
Comments: The Department reviewed the Preliminary Endangerment Assessment Report for the Former Redlands II Manufactured Gas Plant site. The Department recommends that further work be conducted.

Completed Area Name: Big O Tire Center  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 2005-09-02 00:00:00  
Comments: DTSC completed review and approved the removal action completion report. A Land Use Covenant or Deed Restriction needs to be placed on the property.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operations and Maintenance Plan  
Completed Date: 2006-06-30 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operations and Maintenance Report  
Completed Date: 2007-03-13 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operations and Maintenance Report  
Completed Date: 2009-02-05 00:00:00  
Comments: DTSC visited the sit; talked to Mr. Harrie Cohen, Property Owner; and took the picutures.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence - Received  
Completed Date: 2008-07-03 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operations and Maintenance Report  
Completed Date: 2010-03-01 00:00:00  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Big O Tire Center  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Operations and Maintenance Plan  
Schedule Due Date: 2009-02-25 00:00:00  
Schedule Revised Date: Not reported  
Schedule Area Name: Fountain Center Site  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Operations and Maintenance Report  
Schedule Due Date: 2011-05-16 00:00:00  
Schedule Revised Date: Not reported  
Schedule Area Name: Big O Tire Center  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Land Use Restriction  
Schedule Due Date: 2010-11-30 00:00:00  
Schedule Revised Date: Not reported  
Schedule Area Name: Big O Tire Center  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Certification  
Schedule Due Date: 2010-12-31 00:00:00  
Schedule Revised Date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

**ENVIROSTOR:**

Site Type: Voluntary Cleanup  
Site Type Detailed: Voluntary Cleanup  
Acres: 1.6000000000000001  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: SMBRP  
Program Manager: JOHNSON ABRAHAM  
Supervisor: Shahir Haddad  
Division Branch: Cleanup Cypress  
Facility ID: 36490113  
Site Code: 400449  
Assembly: 63  
Senate: 31  
Special Program: Voluntary Cleanup Program  
Status: Active  
Status Date: 7/30/2002  
Restricted Use: YES  
Site Mgmt. Req.: DAY, ELD, HOS, LUC, EX, NUSE, NDEV, NSUB, SCH, COV, RES  
Funding: Responsible Party  
Latitude: 34.063049999999997  
Longitude: -117.2261277777778  
APN: 0171-031-16  
Past Use: MANUFACTURED GAS PLANT  
Potential COC: 10003, 10009, 10064, 10067, 10097, 10196, 10198, 30003, 30013, 30019, 30160, 30542  
Confirmed COC: Not reported  
Potential Description: SOIL  
Alias Name: BK 171, PG 3, (PART) PARCELS 16,18,19,20  
Alias Type: Alternate Name  
Alias Name: EDISON/REDLANDS (REDLANDS BL) MGP  
Alias Type: Alternate Name  
Alias Name: EDISON/REDLANDS II (KENDALL ST) MGP  
Alias Type: Alternate Name  
Alias Name: EDISON/REDLANDS II (REDLANDS) MGP  
Alias Type: Alternate Name  
Alias Name: TOWN GAS PLANT REDLANDS II  
Alias Type: Alternate Name  
Alias Name: 0171-031-16  
Alias Type: APN  
Alias Name: 110033619617  
Alias Type: EPA (FRS #)  
Alias Name: 400449  
Alias Type: Project Code (Site Code)  
Alias Name: 36490113  
Alias Type: Envirostor ID Number

**Completed Info:**

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: CEQA - Initial Study/ Neg. Declaration  
Completed Date: 2003-09-11 00:00:00  
Comments: Not reported  
  
Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Date: 2002-07-30 00:00:00  
Comments: RP entered into a VCA with DTSC to prepare a RAW and to implement a removal action under the oversight of DTSC.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 1996-12-05 00:00:00  
Comments: DTSC and Edison signed a Consent Order providing for DTSC oversight of a Remedial Investigation/Feasibility, including a Health Risk Assessment for the site.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 1994-05-10 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operation & Maintenance Order/Agreement  
Completed Date: 2006-06-30 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction  
Completed Date: 2006-07-25 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 2008-02-19 00:00:00  
Comments: DTSC staff visited the site. No changes have been noted since last year's visit.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Certification  
Completed Date: 2006-07-26 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2007-11-09 00:00:00  
Comments: Submitted the letter to the RP.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2007-11-09 00:00:00  
Comments: DTSC sent the cost estimate for the upcoming year.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Document Type: Voluntary Cleanup Agreement  
Completed Date: 1998-12-17 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction Monitoring Report  
Completed Date: 2008-02-04 00:00:00  
Comments: Southern California Edison submitted the Annual Report.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2009-11-18 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Correspondence  
Completed Date: 2009-01-07 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 2009-01-28 00:00:00  
Comments: DTSC staff visited the site, met with Mr. Bernie Rapan and Mr. George Monte, and taken photographs. Noticed changes and provided in the attached report.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Land Use Restriction - Site Inspection/Visit  
Completed Date: 2010-03-01 00:00:00  
Comments: DTSC completed LUC site visit and took photographs.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Workplan  
Completed Date: 2003-09-11 00:00:00  
Comments: CEQA - ND: DTSC completed Removal Action Workplan (RAW) and Negative Declaration (ND). The RAW and ND were approved on 9/11/03. The Notice of Determination (NOD) of a CEQA was signed on 9/11/03. Removal action will occur with the adjacent Redlands I site. The proposed cleanup option is excavation and offsite thermal disoption. Approximately 40,000 cubic yards of contaminated soil will be removed from these two sites together.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 2005-09-02 00:00:00  
Comments: DTSC completed review and approved the removal action completion report . A Land Use Covenant or Deed Restriction needs to be placed on the property.

Completed Area Name: PROJECT WIDE

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Sub Area Name: Not reported  
Completed Document Type: Site Characterization Report  
Completed Date: 1999-03-19 00:00:00  
Comments: DTSC approved the RI/FS with certain conditions to be completed during Remedial Action Workplan (RAW). Site is contaminated with PAHs. Excavation of contaminated soil and thermal desorption is the proposed remedy. Treated soil will be properly disposed off-site. Site will then be used for residential purposes. DTSC completed its tasks under the current agreement. A new agreement should be signed for further remediation activities. DTSC conditionally approved the FS report. The conditions are as follows: 1. As proposed if RP extends the excavation north of boring RI-2 in a southerly direction during remedial activities, RP should conduct additional confirmation sampling. The chemicals included in the confirmation sampling are benzene, toluene, ethyl benzene and xylene (BTEX). The confirmation sampling should be inside the excavation area near Boring RI-21. However, if no need of soil excavation around Boring RI-21, Boring RI-21, DTSC requires further sampling at this location as explained in the response. The RAW should include this this sampling effort. 2. During remedial activities, it is the RP's responsibility to conduct appropriate confirmation sampling for Chromium VI. The RAW should discuss this sampling effort with appropriate testing methods. 3. If any soils greater than benzo(a)pyrene equivalent concentration of 0.9 mg/kg remains at the site, a post remediation health risk assessment should be prepared and submitted to DTSC. 4. The RAW should summarize the results of the FS, and after DTSC's acceptance makes it available for public review. Appropriate public participation activities should be completed before the final approval of RAW. DTSC is considering the scope of work under the current agreement (Docket No. HSA 95/95-079) has been completed. Another agreement is to be completed for further remediation activities.

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Preliminary Endangerment Assessment Report  
Completed Date: 1995-04-21 00:00:00  
Comments: The Department reviewed the Preliminary Endangerment Assessment Report for the Former Redlands II Manufactured Gas Plant site. The Department recommends that further work be conducted.

Completed Area Name: Big O Tire Center  
Completed Sub Area Name: Not reported  
Completed Document Type: Removal Action Completion Report  
Completed Date: 2005-09-02 00:00:00  
Comments: DTSC completed review and approved the removal action completion report. A Land Use Covenant or Deed Restriction needs to be placed on the property.

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operations and Maintenance Plan  
Completed Date: 2006-06-30 00:00:00  
Comments: Not reported

Completed Area Name: Fountain Center Site  
Completed Sub Area Name: Not reported  
Completed Document Type: Operations and Maintenance Report

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**EDISON/REDLANDS II (REDLANDS BL) MGP (Continued)**

**S106568287**

Completed Date: 2007-03-13 00:00:00  
 Comments: Not reported

Completed Area Name: Fountain Center Site  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Operations and Maintenance Report  
 Completed Date: 2009-02-05 00:00:00  
 Comments: DTSC visited the sit; talked to Mr. Harrie Cohen, Property Owner; and took the pictures.

Completed Area Name: Fountain Center Site  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Correspondence - Received  
 Completed Date: 2008-07-03 00:00:00  
 Comments: Not reported

Completed Area Name: Fountain Center Site  
 Completed Sub Area Name: Not reported  
 Completed Document Type: Operations and Maintenance Report  
 Completed Date: 2010-03-01 00:00:00  
 Comments: Not reported

Future Area Name: Not reported  
 Future Sub Area Name: Not reported  
 Future Document Type: Not reported  
 Future Due Date: Not reported  
 Schedule Area Name: Big O Tire Center  
 Schedule Sub Area Name: Not reported  
 Schedule Document Type: Operations and Maintenance Plan  
 Schedule Due Date: 2009-02-25 00:00:00  
 Schedule Revised Date: Not reported  
 Schedule Area Name: Fountain Center Site  
 Schedule Sub Area Name: Not reported  
 Schedule Document Type: Operations and Maintenance Report  
 Schedule Due Date: 2011-05-16 00:00:00  
 Schedule Revised Date: Not reported  
 Schedule Area Name: Big O Tire Center  
 Schedule Sub Area Name: Not reported  
 Schedule Document Type: Land Use Restriction  
 Schedule Due Date: 2010-11-30 00:00:00  
 Schedule Revised Date: Not reported  
 Schedule Area Name: Big O Tire Center  
 Schedule Sub Area Name: Not reported  
 Schedule Document Type: Certification  
 Schedule Due Date: 2010-12-31 00:00:00  
 Schedule Revised Date: Not reported

**L49**  
**WSW**  
**1/8-1/4**  
**0.219 mi.**  
**1156 ft.**

**EDISON/REDLANDS MGP**  
**501-525 W REDLANDS AT KENDALL**  
**REDLANDS, CA 92373**  
**Site 5 of 7 in cluster L**

**Manufactured Gas Plants 1008407740**  
**N/A**

**Relative:**  
**Lower**

Manufactured Gas Plants:

The site was constructed in 1900 which operated as a Manufactured Gas Plant (MGP) and discontinued the MGP operations in 1921. Prior to 1946, So Cal Gas Co constructed a building and installed one compressed gas storage tank at the site. The building was demolished and removed from the site prior to 1952 and

**Actual:**  
**1327 ft.**

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**EDISON/REDLANDS MGP (Continued)**

**1008407740**

the compressed gas storage tanks were removed between 1959 and 1968. The western portion of the site was developed in the 1950s and 1960s. The building that is currently occupied by Big O Tire Center was constructed between 1952 and 1958. The eastern portion of the site was developed in 1986 into a commercial mall.

**M50**  
**West**  
**1/8-1/4**  
**0.221 mi.**  
**1165 ft.**

**CBS AUTO REPAIR**  
**525 W STUART ST**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit**  
**HAZNET**

**S103663617**  
**N/A**

**Site 1 of 2 in cluster M**

**Relative:**  
**Lower**

San Bern. Co. Permit:  
 Region: SAN BERNARDINO  
 Facility ID: FA0012678  
 Owner: GATES, KARISSA  
 Permit Number: PT0022173  
 Permit Category: SPECIAL HANDLER  
 Facility Status: ACTIVE  
 Expiration Date: 2010-09-30 00:00:00

**Actual:**  
**1326 ft.**

Region: SAN BERNARDINO  
 Facility ID: FA0012678  
 Owner: GATES, KARISSA  
 Permit Number: PT0022172  
 Permit Category: SPECIAL GENERATOR(B)  
 Facility Status: ACTIVE  
 Expiration Date: 2010-09-30 00:00:00

**HAZNET:**

Gepaid: CAL000055038  
 Contact: Not reported  
 Telephone: 0000000000  
 Facility Addr2: Not reported  
 Mailing Name: Not reported  
 Mailing Address: 525 W STUART ST  
 Mailing City,St,Zip: REDLANDS, CA 923740000  
 Gen County: San Bernardino  
 TSD EPA ID: CAD008252405  
 TSD County: Los Angeles  
 Waste Category: Not reported  
 Disposal Method: Recycler  
 Tons: .1251  
 Facility County: San Bernardino

Gepaid: CAL000055038  
 Contact: Not reported  
 Telephone: 0000000000  
 Facility Addr2: Not reported  
 Mailing Name: Not reported  
 Mailing Address: 525 W STUART ST  
 Mailing City,St,Zip: REDLANDS, CA 923740000  
 Gen County: San Bernardino  
 TSD EPA ID: CAD008252405  
 TSD County: Los Angeles  
 Waste Category: Unspecified solvent mixture Waste  
 Disposal Method: Recycler  
 Tons: .3960



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CBS AUTO REPAIR (Continued)**

**S103663617**

Facility County: San Bernardino  
  
Gepaid: CAL000055038  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 525 W STUART ST  
Mailing City,St,Zip: REDLANDS, CA 923740000  
Gen County: San Bernardino  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Unspecified solvent mixture Waste  
Disposal Method: Not reported  
Tons: .1459  
Facility County: San Bernardino

Gepaid: CAL000055038  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 525 W STUART ST  
Mailing City,St,Zip: REDLANDS, CA 923740000  
Gen County: San Bernardino  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Recycler  
Tons: .0000  
Facility County: San Bernardino

Gepaid: CAL000055038  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 525 W STUART ST  
Mailing City,St,Zip: REDLANDS, CA 923740000  
Gen County: San Bernardino  
TSD EPA ID: CAD008252405  
TSD County: Los Angeles  
Waste Category: Unspecified solvent mixture Waste  
Disposal Method: Recycler  
Tons: .3210  
Facility County: San Bernardino

[Click this hyperlink](#) while viewing on your computer to access  
3 additional CA\_HAZNET: record(s) in the EDR Site Report.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**M51**  
**West**  
**1/8-1/4**  
**0.221 mi.**  
**1165 ft.**

**INLAND VALLEY AUTOMOTIVE, INC**  
**525 W STUART AVE**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit**

**S102040795**  
**N/A**

**Site 2 of 2 in cluster M**

**Relative:**  
**Lower**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0004496  
Owner: BRUCK, DAVID  
Permit Number: PT0007750  
Permit Category: SPECIAL HANDLER  
Facility Status: INACTIVE  
Expiration Date: 2009-11-30 00:00:00

**Actual:**  
**1326 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0004496  
Owner: BRUCK, DAVID  
Permit Number: PT0007749  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: INACTIVE  
Expiration Date: 2009-11-30 00:00:00

**N52**  
**North**  
**1/8-1/4**  
**0.222 mi.**  
**1173 ft.**

**DUTCH GIRL DRY CLEANERS**  
**34 W COLTON AVE**  
**REDLANDS, CA 92374**

**RCRA-SQG**  
**FINDS**  
**DRYCLEANERS**  
**San Bern. Co. Permit**  
**HAZNET**

**1000169456**  
**CAD981994783**

**Site 1 of 3 in cluster N**

**Relative:**  
**Higher**

RCRA-SQG:  
Date form received by agency: 02/09/1987  
Facility name: DUTCH GIRL DRY CLEANERS  
Facility address: 34 W COLTON AVE  
REDLANDS, CA 92374

**Actual:**  
**1374 ft.**

EPA ID: CAD981994783  
Contact: ENVIRONMENTAL MANAGER  
Contact address: 34 W COLTON AVE  
REDLANDS, CA 92374  
Contact country: US  
Contact telephone: (714) 792-3630  
Contact email: Not reported  
EPA Region: 09  
Classification: Small Small Quantity Generator  
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: MCGUERN BILL  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DUTCH GIRL DRY CLEANERS (Continued)**

**1000169456**

Owner/operator name: NOT REQUIRED  
Owner/operator address: NOT REQUIRED  
NOT REQUIRED, ME 99999  
Owner/operator country: Not reported  
Owner/operator telephone: (415) 555-1212  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: Not reported  
Owner/Op end date: Not reported

**Handler Activities Summary:**

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): Unknown  
Recycler of hazardous waste: No  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Verified to be non-commercial

Violation Status: No violations found

**FINDS:**

Registry ID: 110002770591

**Environmental Interest/Information System**

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

**DRYCLEANERS:**

EPA Id: CAD981994783  
NAICS Code: Not reported  
NAICS Description: Not reported  
SIC Code: Not reported  
SIC Description: Not reported  
Create Date: 7/3/1987  
Facility Active: No  
Inactive Date: 6/30/2003  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 34 W COLTON AVE  
Mailing Address 2: Not reported  
Mailing State: CA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DUTCH GIRL DRY CLEANERS (Continued)**

**1000169456**

Mailing Zip: 923743232  
Region Code: 4  
Owner Name: --  
Owner Address: --  
Owner Address 2: Not reported  
Owner Telephone: 0000000000  
Contact Name: --  
Contact Address: INACT PER 98VQ FINAL NOTICE  
Contact Address 2: - BATCH 4/27  
Contact Telephone: --

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0002812  
Owner: JIVANI, SHIRAZALI  
Permit Number: PT0001412  
Permit Category: GENERATOR - 0-10 EMPLOYEES  
Facility Status: INACTIVE  
Expiration Date: 2002-11-30 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0002812  
Owner: JIVANI, SHIRAZALI  
Permit Number: PT0001411  
Permit Category: HAZMAT HANDLER 0-10 EMPLOYEES (W/GEN PRMT)  
Facility Status: INACTIVE  
Expiration Date: 2002-11-30 00:00:00

HAZNET:

Gepaid: CAD981994783  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 34 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923743232  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene, etc.)  
Disposal Method: Recycler  
Tons: .8428  
Facility County: San Bernardino

Gepaid: CAD981994783  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 34 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923743232  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene,

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DUTCH GIRL DRY CLEANERS (Continued)**

**1000169456**

etc.)  
Disposal Method: Recycler  
Tons: .4214  
Facility County: San Bernardino

Gepaid: CAD981994783  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 34 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923743232  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene, etc.)

Disposal Method: Recycler  
Tons: .6090  
Facility County: San Bernardino

Gepaid: CAD981994783  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 34 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923743232  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Not reported  
Disposal Method: Recycler  
Tons: .0000  
Facility County: San Bernardino

Gepaid: CAD981994783  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 34 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923743232  
Gen County: San Bernardino  
TSD EPA ID: CAD981397417  
TSD County: Los Angeles  
Waste Category: Halogenated solvents (chloroform, methyl chloride, perchloroethylene, etc.)

Disposal Method: Recycler  
Tons: .8428  
Facility County: San Bernardino

[Click this hyperlink](#) while viewing on your computer to access 5 additional CA\_HAZNET: record(s) in the EDR Site Report.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**J53**  
**East**  
**1/8-1/4**  
**0.225 mi.**  
**1189 ft.**

**GREG'S GARAGE**  
**221 E STUART AVE**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit**

**S102040747**  
**N/A**

**Site 2 of 3 in cluster J**

**Relative:**  
**Higher**

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0003560  
Owner: BEST, GREG  
Permit Number: PT0002332  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-09-30 00:00:00

**Actual:**  
**1373 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0003560  
Owner: BEST, GREG  
Permit Number: PT0002333  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-09-30 00:00:00

**J54**  
**East**  
**1/8-1/4**  
**0.225 mi.**  
**1189 ft.**

**GENE'S AUTO REPAIR**  
**221 E STUART AVE**  
**REDLANDS, CA 92374**

**CA FID UST**  
**SWEEPS UST**

**S101591320**  
**N/A**

**Site 3 of 3 in cluster J**

**Relative:**  
**Higher**

CA FID UST:

Facility ID: 36004704  
Regulated By: UTKNI  
Regulated ID: CALD00003  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 221 E STUART AVE  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92374  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Inactive

**Actual:**  
**1373 ft.**

SWEEPS UST:

Status: Not reported  
Comp Number: 9041  
Number: Not reported  
Board Of Equalization: 44-020148  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-009041-000001

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GENE'S AUTO REPAIR (Continued)**

**S101591320**

Actv Date: Not reported  
Capacity: 300  
Tank Use: UNKNOWN  
Stg: WASTE  
Content: WASTE OIL  
Number Of Tanks: 1

**O55  
NNW  
1/8-1/4  
0.225 mi.  
1190 ft.**

**EXCEL AUTO WHOLESALE  
305 W COLTON AVE  
REDLANDS, CA 92374**

**San Bern. Co. Permit  
HAZNET**

**S103886650  
N/A**

**Site 1 of 2 in cluster O**

**Relative:  
Higher**

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0002957  
Owner: RAMIREZ, FERNANDO  
Permit Number: PT0001718  
Permit Category: SPECIAL HANDLER  
Facility Status: INACTIVE  
Expiration Date: 2011-05-31 00:00:00

**Actual:  
1357 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0002957  
Owner: RAMIREZ, FERNANDO  
Permit Number: PT0001717  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: INACTIVE  
Expiration Date: 2011-05-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0008074  
Owner: POWNALL, DENNIS  
Permit Number: PT0014164  
Permit Category: SPECIAL HANDLER  
Facility Status: INACTIVE  
Expiration Date: 2009-01-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0008074  
Owner: POWNALL, DENNIS  
Permit Number: PT0014163  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: INACTIVE  
Expiration Date: 2009-01-31 00:00:00

**HAZNET:**

Gepaid: CAL000200992  
Contact: FERNANDO RAMIREZ-OWNER  
Telephone: 9097939435  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 305 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923740000  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Los Angeles

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**EXCEL AUTO WHOLESALE (Continued)**

**S103886650**

Waste Category: Unspecified oil-containing waste  
Disposal Method: Disposal, Land Fill  
Tons: 0.12  
Facility County: Not reported  
  
Gepaid: CAL000200992  
Contact: FERNANDO RAMIREZ-OWNER  
Telephone: 9097939435  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 305 W COLTON AVE  
Mailing City,St,Zip: REDLANDS, CA 923740000  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Transfer Station  
Tons: 0.07  
Facility County: Not reported

**K56**  
**ESE**  
**1/8-1/4**  
**0.226 mi.**  
**1193 ft.**

**UNOCAL 76 STN #3356**  
**201 E REDLANDS BLVD**  
**REDLANDS, CA 92373**

**CA FID UST S101591384**  
**SWEEPS UST N/A**

**Site 2 of 8 in cluster K**

**Relative:**  
**Higher**

CA FID UST:  
Facility ID: 36005947  
Regulated By: UTNKA  
Regulated ID: 00020000  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: PO BOX 7600  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**Actual:**  
**1369 ft.**

**SWEEPS UST:**

Status: A  
Comp Number: 20000  
Number: 1  
Board Of Equalization: 44-001057  
Ref Date: 01-29-93  
Act Date: 01-29-93  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1  
Swrcb Tank Id: 36-000-020000-000891  
Actv Date: 01-29-93



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNOCAL 76 STN #3356 (Continued)**

**S101591384**

Capacity: 500  
Tank Use: OIL  
Stg: W  
Content: WASTE OIL  
Number Of Tanks: 3

Status: A  
Comp Number: 20000  
Number: 1  
Board Of Equalization: 44-001057  
Ref Date: 01-29-93  
Act Date: 01-29-93  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 892  
Swrcb Tank Id: 36-000-020000-000892  
Actv Date: 01-29-93  
Capacity: 12000  
Tank Use: M.V. FUEL  
Stg: P  
Content: REG UNLEADED  
Number Of Tanks: Not reported

Status: A  
Comp Number: 20000  
Number: 1  
Board Of Equalization: 44-001057  
Ref Date: 01-29-93  
Act Date: 01-29-93  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 893  
Swrcb Tank Id: 36-000-020000-000893  
Actv Date: 01-29-93  
Capacity: 12000  
Tank Use: M.V. FUEL  
Stg: P  
Content: PRM UNLEADED  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 20000  
Number: Not reported  
Board Of Equalization: 44-001057  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-020000-000001  
Actv Date: Not reported  
Capacity: 10000  
Tank Use: M.V. FUEL  
Stg: PRODUCT  
Content: REG UNLEADED  
Number Of Tanks: 3

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNOCAL 76 STN #3356 (Continued)**

**S101591384**

Status: Not reported  
Comp Number: 20000  
Number: Not reported  
Board Of Equalization: 44-001057  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-020000-000002  
Actv Date: Not reported  
Capacity: 10000  
Tank Use: M.V. FUEL  
Stg: PRODUCT  
Content: REG UNLEADED  
Number Of Tanks: Not reported

Status: Not reported  
Comp Number: 20000  
Number: Not reported  
Board Of Equalization: 44-001057  
Ref Date: Not reported  
Act Date: Not reported  
Created Date: Not reported  
Tank Status: Not reported  
Owner Tank Id: Not reported  
Swrcb Tank Id: 36-000-020000-000003  
Actv Date: Not reported  
Capacity: 550  
Tank Use: OIL  
Stg: WASTE  
Content: WASTE OIL  
Number Of Tanks: Not reported

**K57  
ESE  
1/8-1/4  
0.226 mi.  
1193 ft.**

**OLD TOWN LA QUINTA GAS STN  
201 E REDLANDS BLVD  
REDLANDS, CA 92373  
Site 3 of 8 in cluster K**

**San Bern. Co. Permit S106176545  
N/A**

**Relative:  
Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0006731  
Owner: ABELSON, ZIAD A.  
Permit Number: PT0011872  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**Actual:  
1369 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0006731  
Owner: ABELSON, ZIAD A.  
Permit Number: PT0011873  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**OLD TOWN LA QUINTA GAS STN (Continued)**

**S106176545**

Facility ID: FA0006731  
Owner: ABELSON, ZIAD A.  
Permit Number: PT0011874  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0006731  
Owner: ABELSON, ZIAD A.  
Permit Number: PT0002316  
Permit Category: HAZMAT HANDLER 0-10 EMPLOYEES (W/GEN PRMT)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0006731  
Owner: ABELSON, ZIAD A.  
Permit Number: PT0002317  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**K58**  
**ESE**  
**1/8-1/4**  
**0.226 mi.**  
**1193 ft.**

**UNION OIL SERVICE STATION #335**  
**201 E REDLANDS BLVD**  
**REDLANDS, CA 92373**

**HIST UST** **U001575487**  
**N/A**

**Site 4 of 8 in cluster K**

**Relative:**  
**Higher**

HIST UST:  
Region: STATE  
Facility ID: 00000020000  
Facility Type: Gas Station  
Other Type: Not reported  
Total Tanks: 0003  
Contact Name: FLOYD E. HINKLE  
Telephone: 7147924155  
Owner Name: UNION OIL COMPANY OF CALIFORNI  
Owner Address: 123 CAMINO DELA REINA  
Owner City,St,Zip: SAN DIEGO, CA 92108

**Actual:**  
**1369 ft.**

Tank Num: 001  
Container Num: 3356-11  
Year Installed: 1969  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: UNLEADED  
Tank Construction: Not reported  
Leak Detection: Stock Inventor, 10

Tank Num: 002  
Container Num: 3356-22  
Year Installed: 1969  
Tank Capacity: 00010000  
Tank Used for: PRODUCT  
Type of Fuel: PREMIUM  
Tank Construction: Not reported  
Leak Detection: Stock Inventor, 10

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**UNION OIL SERVICE STATION #335 (Continued)**

**U001575487**

Tank Num: 003  
Container Num: 3356-34  
Year Installed: 1969  
Tank Capacity: 00000550  
Tank Used for: WASTE  
Type of Fuel: WASTE OIL  
Tank Construction: Not reported  
Leak Detection: None

**K59**  
**ESE**  
**1/8-1/4**  
**0.226 mi.**  
**1193 ft.**

**TOSCO SS # 30494-3356**  
**201 E REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 5 of 8 in cluster K**

**UST** **U003942322**  
**N/A**

**Relative:**  
**Higher**  
  
**Actual:**  
**1369 ft.**

UST:  
Facility ID: 14660  
Latitude: 34.05737  
Longitude: -117.18028

**K60**  
**ESE**  
**1/8-1/4**  
**0.226 mi.**  
**1193 ft.**

**STATION #3356**  
**201 E REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 6 of 8 in cluster K**

**HIST UST** **U001575475**  
**N/A**

**Relative:**  
**Higher**  
  
**Actual:**  
**1369 ft.**

HIST UST:  
Region: STATE  
Facility ID: 00000043816  
Facility Type: Gas Station  
Other Type: Not reported  
Total Tanks: 0001  
Contact Name: FLOYD E. HINKLE  
Telephone: 7147924155  
Owner Name: UNION OIL COMPANY OF CALIFORNI  
Owner Address: 1450 FRAZEE ROAD  
Owner City,St,Zip: SAN DIEGO, CA 92108  
  
Tank Num: 001  
Container Num: 3356-00  
Year Installed: 1969  
Tank Capacity: 00000000  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**O61**      **REDLANDS BATTERY**  
**NNW**      **305 W COLTON AVE**  
**1/8-1/4**    **REDLANDS, CA 92373**  
**0.226 mi.**  
**1195 ft.**    **Site 2 of 2 in cluster O**

**LUST**    **S109285230**  
              **N/A**

**Relative:**  
**Higher**

LUST:

Region:                    STATE  
Global Id:                T0607100074  
Latitude:                 34.0627284  
Longitude:               -117.1864887  
Case Type:               LUST Cleanup Site  
Status:                    Completed - Case Closed  
Status Date:             1997-06-03 00:00:00  
Lead Agency:            SAN BERNARDINO COUNTY LOP  
Case Worker:            RR1  
Local Agency:            Not reported  
RB Case Number:        083600711T  
LOC Case Number:       87032  
File Location:            Local Agency  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History:             Not reported

**Actual:**  
**1357 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

**K62**      **CONOCO PHILLIPS #253356**  
**ESE**      **201 REDLANDS BOULEVARD EAST**  
**1/8-1/4**    **REDLANDS, CA 92373**  
**0.228 mi.**  
**1205 ft.**    **Site 7 of 8 in cluster K**

**LUST**    **S107472901**  
              **N/A**

**Relative:**  
**Higher**

LUST:

Region:                    STATE  
Global Id:                T0607132495  
Latitude:                 34.057656  
Longitude:               -117.180061  
Case Type:               LUST Cleanup Site  
Status:                    Open - Site Assessment  
Status Date:             2005-10-13 00:00:00  
Lead Agency:            SAN BERNARDINO COUNTY LOP  
Case Worker:            JC3  
Local Agency:            SAN BERNARDINO COUNTY LOP  
RB Case Number:        Not reported  
LOC Case Number:       2005009  
File Location:            Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History:             In lieu of complete vertical definition of contaminant plume, short term vapor extraction was started up during the week of May 10, 2010. The treatment system is expected to run for about 3 months.

**Actual:**  
**1369 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**N63**      **STATER BROS. SITE**  
**NNE**      **11 COLTON AVE**  
**1/8-1/4**    **REDLANDS, CA 92374**  
**0.231 mi.**  
**1219 ft.**    **Site 2 of 3 in cluster N**

**LUST**    **S104025247**  
**N/A**

**Relative:**  
**Higher**

LUST REG 8:

**Actual:**  
**1377 ft.**

Region: 8  
 County: San Bernardino  
 Regional Board: Santa Ana Region  
 Facility Status: Case Closed  
 Case Number: 083603505T  
 Local Case Num: 98013  
 Case Type: Soil only  
 Substance: Heater Fuel  
 Qty Leaked: Not reported  
 Abate Method: Excavate and Dispose - remove contaminated soil and dispose in approved site  
  
 Cross Street: ORANGE  
 Enf Type: CLOS  
 Funding: Not reported  
 How Discovered: OM  
 How Stopped: Not reported  
 Leak Cause: Not reported  
 Leak Source: Not reported  
 Global ID: T0607100586  
 How Stopped Date: Not reported  
 Enter Date: Not reported  
 Review Date: Not reported  
 Prelim Assess: 3/12/1998  
 Discover Date: 3/2/1998  
 Enforcement Date: Not reported  
 Close Date: 9/24/1998  
 Workplan: 9/15/1997  
 Pollution Char: 5/23/1998  
 Remed Plan: Not reported  
 Remed Action: Not reported  
 Monitoring: Not reported  
 Enter Date: Not reported  
 GW Qualifies: Not reported  
 Soil Qualifies: <  
 Operator: Not reported  
 Facility Contact: Not reported  
 Interim: Not reported  
 Oversight Program: LOCNL  
 Latitude: 34.0629794  
 Longitude: -117.1824235  
 MTBE Date: Not reported  
 Max MTBE GW: Not reported  
 MTBE Concentration: 1  
 Max MTBE Soil: .1  
 MTBE Fuel: 0  
 MTBE Tested: MTBE Detected. Site tested for MTBE & MTBE detected  
 MTBE Class: \*  
 Staff: NOM  
 Staff Initials: CB5  
 Lead Agency: Local Agency  
 Local Agency: 36000L  
 Hydr Basin #: UPPER SANTA ANA VALL

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**STATER BROS. SITE (Continued)**

**S104025247**

Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

**N64**  
**NNE**  
**1/8-1/4**  
**0.231 mi.**  
**1219 ft.**

**STATER BROS MARKETS #018**  
**11 E COLTON AVE**  
**REDLANDS, CA 92374**

**San Bern. Co. Permit**

**SLIC S109117887**  
**N/A**

**Site 3 of 3 in cluster N**

**Relative:**  
**Higher**

SLIC:

**Actual:**  
**1377 ft.**

Region: STATE  
**Facility Status: Completed - Case Closed**  
Status Date: 1998-09-24 00:00:00  
Global Id: T0607100586  
Lead Agency: SAN BERNARDINO COUNTY LOP  
Lead Agency Case Number: 98013  
Latitude: 34.063478  
Longitude: -117.181946  
Case Type: Cleanup Program Site  
Case Worker: CB5  
Local Agency: Not reported  
RB Case Number: 083603505T  
File Location: Local Agency  
Potential Media Affected: Soil  
Potential Contaminants of Concern: Heating Oil / Fuel Oil  
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0011496  
Owner: STATER BROS. MARKETS  
Permit Number: PT0019899  
Permit Category: HAZMAT HANDLER 11-25 EMPLOYEES  
Facility Status: ACTIVE  
Expiration Date: 2011-03-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0011496  
Owner: STATER BROS. MARKETS  
Permit Number: PT0021285  
Permit Category: LIMITED QUANTITY GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-03-31 00:00:00

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**P65**  
**SE**  
**1/8-1/4**  
**0.231 mi.**  
**1221 ft.**

**CITROGRAPH PRINTING**  
**113 E STATE ST**  
**REDLANDS, CA 92373**

**Site 1 of 2 in cluster P**

**RCRA-SQG** **1004676312**  
**FINDS** **CAR000083634**  
**HAZNET**

**Relative:**  
**Higher**

RCRA-SQG:

Date form received by agency: 09/25/2000  
 Facility name: CITROGRAPH PRINTING  
 Facility address: 113 E STATE ST  
 REDLANDS, CA 92373  
 EPA ID: CAR000083634  
 Contact: RICHARD CAUDLE  
 Contact address: 113 E STATE ST  
 REDLANDS, CA 92373

**Actual:**  
**1365 ft.**

Contact country: US  
 Contact telephone: (909) 792-3901  
 Contact email: Not reported  
 EPA Region: 09  
 Classification: Small Small Quantity Generator  
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: RICHARD CAUDLE  
 Owner/operator address: 113 E STATE ST  
 REDLANDS, CA 92373  
 Owner/operator country: Not reported  
 Owner/operator telephone: (909) 792-3901  
 Legal status: Private  
 Owner/Operator Type: Owner  
 Owner/Op start date: Not reported  
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
 Mixed waste (haz. and radioactive): Unknown  
 Recycler of hazardous waste: No  
 Transporter of hazardous waste: No  
 Treater, storer or disposer of HW: No  
 Underground injection activity: No  
 On-site burner exemption: No  
 Furnace exemption: No  
 Used oil fuel burner: No  
 Used oil processor: No  
 User oil refiner: No  
 Used oil fuel marketer to burner: No  
 Used oil Specification marketer: No  
 Used oil transfer facility: No  
 Used oil transporter: No  
 Off-site waste receiver: Verified to be non-commercial

Hazardous Waste Summary:

Waste code: D011  
 Waste name: SILVER



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CITROGRAPH PRINTING (Continued)**

**1004676312**

Violation Status: No violations found

FINDS:

Registry ID: 110012250802

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZNET:

Gepaid: CAR000083634  
Contact: Not reported  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 113 E STATE ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: 0  
TSD EPA ID: CAD093459485  
TSD County: Fresno  
Waste Category: Photochemicals/photoprocessing waste  
Disposal Method: Recycler  
Tons: .2293  
Facility County: 0

Gepaid: CAR000083634  
Contact: RICHARD CAUDLE  
Telephone: 9097923901  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 113 E STATE ST  
Mailing City,St,Zip: REDLANDS, CA 923730000  
Gen County: San Bernardino  
TSD EPA ID: Not reported  
TSD County: Fresno  
Waste Category: Photochemicals/photoprocessing waste  
Disposal Method: Recycler  
Tons: 0.43  
Facility County: Not reported

**P66**  
**SE**  
**1/8-1/4**  
**0.231 mi.**  
**1221 ft.**

**CITROGRAPH PRINTING CO.**  
**113 E STATE ST**  
**REDLANDS, CA 92373**  
**Site 2 of 2 in cluster P**

**San Bern. Co. Permit S102040714**  
**N/A**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0002197  
Owner: CITROGRAPH PRINTING LLC  
Permit Number: PT0001527  
Permit Category: LIMITED QUANTITY GENERATOR(B)

**Actual:**  
**1365 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CITROGRAPH PRINTING CO. (Continued)**

**S102040714**

Facility Status: ACTIVE  
Expiration Date: 2011-05-31 00:00:00

**K67**  
**ESE**  
**1/8-1/4**  
**0.233 mi.**  
**1231 ft.**

**HONDA YAMAHA OF REDLANDS**  
**215 E REDLANDS BLVD**  
**REDLANDS, CA 92373**

**San Bern. Co. Permit S106446747**  
**N/A**

**Site 8 of 8 in cluster K**

**Relative:**  
**Higher**

San Bern. Co. Permit:  
Region: SAN BERNARDINO  
Facility ID: FA0008611  
Owner: RALEY, TONY  
Permit Number: PT0014931  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**Actual:**  
**1370 ft.**

Region: SAN BERNARDINO  
Facility ID: FA0008611  
Owner: RALEY, TONY  
Permit Number: PT0014930  
Permit Category: SPECIAL HANDLER  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**L68**  
**WSW**  
**1/8-1/4**  
**0.239 mi.**  
**1264 ft.**

**ARCO STATION #6052**  
**539 REDLANDS BOULEVARD**  
**REDLANDS, CA 92373**

**LUST S105624539**  
**N/A**

**Site 6 of 7 in cluster L**

**Relative:**  
**Lower**

LUST:  
Region: STATE  
Global Id: T0607199505  
Latitude: 34.0513397  
Longitude: -117.1719319  
Case Type: LUST Cleanup Site  
Status: Completed - Case Closed  
Status Date: 1994-08-22 00:00:00  
Lead Agency: SAN BERNARDINO COUNTY LOP  
Case Worker: CR2  
Local Agency: SAN BERNARDINO COUNTY LOP  
RB Case Number: Not reported  
LOC Case Number: 90027  
File Location: Local Agency  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

**Actual:**  
**1327 ft.**

Click here to access the California GeoTracker records for this facility:

Region: STATE  
Global Id: T0607107460  
Latitude: 34.0513397  
Longitude: -117.1719319

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ARCO STATION #6052 (Continued)**

**S105624539**

Case Type: LUST Cleanup Site  
Status: Completed - Case Closed  
Status Date: 2001-03-13 00:00:00  
Lead Agency: SAN BERNARDINO COUNTY LOP  
Case Worker: BM7  
Local Agency: Not reported  
RB Case Number: Not reported  
LOC Case Number: 99102  
File Location: Local Agency  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**LUST REG 8:**

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: Not reported  
Local Case Num: 99102  
Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: CITRUS AVENUE  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: UM  
How Stopped: RPP  
Leak Cause: UNK  
Leak Source: UNK  
Global ID: T0607107460  
How Stopped Date: 2/18/1999  
Enter Date: Not reported  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: 2/18/1999  
Enforcement Date: Not reported  
Close Date: 3/13/2001  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: Not reported  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.057312  
Longitude: -117.1889  
MTBE Date: Not reported  
Max MTBE GW: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ARCO STATION #6052 (Continued)**

**S105624539**

MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: Site NOT Tested for MTBE.Includes Unknown and Not Analyzed.  
MTBE Class: \*  
Staff: VJJ  
Staff Initials: BM7  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: Not reported  
Local Case Num: 90027  
Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: CITRUS AVENUE  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Subsurface Monitoring  
How Stopped: Other Means  
Leak Cause: UNK  
Leak Source: UNK  
Global ID: T0607199505  
How Stopped Date: 12/5/1989  
Enter Date: Not reported  
Review Date: 12/5/1989  
Prelim Assess: Not reported  
Discover Date: 9/12/1989  
Enforcement Date: Not reported  
Close Date: 8/22/1994  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: Not reported  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.057312  
Longitude: -117.1889  
MTBE Date: Not reported  
Max MTBE GW: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ARCO STATION #6052 (Continued)**

**S105624539**

MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: Site NOT Tested for MTBE. Includes Unknown and Not Analyzed.  
MTBE Class: \*  
Staff: VJJ  
Staff Initials: CR2  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

**L69**  
**WSW**  
**1/8-1/4**  
**0.239 mi.**  
**1264 ft.**

**ARCO #6052**  
**539 REDLANDS**  
**REDLANDS, CA 92373**  
**Site 7 of 7 in cluster L**

**HIST CORTESE** **S103943746**  
**LUST** **N/A**

**Relative:**  
**Lower**

**CORTESE:**  
Region: CORTESE  
Facility County Code: 36  
Reg By: LTNKA  
Reg Id: 083600050T

**Actual:**  
**1327 ft.**

**LUST REG 8:**  
Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083600050T  
Local Case Num: Not reported  
Case Type: Soil only  
Substance: 8006619, 120  
Qty Leaked: Not reported  
Abate Method: Vapor Extraction  
Cross Street: CITRUS  
Enf Type: None Taken  
Funding: Not reported  
How Discovered: Subsurface Monitoring  
How Stopped: Not reported  
Leak Cause: Overfill  
Leak Source: UNK  
Global ID: T0607100010  
How Stopped Date: 3/15/1989  
Enter Date: 5/19/1987  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: 2/27/1982  
Enforcement Date: 1/1/1965  
Close Date: 7/19/1985  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**ARCO #6052 (Continued)**

**S103943746**

Remed Action: Not reported  
 Monitoring: Not reported  
 Enter Date: 5/19/1987  
 GW Qualifies: Not reported  
 Soil Qualifies: Not reported  
 Operator: Not reported  
 Facility Contact: Not reported  
 Interim: Not reported  
 Oversight Program: LUST  
 Latitude: 34.0562746  
 Longitude: -117.1761551  
 MTBE Date: Not reported  
 Max MTBE GW: Not reported  
 MTBE Concentration: 0  
 Max MTBE Soil: Not reported  
 MTBE Fuel: 0  
 MTBE Tested: Not Required to be Tested.  
 MTBE Class: \*  
 Staff: VJJ  
 Staff Initials: Not reported  
 Lead Agency: Regional Board  
 Local Agency: Not reported  
 Hydr Basin #: UPPER SANTA ANA VALL  
 Beneficial: Not reported  
 Priority: Not reported  
 Cleanup Fund Id: Not reported  
 Work Suspended: Not reported  
 Summary: DRIVE OFF SPILL 08/01/91

**Q70**  
**South**  
**1/4-1/2**  
**0.257 mi.**  
**1357 ft.**

**GTE**  
**11 4TH ST**  
**REDLANDS, CA 92374**  
**Site 1 of 2 in cluster Q**

**LUST S105624613**  
**N/A**

**Relative:**  
**Higher**

**LUST:**  
 Region: STATE  
 Global Id: T0607100096  
 Latitude: 34.0554825  
 Longitude: -117.1837211  
 Case Type: LUST Cleanup Site  
 Status: Completed - Case Closed  
 Status Date: 1988-06-27 00:00:00  
 Lead Agency: SANTA ANA RWQCB (REGION 8)  
 Case Worker: PAH  
 Local Agency: SAN BERNARDINO COUNTY LOP  
 RB Case Number: 083600906T  
 LOC Case Number: Not reported  
 File Location: Local Agency  
 Potential Media Affect: Soil  
 Potential Contaminants of Concern: Diesel  
 Site History: Not reported

**Actual:**  
**1354 ft.**

Click here to access the California GeoTracker records for this facility:

LUST REG 8:  
 Region: 8

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GTE (Continued)**

**S105624613**

County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083600906T  
Local Case Num: Not reported  
Case Type: Soil only  
Substance: Diesel  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: VINE  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported  
Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0607100096  
How Stopped Date: Not reported  
Enter Date: 6/20/1988  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: Not reported  
Enforcement Date: Not reported  
Close Date: 6/27/1988  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 6/20/1988  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.0634033  
Longitude: -117.1674198  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 0  
MTBE Tested: Not Required to be Tested.  
MTBE Class: \*  
Staff: PAH  
Staff Initials: CR2  
Lead Agency: Regional Board  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

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<b>Q71</b> South 1/4-1/2 0.257 mi. 1358 ft.	<b>STATER BROS. SITE</b> 11 <b>REDLANDS, CA 92374</b>  Site 2 of 2 in cluster Q	<b>HIST CORTESE</b>	<b>S102431071</b> N/A
<b>Relative:</b> Higher	CORTESE: Region: CORTESE Facility County Code: 36 Reg By: LTNKA Reg Id: 083603505T		
<b>Actual:</b> 1354 ft.			

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<b>72</b> WSW 1/4-1/2 0.290 mi. 1529 ft.	<b>SO CAL GAS/REDLANDS MGP</b> <b>STATE STREET AT REDLANDS BLVD</b> <b>REDLANDS, CA 92373</b>	<b>Manufactured Gas Plants</b>	<b>1008407741</b> N/A
<b>Relative:</b> Lower	Manufactured Gas Plants: The site is a 1-acre parcel which was operated as a MGP from 1906 to 1921 by various utility companies. In 1921, the Gas Company discontinued operations at the site. The site was dismantled prior to 1928. PEA field work conducted in June 1993 revealed visible soil contamination (possibly with lampblack).		
<b>Actual:</b> 1323 ft.			

---

<b>73</b> WNW 1/4-1/2 0.307 mi. 1619 ft.	<b>REDLANDS RECYCLING</b> <b>612 LAWTON ST</b> <b>REDLANDS, CA 92373</b>	<b>SWRCY</b>	<b>S107137757</b> N/A
<b>Relative:</b> Lower	SWRCY: Facility Phone Number: Not reported Whether The Facility Is Grandfathered: N Effective Date: 09/30/1988 Rural: N As Of: 11/17/2010 Party Number: 27988		
<b>Actual:</b> 1322 ft.			

---

<b>R74</b> NNE 1/4-1/2 0.312 mi. 1648 ft.	<b>ARCO PETROLEUM PRODUCTS #9716</b> <b>902 ORANGE STREET</b> <b>REDLANDS, CA 92373</b>  Site 1 of 4 in cluster R	<b>LUST</b>	<b>S105960660</b> N/A
<b>Relative:</b> Higher	LUST: Region: STATE Global Id: T0607137340 Latitude: 34.06429 Longitude: -117.182187 Case Type: LUST Cleanup Site Status: Completed - Case Closed Status Date: 2004-08-26 00:00:00 Lead Agency: SAN BERNARDINO COUNTY LOP Case Worker: LH6 Local Agency: Not reported RB Case Number: Not reported LOC Case Number: 2003026 File Location: Local Agency		
<b>Actual:</b> 1371 ft.			



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ARCO PETROLEUM PRODUCTS #9716 (Continued)**

**S105960660**

Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline, Fuel Oxygenates  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**LUST REG 8:**

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: Not reported  
Local Case Num: 2003026  
Case Type: Soil only  
Substance: 8006619, MTB  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: SUN AVENUE  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Tank Closure  
How Stopped: Not reported  
Leak Cause: UNK  
Leak Source: UNK  
Global ID: T0607137340  
How Stopped Date: Not reported  
Enter Date: Not reported  
Review Date: 9/3/2003  
Prelim Assess: 9/3/2003  
Discover Date: 12/29/1997  
Enforcement Date: Not reported  
Close Date: 8/26/2004  
Workplan: Not reported  
Pollution Char: 1/28/2004  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: Not reported  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 0  
Longitude: 0  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 0  
MTBE Tested: Not Required to be Tested.  
MTBE Class: \*  
Staff: VJJ  
Staff Initials: LH6  
Lead Agency: Local Agency  
Local Agency: 36000L

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**ARCO PETROLEUM PRODUCTS #9716 (Continued)**

**S105960660**

Hydr Basin #: Not reported  
Beneficial: MUN  
Priority: A2  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

**R75**  
**NNE**  
**1/4-1/2**  
**0.312 mi.**  
**1648 ft.**

**BP WEST COAST PRODUCTS LLC 9716**  
**902 ORANGE ST**  
**REDLANDS, CA 92374**  
**Site 2 of 4 in cluster R**

**HIST CORTESE**  
**CA FID UST**  
**SWEEPS UST**  
**HAZNET**

**S101591041**  
**N/A**

**Relative:**  
**Higher**

**CORTESE:**  
Region: CORTESE  
Facility County Code: 36  
Reg By: LTNKA  
Reg Id: 083603294T

**Actual:**  
**1371 ft.**

**CA FID UST:**  
Facility ID: 36000960  
Regulated By: UTNKA  
Regulated ID: 00001905  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: 10000 LAKEWOOD BLVD  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92373  
Contact: Not reported  
Contact Phone: Not reported  
DUNs Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**SWEEPS UST:**

Status: A  
Comp Number: 1905  
Number: 9  
Board Of Equalization: 44-011320  
Ref Date: 07-28-92  
Act Date: 07-28-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 346-1  
Swrcb Tank Id: 36-000-001905-000001  
Actv Date: 07-08-88  
Capacity: 10164  
Tank Use: M.V. FUEL  
Stg: P  
Content: LEADED  
Number Of Tanks: 4  
  
Status: A

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BP WEST COAST PRODUCTS LLC 9716 (Continued)**

**S101591041**

Comp Number: 1905  
Number: 9  
Board Of Equalization: 44-011320  
Ref Date: 07-28-92  
Act Date: 07-28-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 346-2  
Swrcb Tank Id: 36-000-001905-000002  
Actv Date: 07-08-88  
Capacity: 10164  
Tank Use: M.V. FUEL  
Stg: P  
Content: REG UNLEADED  
Number Of Tanks: Not reported

Status: A  
Comp Number: 1905  
Number: 9  
Board Of Equalization: 44-011320  
Ref Date: 07-28-92  
Act Date: 07-28-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 346-3  
Swrcb Tank Id: 36-000-001905-000003  
Actv Date: 07-08-88  
Capacity: 10164  
Tank Use: M.V. FUEL  
Stg: P  
Content: REG UNLEADED  
Number Of Tanks: Not reported

Status: A  
Comp Number: 1905  
Number: 9  
Board Of Equalization: 44-011320  
Ref Date: 07-28-92  
Act Date: 07-28-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 346-10  
Swrcb Tank Id: 36-000-001905-000004  
Actv Date: 07-08-88  
Capacity: 280  
Tank Use: OIL  
Stg: W  
Content: WASTE OIL  
Number Of Tanks: Not reported

**HAZNET:**

Gepaid: CAR000104083  
Contact: JACK OMAN WASTE SPECIALIST  
Telephone: 7146703958  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 80249

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BP WEST COAST PRODUCTS LLC 9716 (Continued)**

**S101591041**

Mailing City,St,Zip: RCHO STA MARG, CA 926880000  
Gen County: San Bernardino  
TSD EPA ID: CAD008302903  
TSD County: Los Angeles  
Waste Category: Other organic solids  
Disposal Method: Transfer Station  
Tons: 0.08  
Facility County: Not reported

Gepaid: CAR000104083  
Contact: RUTH HA / WASTE SPECIALIST  
Telephone: 5035246191  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 80249  
Mailing City,St,Zip: RCHO STA MARG, CA 926880000  
Gen County: San Bernardino  
TSD EPA ID: CAT080013352  
TSD County: Los Angeles  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: H039  
Tons: 0.12  
Facility County: San Bernardino

Gepaid: CAR000104083  
Contact: Waste Specialist  
Telephone: 5035246191  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 80249  
Mailing City,St,Zip: RCHO STA MARG, CA 926880000  
Gen County: San Bernardino  
TSD EPA ID: CAD008302903  
TSD County: Los Angeles  
Waste Category: Other organic solids  
Disposal Method: H141  
Tons: 0.035  
Facility County: San Bernardino

Gepaid: CAR000104083  
Contact: JACK OMAN WASTE SPECIALIST  
Telephone: 7146703958  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 80249  
Mailing City,St,Zip: RCHO STA MARG, CA 926880000  
Gen County: San Bernardino  
TSD EPA ID: CAD008302903  
TSD County: Los Angeles  
Waste Category: Other organic solids  
Disposal Method: Transfer Station  
Tons: 0.03  
Facility County: San Bernardino

Gepaid: CAR000104083  
Contact: RUTH HA / WASTE SPECIALIST  
Telephone: 5035246191

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BP WEST COAST PRODUCTS LLC 9716 (Continued)**

**S101591041**

Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: PO BOX 80249  
Mailing City,St,Zip: RCHO STA MARG, CA 926880000  
Gen County: San Bernardino  
TSD EPA ID: CAD008302903  
TSD County: Los Angeles  
Waste Category: Other organic solids  
Disposal Method: H141  
Tons: 0.38  
Facility County: San Bernardino

[Click this hyperlink](#) while viewing on your computer to access 6 additional CA\_HAZNET: record(s) in the EDR Site Report.

**R76**  
**NNE**  
**1/4-1/2**  
**0.312 mi.**  
**1648 ft.**

**THRIFTY OIL #346/ ARCO #9716**  
**902 ORANGE ST**  
**REDLANDS, CA 92373**  
**Site 3 of 4 in cluster R**

**LUST S104025238**  
**N/A**

**Relative:**  
**Higher**

**Actual:**  
**1371 ft.**

LUST:  
Region: STATE  
Global Id: T0607100517  
Latitude: 34.06429  
Longitude: -117.182187  
Case Type: LUST Cleanup Site  
Status: Completed - Case Closed  
Status Date: 1998-06-30 00:00:00  
Lead Agency: SAN BERNARDINO COUNTY LOP  
Case Worker: CR2  
Local Agency: SAN BERNARDINO COUNTY LOP  
RB Case Number: 083603294T  
LOC Case Number: 87034  
File Location: Local Agency  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

LUST REG 8:  
Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: No Action  
Case Number: 083603294T  
Local Case Num: 87034  
Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: SUN  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**THRIFTY OIL #346/ ARCO #9716 (Continued)**

**S104025238**

Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0607100517  
How Stopped Date: Not reported  
Enter Date: 11/6/1998  
Review Date: Not reported  
Prelim Assess: 4/29/1998  
Discover Date: 12/29/1997  
Enforcement Date: Not reported  
Close Date: 6/30/1998  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 11/6/1998  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.0641403  
Longitude: -117.1823955  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: Site NOT Tested for MTBE. Includes Unknown and Not Analyzed.  
MTBE Class: \*  
Staff: VJJ  
Staff Initials: CR2  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

R77  
NNE  
1/4-1/2  
0.313 mi.  
1652 ft.

**TOSCO/ 76 STATION #6019  
901 ORANGE AVE  
REDLANDS, CA 92374**

**Site 4 of 4 in cluster R**

**LUST S106784801  
N/A**

**Relative:  
Higher**

LUST REG 8:  
Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Case Closed  
Case Number: 083603202T  
Local Case Num: 98103  
Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported

**Actual:  
1371 ft.**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TOSCO/ 76 STATION #6019 (Continued)**

**S106784801**

Abate Method: Excavate and Dispose - remove contaminated soil and dispose in approved site  
Cross Street: Not reported  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported  
Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0607100488  
How Stopped Date: Not reported  
Enter Date: 9/11/1998  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: Not reported  
Enforcement Date: Not reported  
Close Date: 9/17/1998  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 9/11/1998  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.0641173  
Longitude: -117.1826615  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: Site NOT Tested for MTBE.Includes Unknown and Not Analyzed.  
MTBE Class: \*  
Staff: NOM  
Staff Initials: BM7  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

78  
NE  
1/4-1/2  
0.334 mi.  
1761 ft.

REDLANDS BATTERY  
305  
REDLANDS, CA 92373

HIST CORTESE  
LUST S104757090  
N/A

Relative:  
Higher

CORTESE:  
Region: CORTESE  
Facility County Code: 36  
Reg By: LTNKA  
Reg Id: 083600711T

Actual:  
1389 ft.

Region: CORTESE  
Facility County Code: 36  
Reg By: LTNKA  
Reg Id: 083601595T

LUST REG 8:

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Pollution Characterization  
Case Number: 083600711T  
Local Case Num: 87032  
Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Excavate and Dispose - remove contaminated soil and dispose in approved site  
Cross Street: WEBSTER  
Enf Type: Not reported  
Funding: Not reported  
How Discovered: Tank Closure  
How Stopped: Not reported  
Leak Cause: UNK  
Leak Source: A  
Global ID: T0607100074  
How Stopped Date: Not reported  
Enter Date: 12/18/1987  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: 10/16/1987  
Enforcement Date: Not reported  
Close Date: Not reported  
Workplan: Not reported  
Pollution Char: 12/18/1987  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 12/18/1987  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Yes  
Oversite Program: LUST  
Latitude: 34.0627284  
Longitude: -117.1864887  
MTBE Date: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**REDLANDS BATTERY (Continued)**

**S104757090**

Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: Site NOT Tested for MTBE.Includes Unknown and Not Analyzed.  
MTBE Class: \*  
Staff: TME  
Staff Initials: RR1  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

**S79**  
**WSW**  
**1/4-1/2**  
**0.370 mi.**  
**1955 ft.**

**STOP N' GO #385**  
**765 W REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 1 of 2 in cluster S**

**LUST S109285032**  
**N/A**

**Relative:**  
**Lower**

LUST:

**Actual:**  
**1317 ft.**

Region: STATE  
Global Id: T0607100212  
Latitude: 34.05728  
Longitude: -117.190886  
Case Type: LUST Cleanup Site  
Status: Completed - Case Closed  
Status Date: 1991-10-29 00:00:00  
Lead Agency: SAN BERNARDINO COUNTY LOP  
Case Worker: CB5  
Local Agency: Not reported  
RB Case Number: 083601778T  
LOC Case Number: 87036  
File Location: DTSC  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline  
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**S80**  
**WSW**  
**1/4-1/2**  
**0.370 mi.**  
**1956 ft.**

**STOP N' GO #385**  
**765 REDLANDS BLVD**  
**REDLANDS, CA 92373**  
**Site 2 of 2 in cluster S**

**LUST S105624639**  
**N/A**

**Relative:**  
**Lower**

LUST REG 8:

**Actual:**  
**1317 ft.**

Region: 8  
County: San Bernardino  
Regional Board: Santa Ana Region  
Facility Status: Preliminary site assessment workplan submitted  
Case Number: 083601778T  
Local Case Num: 87036

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**STOP N' GO #385 (Continued)**

**S105624639**

Case Type: Soil only  
Substance: Gasoline  
Qty Leaked: Not reported  
Abate Method: Not reported  
Cross Street: Not reported  
Enf Type: CLOS  
Funding: Not reported  
How Discovered: Not reported  
How Stopped: Not reported  
Leak Cause: Not reported  
Leak Source: Not reported  
Global ID: T0607100212  
How Stopped Date: Not reported  
Enter Date: 1/20/1991  
Review Date: Not reported  
Prelim Assess: Not reported  
Discover Date: Not reported  
Enforcement Date: Not reported  
Close Date: 10/29/1991  
Workplan: 1/1/1965  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 1/20/1991  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.0415722  
Longitude: -117.1830672  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: Site NOT Tested for MTBE.Includes Unknown and Not Analyzed.  
MTBE Class: \*  
Staff: CAB  
Staff Initials: CB5  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**81**  
**North**  
**1/4-1/2**  
**0.415 mi.**  
**2192 ft.**

**RICH OIL CO., INC**  
**1029 ORANGE**  
**REDLANDS, CA 92373**

**HIST CORTESE**  
**LUST**  
**HAZNET**

**S102435846**  
**N/A**

**Relative:**  
**Higher**

**CORTESE:**  
 Region: CORTESE  
 Facility County Code: 36  
 Reg By: LTNKA  
 Reg Id: 083602601T

**Actual:**  
**1367 ft.**

**LUST:**  
 Region: STATE  
 Global Id: T0607100364  
 Latitude: 34.0656383  
 Longitude: -117.1826506  
 Case Type: LUST Cleanup Site  
 Status: Completed - Case Closed  
 Status Date: 1995-11-07 00:00:00  
 Lead Agency: SAN BERNARDINO COUNTY LOP  
 Case Worker: JC3  
 Local Agency: SAN BERNARDINO COUNTY LOP  
 RB Case Number: 083602601T  
 LOC Case Number: 94071  
 File Location: Local Agency  
 Potential Media Affect: Soil  
 Potential Contaminants of Concern: Gasoline  
 Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

**LUST REG 8:**  
 Region: 8  
 County: San Bernardino  
 Regional Board: Santa Ana Region  
 Facility Status: Case Closed  
 Case Number: 083602601T  
 Local Case Num: 94071  
 Case Type: Soil only  
 Substance: Gasoline  
 Qty Leaked: Not reported  
 Abate Method: Not reported  
 Cross Street: BROCKTON  
 Enf Type: CLOS  
 Funding: Not reported  
 How Discovered: Tank Closure  
 How Stopped: Not reported  
 Leak Cause: Not reported  
 Leak Source: UNK  
 Global ID: T0607100364  
 How Stopped Date: 11/22/1994  
 Enter Date: 2/3/1995  
 Review Date: Not reported  
 Prelim Assess: Not reported  
 Discover Date: 11/22/1994  
 Enforcement Date: Not reported  
 Close Date: 11/7/1995

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**RICH OIL CO., INC (Continued)**

**S102435846**

Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: 1/19/1995  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 2/3/1995  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.0656383  
Longitude: -117.1826506  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 1  
Max MTBE Soil: Not reported  
MTBE Fuel: 1  
MTBE Tested: MTBE Detected. Site tested for MTBE & MTBE detected  
MTBE Class: \*  
Staff: RS  
Staff Initials: JC3  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

**HAZNET:**

Gepaid: CAC000928832  
Contact: KEITH HAIG  
Telephone: 9098864704  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 4195 SIERRA WAY  
Mailing City,St,Zip: SAN BERNARDINO, CA 924070000  
Gen County: San Bernardino  
TSD EPA ID: CAD099452708  
TSD County: Los Angeles  
Waste Category: Tank bottom waste  
Disposal Method: Recycler  
Tons: 2.0850  
Facility County: San Bernardino

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**T82**      **PERFORMANCE AUTO**  
**ESE**      **520 E STATE ST**  
**1/4-1/2**   **REDLANDS, CA 92373**  
**0.430 mi.**  
**2270 ft.**   **Site 1 of 3 in cluster T**

**LUST**   **S109285176**  
          **N/A**

**Relative:**  
**Higher**

LUST:

Region:                    STATE  
Global Id:                T0607100249  
Latitude:                34.056115  
Longitude:              -117.176501  
Case Type:              LUST Cleanup Site  
Status:                  Completed - Case Closed  
Status Date:            1992-11-06 00:00:00  
Lead Agency:            SAN BERNARDINO COUNTY LOP  
Case Worker:            DG4  
Local Agency:           Not reported  
RB Case Number:        083602035T  
LOC Case Number:      92007  
File Location:           Local Agency  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating  
Site History:            Not reported

**Actual:**  
**1389 ft.**

[Click here to access the California GeoTracker records for this facility:](#)

**T83**      **PERFORMANCE AUTO**  
**ESE**      **520 STATE**  
**1/4-1/2**   **REDLANDS, CA 92373**  
**0.430 mi.**  
**2273 ft.**   **Site 2 of 3 in cluster T**

**HIST CORTESE**   **S102040814**  
**LUST**                **N/A**  
**WIP**  
**San Bern. Co. Permit**  
**HAZNET**

**Relative:**  
**Higher**

CORTESE:

Region:                    CORTESE  
Facility County Code:   36  
Reg By:                    LTNKA  
Reg Id:                    083602035T

**Actual:**  
**1389 ft.**

LUST REG 8:

Region:                    8  
County:                    San Bernardino  
Regional Board:        Santa Ana Region  
Facility Status:        Case Closed  
Case Number:            083602035T  
Local Case Num:        92007  
Case Type:              Soil only  
Substance:              Waste Oil  
Qty Leaked:              Not reported  
Abate Method:           Not reported  
Cross Street:            REDLANDS  
Enf Type:                CLOS  
Funding:                Not reported  
How Discovered:        Tank Closure  
How Stopped:            Not reported  
Leak Cause:             Corrosion  
Leak Source:            Tank  
Global ID:                T0607100249  
How Stopped Date:     12/9/1991  
Enter Date:             6/22/1992

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

PERFORMANCE AUTO (Continued)

S102040814

Review Date: 12/9/1991  
Prelim Assess: Not reported  
Discover Date: 12/9/1991  
Enforcement Date: Not reported  
Close Date: 11/6/1992  
Workplan: Not reported  
Pollution Char: Not reported  
Remed Plan: Not reported  
Remed Action: Not reported  
Monitoring: Not reported  
Enter Date: 6/22/1992  
GW Qualifies: Not reported  
Soil Qualifies: Not reported  
Operator: Not reported  
Facility Contact: Not reported  
Interim: Not reported  
Oversite Program: LUST  
Latitude: 34.0562356  
Longitude: -117.1769302  
MTBE Date: Not reported  
Max MTBE GW: Not reported  
MTBE Concentration: 0  
Max MTBE Soil: Not reported  
MTBE Fuel: 0  
MTBE Tested: Not Required to be Tested.  
MTBE Class: \*  
Staff: VJJ  
Staff Initials: DG4  
Lead Agency: Local Agency  
Local Agency: 36000L  
Hydr Basin #: UPPER SANTA ANA VALL  
Beneficial: Not reported  
Priority: Not reported  
Cleanup Fund Id: Not reported  
Work Suspended: Not reported  
Summary: Not reported

WIP:

Region: 4  
File Number: 102.0159  
**File Status: Not reported**  
Staff: UNIDENTIFIED  
Facility Suite: Not reported

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0000305  
Owner: KING, DEWAYNE FOREST  
Permit Number: PT0004006  
Permit Category: SPECIAL GENERATOR(B)  
Facility Status: INACTIVE  
Expiration Date: 2002-05-31 00:00:00  
  
Region: SAN BERNARDINO  
Facility ID: FA0000305  
Owner: KING, DEWAYNE FOREST

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PERFORMANCE AUTO (Continued)**

**S102040814**

Permit Number: PT0004007  
Permit Category: SPECIAL HANDLER  
Facility Status: INACTIVE  
Expiration Date: 2002-05-31 00:00:00

**HAZNET:**

Gepaid: CAL000059040  
Contact: RICK REMINGTON  
Telephone: 0000000000  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 520 E STATE ST  
Mailing City,St,Zip: REDLANDS, CA 923735238  
Gen County: San Bernardino  
TSD EPA ID: CAT080025711  
TSD County: San Bernardino  
Waste Category: Aqueous solution with less than 10% total organic residues  
Disposal Method: Not reported  
Tons: .4170  
Facility County: San Bernardino

**T84**  
**ESE**  
**1/4-1/2**  
**0.456 mi.**  
**2409 ft.**

**ARCO #6052**  
**539 E REDLANDS BLVD**  
**REDLANDS, CA 92373**

**LUST S109285205**  
**N/A**

**Site 3 of 3 in cluster T**

**Relative:**  
**Higher**

**LUST:**

**Actual:**  
**1392 ft.**

Region: STATE  
Global Id: T0607100010  
Latitude: 34.055859  
Longitude: -117.17567  
Case Type: LUST Cleanup Site  
Status: Completed - Case Closed  
Status Date: 1985-07-19 00:00:00  
Lead Agency: SANTA ANA RWQCB (REGION 8)  
Case Worker: VJB  
Local Agency: Not reported  
RB Case Number: 083600050T  
LOC Case Number: Not reported  
File Location: Not reported  
Potential Media Affect: Soil  
Potential Contaminants of Concern: Gasoline, Waste Oil / Motor / Hydraulic / Lubricating  
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**U85**      **TELEDYNE TECH INC TELEDYNE CONTINENTAL**  
**NW**      **840 W BROCKTON AVE**  
**1/2-1**    **REDLANDS, CA 92373**  
**0.618 mi.**  
**3262 ft.**    **Site 1 of 2 in cluster U**

**CA FID UST**    **1000201837**  
**HIST UST**      **N/A**  
**SWEEPS UST**  
**San Bern. Co. Permit**  
**HAZNET**  
**EMI**  
**ENVIROSTOR**  
**HWP**

**Relative:**  
**Lower**

**Actual:**  
**1322 ft.**

**CA FID UST:**  
Facility ID: 36000274  
Regulated By: UTKA  
Regulated ID: 00000717  
Cortese Code: Not reported  
SIC Code: Not reported  
Facility Phone: Not reported  
Mail To: Not reported  
Mailing Address: P O BOX  
Mailing Address 2: Not reported  
Mailing City,St,Zip: REDLANDS 92374  
Contact: Not reported  
Contact Phone: Not reported  
DUNS Number: Not reported  
NPDES Number: Not reported  
EPA ID: Not reported  
Comments: Not reported  
Status: Active

**HIST UST:**  
Region: STATE  
Facility ID: 00000000717  
Facility Type: Other  
Other Type: AIRCRAFT BATTERIES  
Total Tanks: 0013  
Contact Name: Not reported  
Telephone: 7147933131  
Owner Name: TELEDYNE INDUSTRIES, INC.  
Owner Address: 1901 AVENUE OF THE STARS  
Owner City,St,Zip: LOS ANGELES, CA 90067

Tank Num: 001  
Container Num: 1ABCD  
Year Installed: 1967  
Tank Capacity: 00042423  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 002  
Container Num: 2  
Year Installed: 1977  
Tank Capacity: 00005000  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 3/8 inches  
Leak Detection: Visual

Tank Num: 003



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

Container Num: 6  
Year Installed: 1980  
Tank Capacity: 00003367  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 004  
Container Num: 7  
Year Installed: 1980  
Tank Capacity: 00000596  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 1/4 inches  
Leak Detection: Visual

Tank Num: 005  
Container Num: 8  
Year Installed: 1978  
Tank Capacity: 00001496  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 006  
Container Num: 9  
Year Installed: 1978  
Tank Capacity: 00001643  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 007  
Container Num: 9A  
Year Installed: 1978  
Tank Capacity: 00001643  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 008  
Container Num: 10  
Year Installed: 1978  
Tank Capacity: 00000152  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 009  
Container Num: 10A  
Year Installed: 1978  
Tank Capacity: 00000943

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 010  
Container Num: 10B  
Year Installed: 1978  
Tank Capacity: 00002394  
Tank Used for: PRODUCT  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 011  
Container Num: 11  
Year Installed: 1980  
Tank Capacity: 00000412  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 012  
Container Num: 12  
Year Installed: 1980  
Tank Capacity: 00001197  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 6 inches  
Leak Detection: Visual

Tank Num: 013  
Container Num: 13  
Year Installed: 1980  
Tank Capacity: 00130000  
Tank Used for: WASTE  
Type of Fuel: Not reported  
Tank Construction: 36 MIL inches  
Leak Detection: Visual, Groundwater Monitoring Well

SWEEPS UST:

Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774  
Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 1ABCD  
Swrcb Tank Id: 36-000-000717-000001  
Actv Date: 07-01-85  
Capacity: 42423  
Tank Use: UNKNOWN  
Stg: W  
Content: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

Number Of Tanks: 7  
Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774  
Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 2  
Swrcb Tank Id: 36-000-000717-000002  
Actv Date: 07-01-85  
Capacity: 5000  
Tank Use: UNKNOWN  
Stg: W  
Content: Not reported  
Number Of Tanks: Not reported

Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774  
Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 9  
Swrcb Tank Id: 36-000-000717-000003  
Actv Date: 07-01-85  
Capacity: 1643  
Tank Use: UNKNOWN  
Stg: P  
Content: Not reported  
Number Of Tanks: Not reported

Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774  
Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 9A  
Swrcb Tank Id: 36-000-000717-000004  
Actv Date: 07-01-85  
Capacity: 1643  
Tank Use: UNKNOWN  
Stg: P  
Content: Not reported  
Number Of Tanks: Not reported

Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 10  
Swrcb Tank Id: 36-000-000717-000005  
Actv Date: 07-01-85  
Capacity: 152  
Tank Use: UNKNOWN  
Stg: W  
Content: Not reported  
Number Of Tanks: Not reported

Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774  
Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 10A  
Swrcb Tank Id: 36-000-000717-000006  
Actv Date: 07-01-85  
Capacity: 943  
Tank Use: UNKNOWN  
Stg: P  
Content: Not reported  
Number Of Tanks: Not reported

Status: A  
Comp Number: 717  
Number: 9  
Board Of Equalization: 44-019774  
Ref Date: 03-23-92  
Act Date: 03-23-92  
Created Date: 02-29-88  
Tank Status: A  
Owner Tank Id: 10B  
Swrcb Tank Id: 36-000-000717-000007  
Actv Date: 07-01-85  
Capacity: 2394  
Tank Use: UNKNOWN  
Stg: P  
Content: Not reported  
Number Of Tanks: Not reported

San Bern. Co. Permit:

Region: SAN BERNARDINO  
Facility ID: FA0006608  
Owner: TELEDYNE TECHNOLOGIES INC.  
Permit Number: PT0016171  
Permit Category: UST OWNERSHIP/OPERATING PERMIT (PER UST)  
Facility Status: INACTIVE  
Expiration Date: 2005-07-31 00:00:00

Region: SAN BERNARDINO

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Facility ID: FA0006608  
Owner: TELEDYNE TECHNOLOGIES INC.  
Permit Number: PT0001495  
Permit Category: GENERATOR - 51-100 EMPLOYEES  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0006608  
Owner: TELEDYNE TECHNOLOGIES INC.  
Permit Number: PT0013335  
Permit Category: EPCRA FACILITY  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0006608  
Owner: TELEDYNE TECHNOLOGIES INC.  
Permit Number: PT0023956  
Permit Category: HAZARDOUS WASTE GENERATOR RCRA LQG  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

Region: SAN BERNARDINO  
Facility ID: FA0006608  
Owner: TELEDYNE TECHNOLOGIES INC.  
Permit Number: PT0001494  
Permit Category: HAZMAT HANDLER 51-100 EMPLOYEES (W/GEN PRMT)  
Facility Status: ACTIVE  
Expiration Date: 2011-07-31 00:00:00

**HAZNET:**

Gepaid: CAD008386641  
Contact: JESUS BUENO LUNA / EHS COORD  
Telephone: 9097933131  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 12333 W OLYMPIC BLVD  
Mailing City,St,Zip: LOS ANGELES, CA 900641021  
Gen County: San Bernardino  
TSD EPA ID: CAD008364432  
TSD County: Los Angeles  
Waste Category: Metal sludge - Alkaline solution (pH <UN> 12.5) with metals (antimony, arsenic, barium, beryllium, cadmium, chromium, cobalt, copper, lead, mercury, molybdenum, nickel, selenium, silver, thallium, vanadium, and zinc)  
Disposal Method: Transfer Station  
Tons: 9.71  
Facility County: Not reported

Gepaid: CAD008386641  
Contact: JESUS BUENO LUNA / EHS COORD  
Telephone: 9097933131  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 12964 PANAMA STREET  
Mailing City,St,Zip: LOS ANGELES, CA 900660000

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Gen County: San Bernardino  
TSD EPA ID: CAD066233966  
TSD County: Los Angeles  
Waste Category: Other inorganic solid waste  
Disposal Method: H010  
Tons: 40.0895  
Facility County: San Bernardino

Gepaid: CAD008386641  
Contact: JESUS BUENO LUNA / EHS COORD  
Telephone: 9097933131  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 12964 PANAMA STREET  
Mailing City,St,Zip: LOS ANGELES, CA 900660000  
Gen County: San Bernardino  
TSD EPA ID: CAD066233966  
TSD County: Los Angeles  
Waste Category: Metal dust - machining waste and Alkaline solution (pH <UN-> 12.5) with metals (antimony, arsenic, barium, beryllium, cadmium, chromium, cobalt, copper, lead, mercury, molybdenum, nickel, selenium, silver, thallium, vanadium, and zinc)  
Disposal Method: H010  
Tons: 6.829  
Facility County: San Bernardino

Gepaid: CAD008386641  
Contact: JESUS BUENO LUNA / EHS COORD  
Telephone: 9097933131  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 12964 PANAMA STREET  
Mailing City,St,Zip: LOS ANGELES, CA 900660000  
Gen County: San Bernardino  
TSD EPA ID: CAT000646117  
TSD County: Kings  
Waste Category: Other inorganic solid waste  
Disposal Method: H132  
Tons: 76.145  
Facility County: San Bernardino

Gepaid: CAD008386641  
Contact: JESUS BUENO LUNA / EHS COORD  
Telephone: 9097933131  
Facility Addr2: Not reported  
Mailing Name: Not reported  
Mailing Address: 12964 PANAMA STREET  
Mailing City,St,Zip: LOS ANGELES, CA 900660000  
Gen County: San Bernardino  
TSD EPA ID: CAT000646117  
TSD County: Kings  
Waste Category: Other inorganic solid waste  
Disposal Method: Not reported  
Tons: 16.856  
Facility County: San Bernardino

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

[Click this hyperlink](#) while viewing on your computer to access  
161 additional CA\_HAZNET: record(s) in the EDR Site Report.

EMI:

Year: 1990  
County Code: 36  
Air Basin: SC  
Facility ID: 16732  
Air District Name: SC  
SIC Code: 3691  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 1995  
County Code: 36  
Air Basin: SC  
Facility ID: 16732  
Air District Name: SC  
SIC Code: 3691  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 1  
Reactive Organic Gases Tons/Yr: 1  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 1  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: 0  
Part. Matter 10 Micrometers & Smlr Tons/Yr: 0

Year: 2007  
County Code: 36  
Air Basin: SC  
Facility ID: 16732  
Air District Name: SC  
SIC Code: 3691  
Air District Name: SOUTH COAST AQMD  
Community Health Air Pollution Info System: Not reported  
Consolidated Emission Reporting Rule: Not reported  
Total Organic Hydrocarbon Gases Tons/Yr: 0  
Reactive Organic Gases Tons/Yr: 0  
Carbon Monoxide Emissions Tons/Yr: 0  
NOX - Oxides of Nitrogen Tons/Yr: 0  
SOX - Oxides of Sulphur Tons/Yr: 0  
Particulate Matter Tons/Yr: .00434337  
Part. Matter 10 Micrometers & Smlr Tons/Yr: .00249309438

ENVIROSTOR:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

Site Type: Historical  
Site Type Detailed: \* Historical  
Acres: Not reported  
NPL: NO  
Regulatory Agencies: NONE SPECIFIED  
Lead Agency: NONE SPECIFIED  
Program Manager: Not reported  
Supervisor: \* MMONROY  
Division Branch: Cleanup Cypress  
Facility ID: 36360017  
Site Code: 400255  
Assembly: 63  
Senate: 31  
Special Program: Not reported  
Status: Refer: RCRA  
Status Date: 4/25/1995  
Restricted Use: NO  
Site Mgmt. Req.: NONE SPECIFIED  
Funding: Not reported  
Latitude: 34.067434911505103  
Longitude: -117.19391256233401  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD008386641  
Alias Type: EPA Identification Number  
Alias Name: 400255  
Alias Type: Project Code (Site Code)  
Alias Name: 36360017  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* Discovery  
Completed Date: 1983-01-24 00:00:00  
Comments: FACILITY IDENTIFIED ID VIA TELEPHONE DIRECTORY (1971) BATTERY PRODUCTS  
Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Site Screening  
Completed Date: 1995-02-09 00:00:00  
Comments: NFA FOR SITE MITIGATION OPERATIONS, THIS IS A RCRA FACILITY.

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

Site Type: Corrective Action



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Site Type Detailed: Corrective Action  
Acres: 5  
NPL: NO  
Regulatory Agencies: SMBRP  
Lead Agency: WM  
Program Manager: KATHY SAN MIGUEL  
Supervisor: Ju-Tseng Liu  
Division Branch: Cleanup Cypress  
Facility ID: 80001578  
Site Code: 400255  
Assembly: 63  
Senate: 31  
Special Program: Not reported  
Status: Active  
Status Date: 1/1/2008  
Restricted Use: NO  
Site Mgmt. Req.: NONE SPECIFIED  
Funding: Not reported  
Latitude: 34.066564999999997  
Longitude: -117.192026  
APN: NONE SPECIFIED  
Past Use: NONE SPECIFIED  
Potential COC: NONE SPECIFIED  
Confirmed COC: NONE SPECIFIED  
Potential Description: NONE SPECIFIED  
Alias Name: CAD008386641  
Alias Type: EPA Identification Number  
Alias Name: 400255  
Alias Type: Project Code (Site Code)  
Alias Name: 36360017  
Alias Type: Envirostor ID Number  
Alias Name: 80001578  
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: Corrective Measures Study Report  
Completed Date: 2004-06-28 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: Corrective Measure Implementation Workplan  
Completed Date: 2004-06-28 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: RFI Report  
Completed Date: 1993-08-20 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: WHSE SITE  
Completed Document Type: RFI Workplan  
Completed Date: 1985-10-25 00:00:00  
Comments: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE SITE  
Completed Document Type: RFI Report  
Completed Date: 2000-01-19 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: RFI Report  
Completed Date: 1993-12-17 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: RFI Workplan  
Completed Date: 1992-11-10 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: RFI Workplan  
Completed Date: 1995-10-25 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Consent Order  
Completed Date: 1989-05-25 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Unilateral Order (I/SE, RAO, CAO, EPA AO)  
Completed Date: 1990-05-01 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: SURFACE IMPOUNDMENTS  
Completed Document Type: Unilateral Order (I/SE, RAO, CAO, EPA AO)  
Completed Date: 1989-02-24 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: \* Historical Operating Permit Authority  
Completed Date: 1990-02-27 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Amendment - Order/Agreement  
Completed Date: 1990-02-27 00:00:00  
Comments: Not reported

Completed Area Name: PROJECT WIDE  
Completed Sub Area Name: Not reported  
Completed Document Type: Consent Order

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Completed Date: 1990-02-27 00:00:00  
Comments: Not reported  
  
Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: RCRA Facility Assessment Report  
Completed Date: 1987-09-30 00:00:00  
Comments: Not reported

Completed Area Name: Sites With No Operable Unit  
Completed Sub Area Name: ENTIRE FACILITY  
Completed Document Type: RCRA Facility Assessment Report  
Completed Date: 1996-11-27 00:00:00  
Comments: Not reported

Future Area Name: Not reported  
Future Sub Area Name: Not reported  
Future Document Type: Not reported  
Future Due Date: Not reported  
Schedule Area Name: Not reported  
Schedule Sub Area Name: Not reported  
Schedule Document Type: Not reported  
Schedule Due Date: Not reported  
Schedule Revised Date: Not reported

**HWP:**

EPA Id: CAD008386641  
Latitude: 34.066565  
Longitude: -117.192026  
Facility Type: HAZ WASTE - NON-OPERATING  
Cleanup Status: Not reported  
Region: CYPRESS, GEOLOGY CAL SUPPORT  
Permit Maintenance Lead: Not reported  
Permit Renewal Lead: Not reported  
Corrective Action Lead: KATHY SAN MIGUEL  
Supervisor: Not reported  
Site Code: 400255  
Assembly District: 63  
Senate District: 31  
Public Information Officer: Not reported  
Facility Status:

Entered 11/15/07. Teledyne Continental Motors, Battery Products Operations (TBP) is located in Redlands, CA and occupies approximately five acres of land surrounded by 15 acres of vacant land also owned by Teledyne. The TBP facility began operations at this location in 1967. TBP manufactures lead-acid storage batteries for aircraft, emergency lighting systems, and vehicles. TBP handled and stored hazardous materials or wastes on several locations at the facility. Environmental studies at the facility were carried out under two administrative processes; Resource Conservation and Recovery Act (RCRA) closure and RCRA corrective action. The results of soil, soil gas, and groundwater investigations conducted at the facility were presented in the RCRA Facility Investigation Report and Closure Reports which indicated the presence of chemical residues in different areas of the facility. Three areas required soil remediation prior to RCRA closure. The cleanup of the three areas included excavating soil with chemical residues and disposing the excavated soil at a permitted off-site disposal facility.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)

1000201837

Approximately 350 cubic yards of soil contaminated with lead and sulfate were excavated from the former evaporation pond and percolation pond. In addition, approximately 10 cubic yards of soil contaminated with lead, solvents (TCE, PCE, and 1,1,1-TCA), and sulfate were excavated from the Old Container Storage Unit. DTSC issued public notice of the proposed RCRA corrective action program cleanup plan for the TBP facility during two public notice periods between May 2000 and August 2000. DTSC required cleanup via excavation of small areas of lead residues at the Acid Scrubber Water Storage Tanks and Waste Water Treatment Plant. An Open House to receive comments on the soil removal plan was held on July 26, 2001. Approximately one cubic yard of soil was excavated and disposed of at an off-site hazardous waste disposal facility. Sampling conducted after excavation indicated that the levels of lead remaining after the excavation are below health-based levels for unrestricted, residential land use. Cleanup goals for soil were 200 milligrams per kilogram (mg/kg) for lead; 0.5 mg/kg for TCE and PCE; 20 mg/kg for 1,1,1-TCA; and 4,250 mg/kg for sulfate. Under DTSC supervision, a groundwater investigation was also conducted to assess groundwater conditions at the facility. Based upon investigation, contamination in the soil did not reach groundwater. Based on the information provided, DTSC considers Teledyne to have taken all necessary actions to remediate the site to unrestricted, residential land use.

Site History: Not reported

HWP:

EPA Id: CAD008386641  
Unit Names: CONTAIN1, SLFRICTNK1, SLUDGETNK1  
Event Description: Loss Interim Status (LOIS)  
Actual Date: 1992-11-08 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: CONTAIN1, PERCPOND1, SLFRICTNK1, SLUDGETNK1, SURFSTR1  
Event Description: Initial Submittal  
Actual Date: 1980-11-19 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: CONTAIN1, SLFRICTNK1, SLUDGETNK1, SURFSTR1  
Event Description: Part B Call-In  
Actual Date: 1984-09-28 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: PERCPOND1, SURFSTR1  
Event Description: INTENDS/CLOSED ALL WASTE HANDLING FACILITY  
Actual Date: 1985-10-02 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: SURFSTR1  
Event Description: Received Withdrawal Request  
Actual Date: 1985-03-27 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: PERCPOND1, SURFSTR1

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Event Description: Approved Request  
Actual Date: 1986-06-27 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: PERCPOND1, SURFSTR1  
Event Description: Part B Call-In  
Actual Date: 1985-10-03 00:00:00  
Doc Comments: Not reported

HWP:  
EPA Id: CAD008386641  
Unit Names: CONTAIN1, SLFRICTNK1  
Event Description: Receive Closure Certification  
Actual Date: 1996-01-17 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: PERCPOND1, SLUDGETNK1  
Event Description: Clean Closure Acceptable  
Actual Date: 1995-06-26 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: CONTAIN1, SLFRICTNK1  
Event Description: Public Notice - Closure  
Actual Date: 1995-05-15 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: PERCPOND1, SURFSTR1  
Event Description: Notice of Deficiency - Closure Plan  
Actual Date: 1985-10-01 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: SURFSTR1  
Event Description: Closure Notice Received  
Actual Date: 1994-03-24 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: CONTAIN1, SLFRICTNK1  
Event Description: Clean Closure Acceptable  
Actual Date: 1995-06-26 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: SURFSTR1  
Event Description: Public Notice - Closure  
Actual Date: 1994-04-25 00:00:00  
Doc Comments: Not reported

EPA Id: CAD008386641  
Unit Names: SURFSTR1  
Event Description: Receive Closure Certification  
Actual Date: 1995-03-12 00:00:00

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**TELEDYNE TECH INC TELEDYNE CONTINENTAL (Continued)**

**1000201837**

Doc Comments: Not reported

EPA Id: CAD008386641  
 Unit Names: CONTAIN1, SLFRICTNK1  
 Event Description: Notice of Deficiency - Closure Plan  
 Actual Date: 1995-01-25 00:00:00  
 Doc Comments: Not reported

EPA Id: CAD008386641  
 Unit Names: CONTAIN1, SLFRICTNK1  
 Event Description: Closure Notice Received  
 Actual Date: 1995-04-27 00:00:00  
 Doc Comments: Not reported

EPA Id: CAD008386641  
 Unit Names: PERCPOND1, SURFSTR1  
 Event Description: Public Notice - Closure  
 Actual Date: 1985-12-16 00:00:00  
 Doc Comments: Not reported

EPA Id: CAD008386641  
 Unit Names: SURFSTR1  
 Event Description: Plan Approved - Closure  
 Actual Date: 1994-10-26 00:00:00  
 Doc Comments: Not reported

EPA Id: CAD008386641  
 Unit Names: SURFSTR1  
 Event Description: Closure Plan Requested  
 Actual Date: 1994-10-26 00:00:00  
 Doc Comments: Not reported

**U86  
 NW  
 1/2-1  
 0.618 mi.  
 3262 ft.**

**TELEDYNE CONTINENTAL MOTORS  
 840 W BROCKTON AVE  
 REDLANDS, CA 92374  
 Site 2 of 2 in cluster U**

**RCRA-TSDF 1000921584  
 CORRACTS 92374TLDYN84  
 RCRA-LQG  
 TRIS  
 FINDS**

**Relative:  
 Lower  
 Actual:  
 1322 ft.**

RCRA-TSDF:  
 Date form received by agency: 02/21/2008  
 Facility name: TELEDYNE BATTERY PRODUCTS  
 Facility address: 840 WEST BROCKTON AVENUE  
 REDLANDS, CA 92374  
 EPA ID: CAD008386641  
 Mailing address: P.O. BOX 7950  
 REDLANDS, CA 92374  
 Contact: JESUS B LUNA  
 Contact address: Not reported  
 Not reported  
 Contact country: Not reported  
 Contact telephone: (909) 793-3131  
 Telephone ext.: 39  
 Contact email: JESUS\_LUNA@TELEDYNE.COM  
 EPA Region: 09  
 Land type: Private  
 Classification: TSDF  
 Description: Handler is engaged in the treatment, storage or disposal of hazardous

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

waste  
TSD commencement date: Not reported  
Classification: Large Quantity Generator  
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:

Owner/operator name: TELEDYNE CONTINENTAL MOTORS  
Owner/operator address: Not reported  
Not reported  
Owner/operator country: US  
Owner/operator telephone: Not reported  
Legal status: Private  
Owner/Operator Type: Operator  
Owner/Op start date: 08/23/1999  
Owner/Op end date: Not reported

Owner/operator name: TELEDYNE TECHNOLOGIES INC.  
Owner/operator address: 1049 CAMINO DOS RIOS  
THOUSAND OAKS, CA 91360  
Owner/operator country: US  
Owner/operator telephone: Not reported  
Legal status: Private  
Owner/Operator Type: Owner  
Owner/Op start date: 08/23/1999  
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No  
Mixed waste (haz. and radioactive): No  
Recycler of hazardous waste: Yes  
Transporter of hazardous waste: No  
Treater, storer or disposer of HW: No  
Underground injection activity: No  
On-site burner exemption: No  
Furnace exemption: No  
Used oil fuel burner: No  
Used oil processor: No  
User oil refiner: No  
Used oil fuel marketer to burner: No  
Used oil Specification marketer: No  
Used oil transfer facility: No  
Used oil transporter: No  
Off-site waste receiver: Commercial status unknown

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Universal Waste Summary:

Waste type: Batteries  
Accumulated waste on-site: No  
Generated waste on-site: Not reported

Waste type: Lamps  
Accumulated waste on-site: No  
Generated waste on-site: Not reported

Waste type: Pesticides  
Accumulated waste on-site: No  
Generated waste on-site: Not reported

Waste type: Thermostats  
Accumulated waste on-site: No  
Generated waste on-site: Not reported

Historical Generators:

Date form received by agency: 03/07/2006  
Facility name: TELEDYNE BATTERY PRODUCTS  
Site name: TELEDYNE CONTINENTAL MOTORS, BATTERY PRO  
Classification: Large Quantity Generator

Date form received by agency: 09/03/2004  
Facility name: TELEDYNE BATTERY PRODUCTS  
Site name: TELEDYNE CONTINENTAL MOTORS BATTERY PROD  
Classification: Large Quantity Generator

Date form received by agency: 02/27/2002  
Facility name: TELEDYNE BATTERY PRODUCTS  
Site name: TELEDYNE CONTINENTAL MOTORS, BATTERY PRO  
Classification: Large Quantity Generator

Date form received by agency: 10/12/2000  
Facility name: TELEDYNE BATTERY PRODUCTS  
Classification: Large Quantity Generator

Date form received by agency: 08/08/2000  
Facility name: TELEDYNE BATTERY PRODUCTS  
Site name: T C M BATTERY PRODUCTS OPERATION  
Classification: Large Quantity Generator

Date form received by agency: 03/04/1999  
Facility name: TELEDYNE BATTERY PRODUCTS  
Classification: Large Quantity Generator

Date form received by agency: 09/01/1996  
Facility name: TELEDYNE BATTERY PRODUCTS  
Site name: T C M BATTERY PRODUCTS OPERATION  
Classification: Large Quantity Generator

Date form received by agency: 03/18/1994  
Facility name: TELEDYNE BATTERY PRODUCTS  
Site name: TELEDYNE AIRCRAFT PRODUCTS  
Classification: Large Quantity Generator



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Date form received by agency: 02/28/1992  
Facility name: TELEDYNE BATTERY PRODUCTS  
Classification: Large Quantity Generator

Date form received by agency: 04/05/1990  
Facility name: TELEDYNE BATTERY PRODUCTS  
Classification: Large Quantity Generator

**Hazardous Waste Summary:**

Waste code: D002  
Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

Waste code: D008  
Waste name: LEAD

**Biennial Reports:**

Last Biennial Reporting Year: 2009

**Annual Waste Handled:**

Waste code: D002  
Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.

Amount (Lbs): 8217576

Waste code: D008  
Waste name: LEAD  
Amount (Lbs): 8765745.9

**Corrective Action Summary:**

Event date: 10/25/1985  
Event: RFI Workplan Approved

Event date: 09/30/1987  
Event: RFA Completed, Assessment was an RFA.

Event date: 02/24/1989  
Event: CA022

Event date: 02/24/1989  
Event: RFI Imposition

Event date: 02/24/1989  
Event: CMS Imposition

Map ID  
Direction  
Distance  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Event date: 12/18/1991  
Event: CA Prioritization, Facility or area was assigned a high corrective action priority.

Event date: 11/10/1992  
Event: RFI Workplan Approved

Event date: 08/20/1993  
Event: RFI Approved

Event date: 12/17/1993  
Event: RFI Approved

Event date: 10/25/1995  
Event: RFI Workplan Approved

Event date: 11/27/1996  
Event: RFA Completed, Assessment was an RFA.

Event date: 05/12/1999  
Event: Igration of Contaminated Groundwater under Control, Yes, Migration of Contaminated Groundwater Under Control has been verified. Based on a review of information contained in the EI determination, it has been determined that migration of contaminated groundwater is under control at the facility. Specifically, this determination indicates that the migration of contaminated groundwater is under control, and that monitoring will be conducted to confirm that contaminated groundwater remains within the existing area of contaminated groundwater. This determination will be re-evaluated when the Agency becomes aware of significant changes at the facility.

Event date: 05/12/1999  
Event: Current Human Exposures under Control, Yes, Current Human Exposures Under Control has been verified. Based on a review of information contained in the EI determination, current human exposures are expected to be under control at the facility under current and reasonably expected conditions. This determination will be re-evaluated when the Agency/State becomes aware of significant changes at the facility.

Event date: 01/19/2000  
Event: RFI Approved

Event date: 05/15/2000  
Event: Current Human Exposures under Control, Yes, Current Human Exposures Under Control has been verified. Based on a review of information contained in the EI determination, current human exposures are expected to be under control at the facility under current and reasonably expected conditions. This determination will be re-evaluated when the Agency/State becomes aware of significant changes at the facility.

Event date: 05/15/2000  
Event: Igration of Contaminated Groundwater under Control, Yes, Migration of Contaminated Groundwater Under Control has been verified. Based on a review of information contained in the EI determination, it has been determined that migration of contaminated groundwater is under control

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

at the facility. Specifically, this determination indicates that the migration of contaminated groundwater is under control, and that monitoring will be conducted to confirm that contaminated groundwater remains within the existing area of contaminated groundwater. This determination will be re-evaluated when the Agency becomes aware of significant changes at the facility.

Event date: 06/28/2004  
Event: CMI Workplan Approved

Event date: 06/28/2004  
Event: CMS Approved

Facility Has Received Notices of Violations:

Regulation violated: FR - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 08/04/1994  
Date achieved compliance: 09/29/1994  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 08/04/1994  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 268 ALL  
Area of violation: LDR - General  
Date violation determined: 04/15/1993  
Date achieved compliance: 05/07/1993  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 07/14/1993  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: 37725  
Final penalty amount: 1000  
Paid penalty amount: 1000

Regulation violated: FR - 268 ALL  
Area of violation: LDR - General  
Date violation determined: 04/15/1993  
Date achieved compliance: 05/07/1993  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 04/15/1993  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.90-94.F

Map ID  
Direction  
Distance  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Area of violation: TSD IS-Ground-Water Monitoring  
Date violation determined: 07/06/1992  
Date achieved compliance: 12/07/1993  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 07/06/1992  
Date achieved compliance: 12/07/1993  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: F - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 06/26/1992  
Date achieved compliance: 03/11/1993  
Violation lead agency: State  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: F - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 03/10/1992  
Date achieved compliance: 03/11/1993  
Violation lead agency: EPA  
Enforcement action: Not reported  
Enforcement action date: Not reported  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: Not reported  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.170-177.I  
Area of violation: TSD - General

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.170-177.I  
Area of violation: TSD - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: INITIAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: 15000  
Paid penalty amount: Not reported

Regulation violated: FR - 262.40-43.D  
Area of violation: Generators - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.50-56.D  
Area of violation: TSD - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.10-18.B  
Area of violation: TSD - General  
Date violation determined: 11/21/1991

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 262.40-43.D  
Area of violation: Generators - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: INITIAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: 15000  
Paid penalty amount: Not reported

Regulation violated: FR - 264.50-56.D  
Area of violation: TSD - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 11/21/1991  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 262.40-43.D  
Area of violation: Generators - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 11/21/1991  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.50-56.D  
Area of violation: TSD - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Violation lead agency: State  
Enforcement action: INITIAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY  
Enforcement action date: 02/20/1992  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: 15000  
Paid penalty amount: Not reported

Regulation violated: FR - 264.170-177.I  
Area of violation: TSD - General  
Date violation determined: 11/21/1991  
Date achieved compliance: 09/13/1993  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 11/21/1991  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 270  
Area of violation: TSD - General  
Date violation determined: 11/08/1990  
Date achieved compliance: 01/31/1991  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 12/23/1990  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 270  
Area of violation: TSD - General  
Date violation determined: 11/30/1989  
Date achieved compliance: 02/02/1990  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 01/12/1990  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: F - 264.90-94.F  
Area of violation: TSD IS-Ground-Water Monitoring  
Date violation determined: 01/12/1989  
Date achieved compliance: 02/27/1990  
Violation lead agency: State

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 05/25/1989  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: 70000  
Final penalty amount: 70000  
Paid penalty amount: Not reported

Regulation violated: FR - 270  
Area of violation: TSD - General  
Date violation determined: 01/12/1989  
Date achieved compliance: 02/27/1990  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 05/25/1989  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: 70000  
Final penalty amount: 70000  
Paid penalty amount: Not reported

Regulation violated: FR - 268.7  
Area of violation: LDR - General  
Date violation determined: 12/08/1988  
Date achieved compliance: 02/09/1989  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 01/20/1989  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 268 ALL  
Area of violation: LDR - General  
Date violation determined: 12/08/1988  
Date achieved compliance: 02/09/1989  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 01/20/1989  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 270  
Area of violation: TSD - General  
Date violation determined: 12/08/1988  
Date achieved compliance: 02/09/1989  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Enforcement action date: 01/20/1989  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 11/20/1987  
Date achieved compliance: 11/08/1988  
Violation lead agency: State  
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER  
Enforcement action date: 07/01/1988  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 11/20/1987  
Date achieved compliance: 11/08/1988  
Violation lead agency: State  
Enforcement action: INITIAL 3008(A) COMPLIANCE  
Enforcement action date: 04/14/1988  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 264.140-150.H  
Area of violation: TSD - Financial Requirements  
Date violation determined: 11/20/1987  
Date achieved compliance: 11/08/1988  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 12/30/1987  
Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Regulation violated: FR - 270  
Area of violation: TSD - General  
Date violation determined: 10/01/1987  
Date achieved compliance: 10/19/1987  
Violation lead agency: State  
Enforcement action: WRITTEN INFORMAL  
Enforcement action date: 10/01/1987

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Enf. disposition status: Not reported  
Enf. disp. status date: Not reported  
Enforcement lead agency: State  
Proposed penalty amount: Not reported  
Final penalty amount: Not reported  
Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 01/05/1999  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 09/29/1995  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 09/13/1994  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 08/04/1994  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: TSD - Financial Requirements  
Date achieved compliance: 09/29/1994  
Evaluation lead agency: State

Evaluation date: 04/29/1994  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 03/01/1993  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: LDR - General  
Date achieved compliance: 05/07/1993  
Evaluation lead agency: State

Evaluation date: 06/26/1992  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: TSD - Financial Requirements  
Date achieved compliance: 03/11/1993  
Evaluation lead agency: State

Evaluation date: 03/26/1992  
Evaluation: OPERATION AND MAINTENANCE INSPECTION  
Area of violation: TSD - Financial Requirements  
Date achieved compliance: 12/07/1993  
Evaluation lead agency: State

Evaluation date: 03/26/1992

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Evaluation: OPERATION AND MAINTENANCE INSPECTION  
Area of violation: TSD IS-Ground-Water Monitoring  
Date achieved compliance: 12/07/1993  
Evaluation lead agency: State

Evaluation date: 03/10/1992  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: TSD - Financial Requirements  
Date achieved compliance: 03/11/1993  
Evaluation lead agency: EPA Contractor/Grantee

Evaluation date: 10/11/1991  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Generators - General  
Date achieved compliance: 09/13/1993  
Evaluation lead agency: State

Evaluation date: 10/11/1991  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: TSD - General  
Date achieved compliance: 09/13/1993  
Evaluation lead agency: State

Evaluation date: 11/08/1990  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: TSD - General  
Date achieved compliance: 01/31/1991  
Evaluation lead agency: State

Evaluation date: 10/05/1990  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 11/30/1989  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: TSD - General  
Date achieved compliance: 02/02/1990  
Evaluation lead agency: State

Evaluation date: 11/28/1989  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 01/12/1989  
Evaluation: GROUNDWATER MONITORING EVALUATION  
Area of violation: TSD IS-Ground-Water Monitoring  
Date achieved compliance: 02/27/1990  
Evaluation lead agency: State

Evaluation date: 01/12/1989  
Evaluation: GROUNDWATER MONITORING EVALUATION  
Area of violation: TSD - General  
Date achieved compliance: 02/27/1990

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Evaluation lead agency: State

Evaluation date: 12/08/1988  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: TSD - General  
Date achieved compliance: 02/09/1989  
Evaluation lead agency: State

Evaluation date: 12/08/1988  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: LDR - General  
Date achieved compliance: 02/09/1989  
Evaluation lead agency: State

Evaluation date: 12/01/1988  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 08/16/1988  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

Evaluation date: 11/20/1987  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: TSD - Financial Requirements  
Date achieved compliance: 11/08/1988  
Evaluation lead agency: State

Evaluation date: 10/01/1987  
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE  
Area of violation: TSD - General  
Date achieved compliance: 10/19/1987  
Evaluation lead agency: State

Evaluation date: 09/30/1987  
Evaluation: FINANCIAL RECORD REVIEW  
Area of violation: Not reported  
Date achieved compliance: Not reported  
Evaluation lead agency: State

**CORRACTS:**

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE SITE  
Actual Date: 1/19/2000  
Action: CA200 - RFI Approved  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 2/24/1989  
Action: CA022  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: SURFACE IMPOUNDMENTS  
Actual Date: 2/24/1989  
Action: CA250 - CMS Imposition  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: 02/24/1989  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: SURFACE IMPOUNDMENTS  
Actual Date: 2/24/1989  
Action: CA100 - RFI Imposition  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: 02/24/1989  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 5/12/1999  
Action: CA750YE - Migration of Contaminated Groundwater under Control, Yes,  
Migration of Contaminated Groundwater Under Control has been verified  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 5/12/1999  
Action: CA725YE - Current Human Exposures Under Control, Yes, Current Human  
Exposures Under Control has been verified  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 5/15/2000  
Action: CA750YE - Migration of Contaminated Groundwater under Control, Yes,  
Migration of Contaminated Groundwater Under Control has been verified

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 5/15/2000  
Action: CA725YE - Current Human Exposures Under Control, Yes, Current Human Exposures Under Control has been verified

NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 6/28/2004  
Action: CA350 - CMS Approved

NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 6/28/2004  
Action: CA500 - CMI Workplan Approved

NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 8/20/1993  
Action: CA200 - RFI Approved

NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 9/30/1987  
Action: CA050RF - RFA Completed, Assessment was an RFA

NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

EPA Region: 9  
Area Name: WHSE SITE  
Actual Date: 10/25/1985  
Action: CA150 - RFI Workplan Approved  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 10/25/1995  
Action: CA150 - RFI Workplan Approved  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: 10/31/1995  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 11/10/1992  
Action: CA150 - RFI Workplan Approved  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 11/27/1996  
Action: CA050RF - RFA Completed, Assessment was an RFA  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: 09/30/1996  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 12/17/1993  
Action: CA200 - RFI Approved  
NAICS Code(s): 335911  
Storage Battery Manufacturing  
Original schedule date: Not reported  
Schedule end date: Not reported

EPA ID: CAD008386641  
EPA Region: 9  
Area Name: ENTIRE FACILITY  
Actual Date: 12/18/1991  
Action: CA075HI - CA Prioritization, Facility or area was assigned a high corrective action priority  
NAICS Code(s): 335911  
Storage Battery Manufacturing

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TELEDYNE CONTINENTAL MOTORS (Continued)**

**1000921584**

Original schedule date: 01/09/1992  
Schedule end date: Not reported

**FINDS:**

Registry ID: 110000479401

**Environmental Interest/Information System**

AFS (Aerometric Information Retrieval System (AIRS) Facility Subsystem) replaces the former Compliance Data System (CDS), the National Emission Data System (NEDS), and the Storage and Retrieval of Aerometric Data (SAROAD). AIRS is the national repository for information concerning airborne pollution in the United States. AFS is used to track emissions and compliance data from industrial plants. AFS data are utilized by states to prepare State Implementation Plans to comply with regulatory programs and by EPA as an input for the estimation of total national emissions. AFS is undergoing a major redesign to support facility operating permits required under Title V of the Clean Air Act.

The NEI (National Emissions Inventory) database contains information on stationary and mobile sources that emit criteria air pollutants and their precursors, as well as hazardous air pollutants (HAPs).

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.



Count: 20 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
REDLANDS	1003877955	UNIVERSAL RUNDEL	OPAL AVE-300 FT. N OF SAN BERN	92373	CERCLIS-NFRAP
REDLANDS	1003877956	CHURCH ST. LANDFILL	CHURCH ST. (AT THE SANTA ANA R	92373	CERCLIS-NFRAP
REDLANDS	1003878710	CITY OF REDLANDS WELL FIELD	PENNSYLVANIA AVE	92373	CERCLIS-NFRAP
REDLANDS	1003879085	REDLANDS FARMING CO	SAN BERNARDINO AVE E OF TEXAS	92373	CERCLIS-NFRAP
REDLANDS	1006831207	OLIVAS PARK	3750 OLIVA		FINDS
	M300000953	CALIFORNIA PORTLAND CEMENT CO	COLTON PLANT		MINES
	M300003163	CEMEX, INC.	REDLANDS PLANT		MINES
	M300003173	HOLLIDAY TRUCKING, INC.	COLTON PLANT		MINES
	M300003175	ROBERTSONS READY MIX, INC.	REDLANDS EXCAVATION		MINES
	M300006404	CALIFORNIA PORTLAND CEMENT CO.	COLTON QUARRY		MINES
REDLANDS	S101591716	ALLESSANDRO GROVES	REDLANDS S	92373	FID,SWEEPS UST
	S103442535	FORT IRWIN LUCKY FUSE DISPOSAL	FORT IRWIN		CHMIRS,HIST CORTESE,WMUDS/SV
REDLANDS	S103957242	CITY OF REDLAND/WASTE WATER	1950 NEVADA STREET	92374	HAZNET
REDLANDS	S105025717	SO CAL GAS/REDLANDS (STAT	STATE ST AT REDLANDS BLVD	92373	HIST CORTESE
REDLANDS	S105035353	TELEDYNE BATTERY	840 BROCKTON AVE	92374	LUST SAN MATEO
REDLANDS	S106112248	REDLANDS PAVILLION CLEANERS	2094 W REDLANDS BLVD STE G	92324	PERMITS SAN BERNARDINO
REDLANDS	S106910941	JORCO CHEMICAL COMPANY	32185 S OUTER HWY 10	92373	PERMITS SAN BERNARDINO
REDLANDS	S106927976	JORCO CHEMICAL COMPANY	32185 E HIGHWAY 10	92373	SWEEPS UST
REDLANDS	S109277155	JORCO CHEMICAL CO.	32185 E OUTER HIGHWAY I-10	92373	SLIC REGION 2
REDLANDS	S110168937	AT&T MOBILITY-LEGACY/ORANGE #50916	31107 OUTER HWY S	92373	PERMITS SAN BERNARDINO

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Number of Days to Update:** Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

#### NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 12/31/2010	Source: EPA
Date Data Arrived at EDR: 01/13/2011	Telephone: N/A
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/13/2011
Number of Days to Update: 15	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

#### NPL Site Boundaries

##### Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 7  
Telephone: 913-551-7247

EPA Region 4  
Telephone 404-562-8033

EPA Region 8  
Telephone: 303-312-6774

EPA Region 5  
Telephone 312-886-6686

EPA Region 9  
Telephone: 415-947-4246

EPA Region 10  
Telephone 206-553-8665

#### Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 12/31/2010	Source: EPA
Date Data Arrived at EDR: 01/13/2011	Telephone: N/A
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/13/2011
Number of Days to Update: 15	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

#### NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 02/14/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 05/30/2011
	Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal Delisted NPL site list***

DELISTED NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 12/31/2010	Source: EPA
Date Data Arrived at EDR: 01/13/2011	Telephone: N/A
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/13/2011
Number of Days to Update: 15	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

## ***Federal CERCLIS list***

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 11/30/2010	Source: EPA
Date Data Arrived at EDR: 12/30/2010	Telephone: 703-412-9810
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 03/01/2011
Number of Days to Update: 57	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA's Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 12/10/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/11/2011	Telephone: 703-603-8704
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/11/2011
Number of Days to Update: 36	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Varies

## ***Federal CERCLIS NFRAP site List***

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 10/28/2010	Source: EPA
Date Data Arrived at EDR: 12/01/2010	Telephone: 703-412-9810
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 03/01/2011
Number of Days to Update: 86	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Quarterly

## ***Federal RCRA CORRACTS facilities list***

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/25/2010  
Date Data Arrived at EDR: 06/02/2010  
Date Made Active in Reports: 10/04/2010  
Number of Days to Update: 124

Source: EPA  
Telephone: 800-424-9346  
Last EDR Contact: 02/14/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Quarterly

## ***Federal RCRA non-CORRACTS TSD facilities list***

### **RCRA-TSDF: RCRA - Treatment, Storage and Disposal**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 02/17/2010  
Date Data Arrived at EDR: 02/19/2010  
Date Made Active in Reports: 05/17/2010  
Number of Days to Update: 87

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 01/06/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Quarterly

## ***Federal RCRA generators list***

### **RCRA-LQG: RCRA - Large Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 02/17/2010  
Date Data Arrived at EDR: 02/19/2010  
Date Made Active in Reports: 05/17/2010  
Number of Days to Update: 87

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 01/06/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Quarterly

### **RCRA-SQG: RCRA - Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 02/17/2010  
Date Data Arrived at EDR: 02/19/2010  
Date Made Active in Reports: 05/17/2010  
Number of Days to Update: 87

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 01/06/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Quarterly

### **RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 02/17/2010  
Date Data Arrived at EDR: 02/19/2010  
Date Made Active in Reports: 05/17/2010  
Number of Days to Update: 87

Source: Environmental Protection Agency  
Telephone: (415) 495-8895  
Last EDR Contact: 01/06/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal institutional controls / engineering controls registries***

### US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 01/05/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/14/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 12/10/2010
Number of Days to Update: 14	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Varies

### US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 01/05/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/14/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 12/10/2010
Number of Days to Update: 14	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Varies

## ***Federal ERNS list***

### ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 07/09/2010	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 07/09/2010	Telephone: 202-267-2180
Date Made Active in Reports: 08/17/2010	Last EDR Contact: 01/07/2011
Number of Days to Update: 39	Next Scheduled EDR Contact: 04/18/2011
	Data Release Frequency: Annually

## ***State- and tribal - equivalent NPL***

### RESPONSE: State Response Sites

Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

Date of Government Version: 11/08/2010	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 12/17/2010	Telephone: 916-323-3400
Date Made Active in Reports: 01/25/2011	Last EDR Contact: 02/08/2011
Number of Days to Update: 39	Next Scheduled EDR Contact: 05/23/2011
	Data Release Frequency: Quarterly

## ***State- and tribal - equivalent CERCLIS***

### ENVIROSTOR: EnviroStor Database

The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/08/2010  
Date Data Arrived at EDR: 12/17/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 39

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 02/08/2011  
Next Scheduled EDR Contact: 05/23/2011  
Data Release Frequency: Quarterly

## **State and tribal landfill and/or solid waste disposal site lists**

### SWF/LF (SWIS): Solid Waste Information System

Active, Closed and Inactive Landfills. SWF/LF records typically contain an inventory of solid waste disposal facilities or landfills. These may be active or inactive facilities or open dumps that failed to meet RCRA Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 11/22/2010  
Date Data Arrived at EDR: 11/23/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 63

Source: Department of Resources Recycling and Recovery  
Telephone: 916-341-6320  
Last EDR Contact: 02/22/2011  
Next Scheduled EDR Contact: 06/06/2011  
Data Release Frequency: Quarterly

## **State and tribal leaking storage tank lists**

### LUST REG 9: Leaking Underground Storage Tank Report

Orange, Riverside, San Diego counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 03/01/2001  
Date Data Arrived at EDR: 04/23/2001  
Date Made Active in Reports: 05/21/2001  
Number of Days to Update: 28

Source: California Regional Water Quality Control Board San Diego Region (9)  
Telephone: 858-637-5595  
Last EDR Contact: 12/22/2010  
Next Scheduled EDR Contact: 04/11/2011  
Data Release Frequency: No Update Planned

### LUST REG 7: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Imperial, Riverside, San Diego, Santa Barbara counties.

Date of Government Version: 02/26/2004  
Date Data Arrived at EDR: 02/26/2004  
Date Made Active in Reports: 03/24/2004  
Number of Days to Update: 27

Source: California Regional Water Quality Control Board Colorado River Basin Region (7)  
Telephone: 760-776-8943  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: No Update Planned

### LUST REG 6V: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Inyo, Kern, Los Angeles, Mono, San Bernardino counties.

Date of Government Version: 06/07/2005  
Date Data Arrived at EDR: 06/07/2005  
Date Made Active in Reports: 06/29/2005  
Number of Days to Update: 22

Source: California Regional Water Quality Control Board Victorville Branch Office (6)  
Telephone: 760-241-7365  
Last EDR Contact: 12/10/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: No Update Planned

### LUST REG 6L: Leaking Underground Storage Tank Case Listing

For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/09/2003  
Date Data Arrived at EDR: 09/10/2003  
Date Made Active in Reports: 10/07/2003  
Number of Days to Update: 27

Source: California Regional Water Quality Control Board Lahontan Region (6)  
Telephone: 530-542-5572  
Last EDR Contact: 12/10/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: No Update Planned

### LUST REG 5: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Alameda, Alpine, Amador, Butte, Colusa, Contra Costa, Calveras, El Dorado, Fresno, Glenn, Kern, Kings, Lake, Lassen, Madera, Mariposa, Merced, Modoc, Napa, Nevada, Placer, Plumas, Sacramento, San Joaquin, Shasta, Solano, Stanislaus, Sutter, Tehama, Tulare, Tuolumne, Yolo, Yuba counties.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2008  
Date Data Arrived at EDR: 07/22/2008  
Date Made Active in Reports: 07/31/2008  
Number of Days to Update: 9

Source: California Regional Water Quality Control Board Central Valley Region (5)  
Telephone: 916-464-4834  
Last EDR Contact: 01/03/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Quarterly

## LUST REG 4: Underground Storage Tank Leak List

Los Angeles, Ventura counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/07/2004  
Date Data Arrived at EDR: 09/07/2004  
Date Made Active in Reports: 10/12/2004  
Number of Days to Update: 35

Source: California Regional Water Quality Control Board Los Angeles Region (4)  
Telephone: 213-576-6710  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/20/2011  
Data Release Frequency: No Update Planned

## LUST REG 3: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Monterey, San Benito, San Luis Obispo, Santa Barbara, Santa Cruz counties.

Date of Government Version: 05/19/2003  
Date Data Arrived at EDR: 05/19/2003  
Date Made Active in Reports: 06/02/2003  
Number of Days to Update: 14

Source: California Regional Water Quality Control Board Central Coast Region (3)  
Telephone: 805-542-4786  
Last EDR Contact: 05/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: No Update Planned

## LUST REG 2: Fuel Leak List

Leaking Underground Storage Tank locations. Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, Santa Clara, Solano, Sonoma counties.

Date of Government Version: 09/30/2004  
Date Data Arrived at EDR: 10/20/2004  
Date Made Active in Reports: 11/19/2004  
Number of Days to Update: 30

Source: California Regional Water Quality Control Board San Francisco Bay Region (2)  
Telephone: 510-622-2433  
Last EDR Contact: 12/16/2010  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Quarterly

## LUST REG 1: Active Toxic Site Investigation

Del Norte, Humboldt, Lake, Mendocino, Modoc, Siskiyou, Sonoma, Trinity counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/01/2001  
Date Data Arrived at EDR: 02/28/2001  
Date Made Active in Reports: 03/29/2001  
Number of Days to Update: 29

Source: California Regional Water Quality Control Board North Coast (1)  
Telephone: 707-570-3769  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: No Update Planned

## LUST: Geotracker's Leaking Underground Fuel Tank Report

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state. For more information on a particular leaking underground storage tank sites, please contact the appropriate regulatory agency.

Date of Government Version: 12/16/2010  
Date Data Arrived at EDR: 12/16/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 43

Source: State Water Resources Control Board  
Telephone: see region list  
Last EDR Contact: 02/04/2011  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Quarterly

## LUST REG 8: Leaking Underground Storage Tanks

California Regional Water Quality Control Board Santa Ana Region (8). For more current information, please refer to the State Water Resources Control Board's LUST database.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 02/14/2005  
Date Data Arrived at EDR: 02/15/2005  
Date Made Active in Reports: 03/28/2005  
Number of Days to Update: 41

Source: California Regional Water Quality Control Board Santa Ana Region (8)  
Telephone: 909-782-4496  
Last EDR Contact: 01/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Varies

## SLIC: Statewide SLIC Cases

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 12/16/2010  
Date Data Arrived at EDR: 12/16/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 43

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 02/04/2011  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Varies

## SLIC REG 1: Active Toxic Site Investigations

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2003  
Date Data Arrived at EDR: 04/07/2003  
Date Made Active in Reports: 04/25/2003  
Number of Days to Update: 18

Source: California Regional Water Quality Control Board, North Coast Region (1)  
Telephone: 707-576-2220  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: No Update Planned

## SLIC REG 2: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/30/2004  
Date Data Arrived at EDR: 10/20/2004  
Date Made Active in Reports: 11/19/2004  
Number of Days to Update: 30

Source: Regional Water Quality Control Board San Francisco Bay Region (2)  
Telephone: 510-286-0457  
Last EDR Contact: 12/16/2010  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Quarterly

## SLIC REG 3: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/18/2006  
Date Data Arrived at EDR: 05/18/2006  
Date Made Active in Reports: 06/15/2006  
Number of Days to Update: 28

Source: California Regional Water Quality Control Board Central Coast Region (3)  
Telephone: 805-549-3147  
Last EDR Contact: 01/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 4: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/17/2004  
Date Data Arrived at EDR: 11/18/2004  
Date Made Active in Reports: 01/04/2005  
Number of Days to Update: 47

Source: Region Water Quality Control Board Los Angeles Region (4)  
Telephone: 213-576-6600  
Last EDR Contact: 01/03/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Varies

## SLIC REG 5: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/01/2005  
Date Data Arrived at EDR: 04/05/2005  
Date Made Active in Reports: 04/21/2005  
Number of Days to Update: 16

Source: Regional Water Quality Control Board Central Valley Region (5)  
Telephone: 916-464-3291  
Last EDR Contact: 12/10/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 6V: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/24/2005  
Date Data Arrived at EDR: 05/25/2005  
Date Made Active in Reports: 06/16/2005  
Number of Days to Update: 22

Source: Regional Water Quality Control Board, Victorville Branch  
Telephone: 619-241-6583  
Last EDR Contact: 02/14/2011  
Next Scheduled EDR Contact: 02/28/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 6L: SLIC Sites

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/07/2004  
Date Data Arrived at EDR: 09/07/2004  
Date Made Active in Reports: 10/12/2004  
Number of Days to Update: 35

Source: California Regional Water Quality Control Board, Lahontan Region  
Telephone: 530-542-5574  
Last EDR Contact: 02/14/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: No Update Planned

## SLIC REG 7: SLIC List

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/24/2004  
Date Data Arrived at EDR: 11/29/2004  
Date Made Active in Reports: 01/04/2005  
Number of Days to Update: 36

Source: California Regional Quality Control Board, Colorado River Basin Region  
Telephone: 760-346-7491  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: No Update Planned

## SLIC REG 8: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2008  
Date Data Arrived at EDR: 04/03/2008  
Date Made Active in Reports: 04/14/2008  
Number of Days to Update: 11

Source: California Region Water Quality Control Board Santa Ana Region (8)  
Telephone: 951-782-3298  
Last EDR Contact: 12/10/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: Semi-Annually

## SLIC REG 9: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/10/2007  
Date Data Arrived at EDR: 09/11/2007  
Date Made Active in Reports: 09/28/2007  
Number of Days to Update: 17

Source: California Regional Water Quality Control Board San Diego Region (9)  
Telephone: 858-467-2980  
Last EDR Contact: 02/07/2011  
Next Scheduled EDR Contact: 05/23/2011  
Data Release Frequency: Annually

## INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/12/2010	Source: EPA Region 10
Date Data Arrived at EDR: 11/12/2010	Telephone: 206-553-2857
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Quarterly

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land  
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 09/01/2010	Source: EPA Region 1
Date Data Arrived at EDR: 11/05/2010	Telephone: 617-918-1313
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 02/03/2011
Number of Days to Update: 84	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 11/16/2010	Source: EPA Region 8
Date Data Arrived at EDR: 11/19/2010	Telephone: 303-312-6271
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 70	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Quarterly

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 11/04/2010	Source: EPA Region 6
Date Data Arrived at EDR: 11/05/2010	Telephone: 214-665-6597
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 84	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 08/27/2010	Source: EPA Region 4
Date Data Arrived at EDR: 08/30/2010	Telephone: 404-562-8677
Date Made Active in Reports: 10/04/2010	Last EDR Contact: 02/16/2011
Number of Days to Update: 35	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Semi-Annually

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 11/19/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/19/2010	Telephone: 415-972-3372
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 70	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Quarterly

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 11/04/2009	Source: EPA Region 7
Date Data Arrived at EDR: 05/04/2010	Telephone: 913-551-7003
Date Made Active in Reports: 07/07/2010	Last EDR Contact: 05/04/2010
Number of Days to Update: 64	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Varies

***State and tribal registered storage tank lists***

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## UST: Active UST Facilities

Active UST facilities gathered from the local regulatory agencies

Date of Government Version: 02/03/2011	Source: SWRCB
Date Data Arrived at EDR: 02/04/2011	Telephone: 916-480-1028
Date Made Active in Reports: 03/07/2011	Last EDR Contact: 02/04/2011
Number of Days to Update: 31	Next Scheduled EDR Contact: 04/04/2011
	Data Release Frequency: Semi-Annually

## AST: Aboveground Petroleum Storage Tank Facilities

Registered Aboveground Storage Tanks.

Date of Government Version: 08/01/2009	Source: State Water Resources Control Board
Date Data Arrived at EDR: 09/10/2009	Telephone: 916-341-5712
Date Made Active in Reports: 10/01/2009	Last EDR Contact: 01/10/2011
Number of Days to Update: 21	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

## INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 11/12/2010	Source: EPA Region 10
Date Data Arrived at EDR: 11/12/2010	Telephone: 206-553-2857
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Quarterly

## INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/19/2010	Source: EPA Region 9
Date Data Arrived at EDR: 11/19/2010	Telephone: 415-972-3368
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 70	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Quarterly

## INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 11/16/2010	Source: EPA Region 8
Date Data Arrived at EDR: 11/19/2010	Telephone: 303-312-6137
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 70	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Quarterly

## INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 11/01/2010	Source: EPA Region 7
Date Data Arrived at EDR: 12/02/2010	Telephone: 913-551-7003
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 02/03/2011
Number of Days to Update: 57	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Varies

## INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/10/2010  
Date Data Arrived at EDR: 12/01/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 58

Source: EPA Region 6  
Telephone: 214-665-7591  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Semi-Annually

## INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 02/11/2010  
Date Data Arrived at EDR: 02/11/2010  
Date Made Active in Reports: 04/12/2010  
Number of Days to Update: 60

Source: EPA Region 5  
Telephone: 312-886-6136  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Varies

## INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 08/27/2010  
Date Data Arrived at EDR: 08/30/2010  
Date Made Active in Reports: 10/04/2010  
Number of Days to Update: 35

Source: EPA Region 4  
Telephone: 404-562-9424  
Last EDR Contact: 02/16/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Semi-Annually

## INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 09/01/2010  
Date Data Arrived at EDR: 11/05/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 84

Source: EPA, Region 1  
Telephone: 617-918-1313  
Last EDR Contact: 02/03/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Varies

## FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010  
Date Data Arrived at EDR: 02/16/2010  
Date Made Active in Reports: 04/12/2010  
Number of Days to Update: 55

Source: FEMA  
Telephone: 202-646-5797  
Last EDR Contact: 01/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Varies

## **State and tribal voluntary cleanup sites**

### INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008  
Date Data Arrived at EDR: 04/22/2008  
Date Made Active in Reports: 05/19/2008  
Number of Days to Update: 27

Source: EPA, Region 7  
Telephone: 913-551-7365  
Last EDR Contact: 04/20/2009  
Next Scheduled EDR Contact: 07/20/2009  
Data Release Frequency: Varies

### VCP: Voluntary Cleanup Program Properties

Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/08/2010  
Date Data Arrived at EDR: 12/17/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 39

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 02/08/2011  
Next Scheduled EDR Contact: 05/23/2011  
Data Release Frequency: Quarterly

## INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 04/02/2008  
Date Data Arrived at EDR: 04/22/2008  
Date Made Active in Reports: 05/19/2008  
Number of Days to Update: 27

Source: EPA, Region 1  
Telephone: 617-918-1102  
Last EDR Contact: 01/05/2010  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Varies

## ADDITIONAL ENVIRONMENTAL RECORDS

### **Local Brownfield lists**

#### US BROWNFIELDS: A Listing of Brownfields Sites

Included in the listing are brownfields properties addresses by Cooperative Agreement Recipients and brownfields properties addressed by Targeted Brownfields Assessments. Targeted Brownfields Assessments-EPA's Targeted Brownfields Assessments (TBA) program is designed to help states, tribes, and municipalities--especially those without EPA Brownfields Assessment Demonstration Pilots--minimize the uncertainties of contamination often associated with brownfields. Under the TBA program, EPA provides funding and/or technical assistance for environmental assessments at brownfields sites throughout the country. Targeted Brownfields Assessments supplement and work with other efforts under EPA's Brownfields Initiative to promote cleanup and redevelopment of brownfields. Cooperative Agreement Recipients-States, political subdivisions, territories, and Indian tribes become Brownfields Cleanup Revolving Loan Fund (BCRLF) cooperative agreement recipients when they enter into BCRLF cooperative agreements with the U.S. EPA. EPA selects BCRLF cooperative agreement recipients based on a proposal and application process. BCRLF cooperative agreement recipients must use EPA funds provided through BCRLF cooperative agreement for specified brownfields-related cleanup activities.

Date of Government Version: 06/24/2010  
Date Data Arrived at EDR: 06/25/2010  
Date Made Active in Reports: 08/17/2010  
Number of Days to Update: 53

Source: Environmental Protection Agency  
Telephone: 202-566-2777  
Last EDR Contact: 12/30/2010  
Next Scheduled EDR Contact: 04/11/2011  
Data Release Frequency: Semi-Annually

### **Local Lists of Landfill / Solid Waste Disposal Sites**

#### ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985  
Date Data Arrived at EDR: 08/09/2004  
Date Made Active in Reports: 09/17/2004  
Number of Days to Update: 39

Source: Environmental Protection Agency  
Telephone: 800-424-9346  
Last EDR Contact: 06/09/2004  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

#### DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009  
Date Data Arrived at EDR: 05/07/2009  
Date Made Active in Reports: 09/21/2009  
Number of Days to Update: 137

Source: EPA, Region 9  
Telephone: 415-947-4219  
Last EDR Contact: 12/22/2010  
Next Scheduled EDR Contact: 04/11/2011  
Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## WMUDS/SWAT: Waste Management Unit Database

Waste Management Unit Database System. WMUDS is used by the State Water Resources Control Board staff and the Regional Water Quality Control Boards for program tracking and inventory of waste management units. WMUDS is composed of the following databases: Facility Information, Scheduled Inspections Information, Waste Management Unit Information, SWAT Program Information, SWAT Report Summary Information, SWAT Report Summary Data, Chapter 15 (formerly Subchapter 15) Information, Chapter 15 Monitoring Parameters, TPCA Program Information, RCRA Program Information, Closure Information, and Interested Parties Information.

Date of Government Version: 04/01/2000	Source: State Water Resources Control Board
Date Data Arrived at EDR: 04/10/2000	Telephone: 916-227-4448
Date Made Active in Reports: 05/10/2000	Last EDR Contact: 02/14/2011
Number of Days to Update: 30	Next Scheduled EDR Contact: 05/30/2011
	Data Release Frequency: No Update Planned

## SWRCY: Recycler Database

A listing of recycling facilities in California.

Date of Government Version: 11/18/2010	Source: Department of Conservation
Date Data Arrived at EDR: 12/23/2010	Telephone: 916-323-3836
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 12/23/2010
Number of Days to Update: 36	Next Scheduled EDR Contact: 04/04/2011
	Data Release Frequency: Quarterly

## HAULERS: Registered Waste Tire Haulers Listing

A listing of registered waste tire haulers.

Date of Government Version: 11/22/2010	Source: Integrated Waste Management Board
Date Data Arrived at EDR: 11/23/2010	Telephone: 916-341-6422
Date Made Active in Reports: 01/25/2011	Last EDR Contact: 02/22/2011
Number of Days to Update: 63	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Varies

## INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/03/2007	Telephone: 703-308-8245
Date Made Active in Reports: 01/24/2008	Last EDR Contact: 02/08/2011
Number of Days to Update: 52	Next Scheduled EDR Contact: 05/23/2011
	Data Release Frequency: Varies

## **Local Lists of Hazardous waste / Contaminated Sites**

### US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 12/03/2010	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 12/30/2010	Telephone: 202-307-1000
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 12/08/2010
Number of Days to Update: 48	Next Scheduled EDR Contact: 03/21/2011
	Data Release Frequency: Quarterly

### HIST CAL-SITES: Calsites Database

The Calsites database contains potential or confirmed hazardous substance release properties. In 1996, California EPA reevaluated and significantly reduced the number of sites in the Calsites database. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/08/2005  
Date Data Arrived at EDR: 08/03/2006  
Date Made Active in Reports: 08/24/2006  
Number of Days to Update: 21

Source: Department of Toxic Substance Control  
Telephone: 916-323-3400  
Last EDR Contact: 02/23/2009  
Next Scheduled EDR Contact: 05/25/2009  
Data Release Frequency: No Update Planned

## SCH: School Property Evaluation Program

This category contains proposed and existing school sites that are being evaluated by DTSC for possible hazardous materials contamination. In some cases, these properties may be listed in the CalSites category depending on the level of threat to public health and safety or the environment they pose.

Date of Government Version: 11/08/2010  
Date Data Arrived at EDR: 12/17/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 39

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 02/08/2011  
Next Scheduled EDR Contact: 05/23/2011  
Data Release Frequency: Quarterly

## TOXIC PITS: Toxic Pits Cleanup Act Sites

Toxic PITS Cleanup Act Sites. TOXIC PITS identifies sites suspected of containing hazardous substances where cleanup has not yet been completed.

Date of Government Version: 07/01/1995  
Date Data Arrived at EDR: 08/30/1995  
Date Made Active in Reports: 09/26/1995  
Number of Days to Update: 27

Source: State Water Resources Control Board  
Telephone: 916-227-4364  
Last EDR Contact: 01/26/2009  
Next Scheduled EDR Contact: 04/27/2009  
Data Release Frequency: No Update Planned

## CDL: Clandestine Drug Labs

A listing of drug lab locations. Listing of a location in this database does not indicate that any illegal drug lab materials were or were not present there, and does not constitute a determination that the location either requires or does not require additional cleanup work.

Date of Government Version: 08/19/2010  
Date Data Arrived at EDR: 08/23/2010  
Date Made Active in Reports: 09/29/2010  
Number of Days to Update: 37

Source: Department of Toxic Substances Control  
Telephone: 916-255-6504  
Last EDR Contact: 02/22/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Varies

## US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 09/01/2007  
Date Data Arrived at EDR: 11/19/2008  
Date Made Active in Reports: 03/30/2009  
Number of Days to Update: 131

Source: Drug Enforcement Administration  
Telephone: 202-307-1000  
Last EDR Contact: 03/23/2009  
Next Scheduled EDR Contact: 06/22/2009  
Data Release Frequency: No Update Planned

## **Local Lists of Registered Storage Tanks**

### CA FID UST: Facility Inventory Database

The Facility Inventory Database (FID) contains a historical listing of active and inactive underground storage tank locations from the State Water Resource Control Board. Refer to local/county source for current data.

Date of Government Version: 10/31/1994  
Date Data Arrived at EDR: 09/05/1995  
Date Made Active in Reports: 09/29/1995  
Number of Days to Update: 24

Source: California Environmental Protection Agency  
Telephone: 916-341-5851  
Last EDR Contact: 12/28/1998  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## UST MENDOCINO: Mendocino County UST Database

A listing of underground storage tank locations in Mendocino County.

Date of Government Version: 09/23/2009	Source: Department of Public Health
Date Data Arrived at EDR: 09/23/2009	Telephone: 707-463-4466
Date Made Active in Reports: 10/01/2009	Last EDR Contact: 03/07/2011
Number of Days to Update: 8	Next Scheduled EDR Contact: 06/20/2011
	Data Release Frequency: Annually

## HIST UST: Hazardous Substance Storage Container Database

The Hazardous Substance Storage Container Database is a historical listing of UST sites. Refer to local/county source for current data.

Date of Government Version: 10/15/1990	Source: State Water Resources Control Board
Date Data Arrived at EDR: 01/25/1991	Telephone: 916-341-5851
Date Made Active in Reports: 02/12/1991	Last EDR Contact: 07/26/2001
Number of Days to Update: 18	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## SWEEPS UST: SWEEPS UST Listing

Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

Date of Government Version: 06/01/1994	Source: State Water Resources Control Board
Date Data Arrived at EDR: 07/07/2005	Telephone: N/A
Date Made Active in Reports: 08/11/2005	Last EDR Contact: 06/03/2005
Number of Days to Update: 35	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## Local Land Records

### LIENS 2: CERCLA Lien Information

A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 11/09/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/16/2010	Telephone: 202-564-6023
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 92	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Varies

### LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 12/09/2005	Source: Department of the Navy
Date Data Arrived at EDR: 12/11/2006	Telephone: 843-820-7326
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 02/22/2011
Number of Days to Update: 31	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Varies

### LIENS: Environmental Liens Listing

A listing of property locations with environmental liens for California where DTSC is a lien holder.

Date of Government Version: 12/08/2010	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 12/09/2010	Telephone: 916-323-3400
Date Made Active in Reports: 01/25/2011	Last EDR Contact: 01/17/2011
Number of Days to Update: 47	Next Scheduled EDR Contact: 05/02/2011
	Data Release Frequency: Varies



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## DEED: Deed Restriction Listing

Site Mitigation and Brownfields Reuse Program Facility Sites with Deed Restrictions & Hazardous Waste Management Program Facility Sites with Deed / Land Use Restriction. The DTSC Site Mitigation and Brownfields Reuse Program (SMBRP) list includes sites cleaned up under the program's oversight and generally does not include current or former hazardous waste facilities that required a hazardous waste facility permit. The list represents deed restrictions that are active. Some sites have multiple deed restrictions. The DTSC Hazardous Waste Management Program (HWMP) has developed a list of current or former hazardous waste facilities that have a recorded land use restriction at the local county recorder's office. The land use restrictions on this list were required by the DTSC HWMP as a result of the presence of hazardous substances that remain on site after the facility (or part of the facility) has been closed or cleaned up. The types of land use restriction include deed notice, deed restriction, or a land use restriction that binds current and future owners.

Date of Government Version: 12/14/2010  
Date Data Arrived at EDR: 12/14/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 42

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 12/14/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: Semi-Annually

## **Records of Emergency Release Reports**

### HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 12/31/2010  
Date Data Arrived at EDR: 01/05/2011  
Date Made Active in Reports: 02/25/2011  
Number of Days to Update: 51

Source: U.S. Department of Transportation  
Telephone: 202-366-4555  
Last EDR Contact: 01/05/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Annually

### CHMIRS: California Hazardous Material Incident Report System

California Hazardous Material Incident Reporting System. CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).

Date of Government Version: 12/31/2009  
Date Data Arrived at EDR: 07/21/2010  
Date Made Active in Reports: 08/20/2010  
Number of Days to Update: 30

Source: Office of Emergency Services  
Telephone: 916-845-8400  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Varies

### LDS: Land Disposal Sites Listing

The Land Disposal program regulates of waste discharge to land for treatment, storage and disposal in waste management units.

Date of Government Version: 12/16/2010  
Date Data Arrived at EDR: 12/16/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 40

Source: State Water Quality Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 02/04/2011  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Quarterly

### MCS: Military Cleanup Sites Listing

The State Water Resources Control Board and nine Regional Water Quality Control Boards partner with the Department of Defense (DoD) through the Defense and State Memorandum of Agreement (DSMOA) to oversee the investigation and remediation of water quality issues at military facilities.

Date of Government Version: 12/16/2010  
Date Data Arrived at EDR: 12/16/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 40

Source: State Water Resources Control Board  
Telephone: 866-480-1028  
Last EDR Contact: 02/04/2011  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Quarterly

## **Other Ascertainable Records**

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## RCRA-NonGen: RCRA - Non Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 02/17/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/19/2010	Telephone: (415) 495-8895
Date Made Active in Reports: 05/17/2010	Last EDR Contact: 01/06/2011
Number of Days to Update: 87	Next Scheduled EDR Contact: 04/18/2011
	Data Release Frequency: Varies

## DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 10/13/2010	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-366-4595
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 02/11/2011
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/23/2011
	Data Release Frequency: Varies

## DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 11/10/2006	Telephone: 703-692-8801
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/21/2011
Number of Days to Update: 62	Next Scheduled EDR Contact: 05/02/2011
	Data Release Frequency: Semi-Annually

## FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/2009	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 08/12/2010	Telephone: 202-528-4285
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/13/2010
Number of Days to Update: 112	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Varies

## CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 10/01/2010	Source: Department of Justice, Consent Decree Library
Date Data Arrived at EDR: 10/29/2010	Telephone: Varies
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/03/2011
Number of Days to Update: 91	Next Scheduled EDR Contact: 04/18/2011
	Data Release Frequency: Varies

## ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 12/31/2010	Source: EPA
Date Data Arrived at EDR: 02/03/2011	Telephone: 703-416-0223
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 02/03/2011
Number of Days to Update: 22	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010	Source: Department of Energy
Date Data Arrived at EDR: 10/21/2010	Telephone: 505-845-0011
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 03/04/2011
Number of Days to Update: 99	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Varies

## MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/04/2010	Source: Department of Labor, Mine Safety and Health Administration
Date Data Arrived at EDR: 09/09/2010	Telephone: 303-231-5959
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/29/2010
Number of Days to Update: 84	Next Scheduled EDR Contact: 03/21/2011
	Data Release Frequency: Semi-Annually

## TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2008	Source: EPA
Date Data Arrived at EDR: 01/13/2010	Telephone: 202-566-0250
Date Made Active in Reports: 02/18/2010	Last EDR Contact: 03/01/2011
Number of Days to Update: 36	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Annually

## TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2006	Source: EPA
Date Data Arrived at EDR: 09/29/2010	Telephone: 202-260-5521
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/29/2010
Number of Days to Update: 64	Next Scheduled EDR Contact: 04/11/2011
	Data Release Frequency: Every 4 Years

## FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/28/2011
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Quarterly

## FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/28/2011
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

## HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

## SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 01/31/2011
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/16/2011
	Data Release Frequency: Annually

## ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 04/24/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/29/2010	Telephone: 202-564-5088
Date Made Active in Reports: 05/17/2010	Last EDR Contact: 12/23/2010
Number of Days to Update: 18	Next Scheduled EDR Contact: 04/11/2011
	Data Release Frequency: Quarterly

## PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/01/2010	Source: EPA
Date Data Arrived at EDR: 11/10/2010	Telephone: 202-566-0500
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/21/2011
Number of Days to Update: 98	Next Scheduled EDR Contact: 05/02/2011
	Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/18/2010	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 04/06/2010	Telephone: 301-415-7169
Date Made Active in Reports: 05/27/2010	Last EDR Contact: 12/13/2010
Number of Days to Update: 51	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Quarterly

## RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 01/11/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/13/2011	Telephone: 202-343-9775
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/13/2011
Number of Days to Update: 34	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

## FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 04/14/2010	Source: EPA
Date Data Arrived at EDR: 04/16/2010	Telephone: (415) 947-8000
Date Made Active in Reports: 05/27/2010	Last EDR Contact: 12/10/2010
Number of Days to Update: 41	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Quarterly

## RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

## BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2007	Source: EPA/NTIS
Date Data Arrived at EDR: 02/25/2010	Telephone: 800-424-9346
Date Made Active in Reports: 05/12/2010	Last EDR Contact: 03/01/2011
Number of Days to Update: 76	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Biennially

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## CA BOND EXP. PLAN: Bond Expenditure Plan

Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds. It is not updated.

Date of Government Version: 01/01/1989	Source: Department of Health Services
Date Data Arrived at EDR: 07/27/1994	Telephone: 916-255-2118
Date Made Active in Reports: 08/02/1994	Last EDR Contact: 05/31/1994
Number of Days to Update: 6	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## WDS: Waste Discharge System

Sites which have been issued waste discharge requirements.

Date of Government Version: 06/19/2007	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/20/2007	Telephone: 916-341-5227
Date Made Active in Reports: 06/29/2007	Last EDR Contact: 02/28/2011
Number of Days to Update: 9	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Quarterly

## NPDES: NPDES Permits Listing

A listing of NPDES permits, including stormwater.

Date of Government Version: 11/22/2010	Source: State Water Resources Control Board
Date Data Arrived at EDR: 11/23/2010	Telephone: 916-445-9379
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 02/22/2011
Number of Days to Update: 66	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Quarterly

## CORTESE: "Cortese" Hazardous Waste & Substances Sites List

The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites). This listing is no longer updated by the state agency.

Date of Government Version: 01/04/2011	Source: CAL EPA/Office of Emergency Information
Date Data Arrived at EDR: 01/05/2011	Telephone: 916-323-3400
Date Made Active in Reports: 01/25/2011	Last EDR Contact: 01/05/2011
Number of Days to Update: 20	Next Scheduled EDR Contact: 04/18/2011
	Data Release Frequency: Quarterly

## HIST CORTESE: Hazardous Waste & Substance Site List

The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSITES].

Date of Government Version: 04/01/2001	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/22/2009	Telephone: 916-323-3400
Date Made Active in Reports: 04/08/2009	Last EDR Contact: 01/22/2009
Number of Days to Update: 76	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

## NOTIFY 65: Proposition 65 Records

Proposition 65 Notification Records. NOTIFY 65 contains facility notifications about any release which could impact drinking water and thereby expose the public to a potential health risk.

Date of Government Version: 10/21/1993	Source: State Water Resources Control Board
Date Data Arrived at EDR: 11/01/1993	Telephone: 916-445-3846
Date Made Active in Reports: 11/19/1993	Last EDR Contact: 12/22/2010
Number of Days to Update: 18	Next Scheduled EDR Contact: 04/11/2011
	Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## DRYCLEANERS: Cleaner Facilities

A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaner's agents; linen supply; coin-operated laundries and cleaning; drycleaning plants, except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

Date of Government Version: 09/15/2010	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 09/16/2010	Telephone: 916-327-4498
Date Made Active in Reports: 09/29/2010	Last EDR Contact: 12/13/2010
Number of Days to Update: 13	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Annually

## WIP: Well Investigation Program Case List

Well Investigation Program case in the San Gabriel and San Fernando Valley area.

Date of Government Version: 07/03/2009	Source: Los Angeles Water Quality Control Board
Date Data Arrived at EDR: 07/21/2009	Telephone: 213-576-6726
Date Made Active in Reports: 08/03/2009	Last EDR Contact: 01/03/2011
Number of Days to Update: 13	Next Scheduled EDR Contact: 04/18/2011
	Data Release Frequency: Varies

## HAZNET: Facility and Manifest Data

Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method.

Date of Government Version: 12/31/2009	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 07/07/2010	Telephone: 916-255-1136
Date Made Active in Reports: 08/12/2010	Last EDR Contact: 01/19/2011
Number of Days to Update: 36	Next Scheduled EDR Contact: 05/02/2011
	Data Release Frequency: Annually

## EMI: Emissions Inventory Data

Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies.

Date of Government Version: 12/31/2008	Source: California Air Resources Board
Date Data Arrived at EDR: 09/29/2010	Telephone: 916-322-2990
Date Made Active in Reports: 10/18/2010	Last EDR Contact: 12/30/2010
Number of Days to Update: 19	Next Scheduled EDR Contact: 04/11/2011
	Data Release Frequency: Varies

## INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 12/08/2006	Telephone: 202-208-3710
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/21/2011
Number of Days to Update: 34	Next Scheduled EDR Contact: 05/02/2011
	Data Release Frequency: Semi-Annually

## SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 08/31/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/01/2010	Telephone: 615-532-8599
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 02/22/2011
Number of Days to Update: 92	Next Scheduled EDR Contact: 05/09/2011
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## PROC: Certified Processors Database

A listing of certified processors.

Date of Government Version: 11/17/2010  
Date Data Arrived at EDR: 12/23/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 36

Source: Department of Conservation  
Telephone: 916-323-3836  
Last EDR Contact: 12/23/2010  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Quarterly

## MWMP: Medical Waste Management Program Listing

The Medical Waste Management Program (MWMP) ensures the proper handling and disposal of medical waste by permitting and inspecting medical waste Offsite Treatment Facilities (PDF) and Transfer Stations (PDF) throughout the state. MWMP also oversees all Medical Waste Transporters.

Date of Government Version: 12/09/2010  
Date Data Arrived at EDR: 12/17/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 39

Source: Department of Public Health  
Telephone: 916-558-1784  
Last EDR Contact: 12/14/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: Varies

## COAL ASH DOE: Sleam-Electric Plan Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 08/07/2009  
Date Made Active in Reports: 10/22/2009  
Number of Days to Update: 76

Source: Department of Energy  
Telephone: 202-586-8719  
Last EDR Contact: 01/18/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Varies

## COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 11/09/2009  
Date Data Arrived at EDR: 12/18/2009  
Date Made Active in Reports: 02/10/2010  
Number of Days to Update: 54

Source: Environmental Protection Agency  
Telephone: N/A  
Last EDR Contact: 12/21/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: Varies

## HWT: Registered Hazardous Waste Transporter Database

A listing of hazardous waste transporters. In California, unless specifically exempted, it is unlawful for any person to transport hazardous wastes unless the person holds a valid registration issued by DTSC. A hazardous waste transporter registration is valid for one year and is assigned a unique registration number.

Date of Government Version: 01/17/2011  
Date Data Arrived at EDR: 01/18/2011  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 10

Source: Department of Toxic Substances Control  
Telephone: 916-440-7145  
Last EDR Contact: 01/18/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Quarterly

## HWP: EnviroStor Permitted Facilities Listing

Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

Date of Government Version: 08/09/2010  
Date Data Arrived at EDR: 08/11/2010  
Date Made Active in Reports: 08/20/2010  
Number of Days to Update: 9

Source: Department of Toxic Substances Control  
Telephone: 916-323-3400  
Last EDR Contact: 03/04/2011  
Next Scheduled EDR Contact: 06/13/2011  
Data Release Frequency: Quarterly

## FINANCIAL ASSURANCE 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 09/27/2010  
Date Data Arrived at EDR: 09/28/2010  
Date Made Active in Reports: 10/18/2010  
Number of Days to Update: 20

Source: California Integrated Waste Management Board  
Telephone: 916-341-6066  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/06/2011  
Data Release Frequency: Varies

## FINANCIAL ASSURANCE: Financial Assurance Information Listing

Financial Assurance information

Date of Government Version: 03/01/2007  
Date Data Arrived at EDR: 06/01/2007  
Date Made Active in Reports: 06/29/2007  
Number of Days to Update: 28

Source: Department of Toxic Substances Control  
Telephone: 916-255-3628  
Last EDR Contact: 02/04/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Varies

## FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 02/06/2006  
Date Made Active in Reports: 01/11/2007  
Number of Days to Update: 339

Source: U.S. Geological Survey  
Telephone: 888-275-8747  
Last EDR Contact: 01/21/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: N/A

## PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 01/01/2008  
Date Data Arrived at EDR: 02/18/2009  
Date Made Active in Reports: 05/29/2009  
Number of Days to Update: 100

Source: Environmental Protection Agency  
Telephone: 202-566-0517  
Last EDR Contact: 02/04/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Varies

## EDR PROPRIETARY RECORDS

### *EDR Proprietary Records*

#### Manufactured Gas Plants: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

#### EDR Historical Auto Stations: EDR Proprietary Historic Gas Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

## EDR Historical Cleaners: EDR Proprietary Historic Dry Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

## COUNTY RECORDS

### ALAMEDA COUNTY:

#### Contaminated Sites

A listing of contaminated sites overseen by the Toxic Release Program (oil and groundwater contamination from chemical releases and spills) and the Leaking Underground Storage Tank Program (soil and ground water contamination from leaking petroleum USTs).

Date of Government Version: 01/06/2011  
Date Data Arrived at EDR: 01/07/2011  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 18

Source: Alameda County Environmental Health Services  
Telephone: 510-567-6700  
Last EDR Contact: 01/03/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Semi-Annually

#### Underground Tanks

Underground storage tank sites located in Alameda county.

Date of Government Version: 01/06/2011  
Date Data Arrived at EDR: 01/07/2011  
Date Made Active in Reports: 01/20/2011  
Number of Days to Update: 13

Source: Alameda County Environmental Health Services  
Telephone: 510-567-6700  
Last EDR Contact: 01/03/2011  
Next Scheduled EDR Contact: 04/18/2011  
Data Release Frequency: Semi-Annually

### CONTRA COSTA COUNTY:

#### Site List

List includes sites from the underground tank, hazardous waste generator and business plan/2185 programs.

Date of Government Version: 11/22/2010  
Date Data Arrived at EDR: 11/23/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 63

Source: Contra Costa Health Services Department  
Telephone: 925-646-2286  
Last EDR Contact: 02/22/2011  
Next Scheduled EDR Contact: 05/23/2011  
Data Release Frequency: Semi-Annually

### FRESNO COUNTY:

#### CUPA Resources List

Certified Unified Program Agency. CUPA's are responsible for implementing a unified hazardous materials and hazardous waste management regulatory program. The agency provides oversight of businesses that deal with hazardous materials, operate underground storage tanks or aboveground storage tanks.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/14/2011  
Date Data Arrived at EDR: 01/18/2011  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 10

Source: Dept. of Community Health  
Telephone: 559-445-3271  
Last EDR Contact: 01/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Semi-Annually

## KERN COUNTY:

### Underground Storage Tank Sites & Tank Listing Kern County Sites and Tanks Listing.

Date of Government Version: 08/31/2010  
Date Data Arrived at EDR: 09/01/2010  
Date Made Active in Reports: 09/30/2010  
Number of Days to Update: 29

Source: Kern County Environment Health Services Department  
Telephone: 661-862-8700  
Last EDR Contact: 02/28/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Quarterly

## LOS ANGELES COUNTY:

### San Gabriel Valley Areas of Concern

San Gabriel Valley areas where VOC contamination is at or above the MCL as designated by region 9 EPA office.

Date of Government Version: 03/30/2009  
Date Data Arrived at EDR: 03/31/2009  
Date Made Active in Reports: 10/23/2009  
Number of Days to Update: 206

Source: EPA Region 9  
Telephone: 415-972-3178  
Last EDR Contact: 12/22/2010  
Next Scheduled EDR Contact: 04/11/2011  
Data Release Frequency: No Update Planned

### HMS: Street Number List

Industrial Waste and Underground Storage Tank Sites.

Date of Government Version: 10/28/2010  
Date Data Arrived at EDR: 12/14/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 42

Source: Department of Public Works  
Telephone: 626-458-3517  
Last EDR Contact: 01/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Semi-Annually

### List of Solid Waste Facilities

Solid Waste Facilities in Los Angeles County.

Date of Government Version: 01/24/2011  
Date Data Arrived at EDR: 02/01/2011  
Date Made Active in Reports: 03/04/2011  
Number of Days to Update: 31

Source: La County Department of Public Works  
Telephone: 818-458-5185  
Last EDR Contact: 01/24/2011  
Next Scheduled EDR Contact: 05/09/2011  
Data Release Frequency: Varies

### City of Los Angeles Landfills

Landfills owned and maintained by the City of Los Angeles.

Date of Government Version: 03/05/2009  
Date Data Arrived at EDR: 03/10/2009  
Date Made Active in Reports: 04/08/2009  
Number of Days to Update: 29

Source: Engineering & Construction Division  
Telephone: 213-473-7869  
Last EDR Contact: 02/18/2011  
Next Scheduled EDR Contact: 06/06/2011  
Data Release Frequency: Varies

### Site Mitigation List

Industrial sites that have had some sort of spill or complaint.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 02/09/2011  
Date Data Arrived at EDR: 02/09/2011  
Date Made Active in Reports: 03/04/2011  
Number of Days to Update: 23

Source: Community Health Services  
Telephone: 323-890-7806  
Last EDR Contact: 10/25/2010  
Next Scheduled EDR Contact: 05/09/2011  
Data Release Frequency: Annually

## City of El Segundo Underground Storage Tank

Underground storage tank sites located in El Segundo city.

Date of Government Version: 02/03/2011  
Date Data Arrived at EDR: 02/08/2011  
Date Made Active in Reports: 03/03/2011  
Number of Days to Update: 23

Source: City of El Segundo Fire Department  
Telephone: 310-524-2236  
Last EDR Contact: 01/24/2011  
Next Scheduled EDR Contact: 05/06/2011  
Data Release Frequency: Semi-Annually

## City of Long Beach Underground Storage Tank

Underground storage tank sites located in the city of Long Beach.

Date of Government Version: 03/28/2003  
Date Data Arrived at EDR: 10/23/2003  
Date Made Active in Reports: 11/26/2003  
Number of Days to Update: 34

Source: City of Long Beach Fire Department  
Telephone: 562-570-2563  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Annually

## City of Torrance Underground Storage Tank

Underground storage tank sites located in the city of Torrance.

Date of Government Version: 01/18/2011  
Date Data Arrived at EDR: 01/25/2011  
Date Made Active in Reports: 03/03/2011  
Number of Days to Update: 37

Source: City of Torrance Fire Department  
Telephone: 310-618-2973  
Last EDR Contact: 01/17/2011  
Next Scheduled EDR Contact: 05/02/2011  
Data Release Frequency: Semi-Annually

## MARIN COUNTY:

### Underground Storage Tank Sites

Currently permitted USTs in Marin County.

Date of Government Version: 01/14/2011  
Date Data Arrived at EDR: 02/01/2011  
Date Made Active in Reports: 03/04/2011  
Number of Days to Update: 31

Source: Public Works Department Waste Management  
Telephone: 415-499-6647  
Last EDR Contact: 01/10/2011  
Next Scheduled EDR Contact: 04/25/2011  
Data Release Frequency: Semi-Annually

## NAPA COUNTY:

### Sites With Reported Contamination

A listing of leaking underground storage tank sites located in Napa county.

Date of Government Version: 07/09/2008  
Date Data Arrived at EDR: 07/09/2008  
Date Made Active in Reports: 07/31/2008  
Number of Days to Update: 22

Source: Napa County Department of Environmental Management  
Telephone: 707-253-4269  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/20/2011  
Data Release Frequency: No Update Planned

### Closed and Operating Underground Storage Tank Sites

Underground storage tank sites located in Napa county.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/15/2008  
Date Data Arrived at EDR: 01/16/2008  
Date Made Active in Reports: 02/08/2008  
Number of Days to Update: 23

Source: Napa County Department of Environmental Management  
Telephone: 707-253-4269  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/20/2011  
Data Release Frequency: No Update Planned

## ORANGE COUNTY:

### List of Industrial Site Cleanups

Petroleum and non-petroleum spills.

Date of Government Version: 11/03/2010  
Date Data Arrived at EDR: 11/19/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 70

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 02/14/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Annually

### List of Underground Storage Tank Cleanups

Orange County Underground Storage Tank Cleanups (LUST).

Date of Government Version: 11/03/2010  
Date Data Arrived at EDR: 11/19/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 70

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 02/14/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Quarterly

### List of Underground Storage Tank Facilities

Orange County Underground Storage Tank Facilities (UST).

Date of Government Version: 02/02/2011  
Date Data Arrived at EDR: 02/15/2011  
Date Made Active in Reports: 03/03/2011  
Number of Days to Update: 16

Source: Health Care Agency  
Telephone: 714-834-3446  
Last EDR Contact: 02/15/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Quarterly

## PLACER COUNTY:

### Master List of Facilities

List includes aboveground tanks, underground tanks and cleanup sites.

Date of Government Version: 01/31/2011  
Date Data Arrived at EDR: 02/01/2011  
Date Made Active in Reports: 03/04/2011  
Number of Days to Update: 31

Source: Placer County Health and Human Services  
Telephone: 530-889-7312  
Last EDR Contact: 12/13/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: Semi-Annually

## RIVERSIDE COUNTY:

### Listing of Underground Tank Cleanup Sites

Riverside County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 12/08/2010  
Date Data Arrived at EDR: 12/09/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 50

Source: Department of Environmental Health  
Telephone: 951-358-5055  
Last EDR Contact: 12/09/2010  
Next Scheduled EDR Contact: 04/11/2011  
Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Underground Storage Tank Tank List

Underground storage tank sites located in Riverside county.

Date of Government Version: 12/08/2010	Source: Department of Environmental Health
Date Data Arrived at EDR: 12/09/2010	Telephone: 951-358-5055
Date Made Active in Reports: 01/20/2011	Last EDR Contact: 12/09/2010
Number of Days to Update: 42	Next Scheduled EDR Contact: 04/11/2011
	Data Release Frequency: Quarterly

## SACRAMENTO COUNTY:

### Toxic Site Clean-Up List

List of sites where unauthorized releases of potentially hazardous materials have occurred.

Date of Government Version: 11/03/2010	Source: Sacramento County Environmental Management
Date Data Arrived at EDR: 01/20/2011	Telephone: 916-875-8406
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/10/2011
Number of Days to Update: 8	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

### Master Hazardous Materials Facility List

Any business that has hazardous materials on site - hazardous material storage sites, underground storage tanks, waste generators.

Date of Government Version: 11/03/2010	Source: Sacramento County Environmental Management
Date Data Arrived at EDR: 01/20/2011	Telephone: 916-875-8406
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/10/2011
Number of Days to Update: 8	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Quarterly

## SAN BERNARDINO COUNTY:

### Hazardous Material Permits

This listing includes underground storage tanks, medical waste handlers/generators, hazardous materials handlers, hazardous waste generators, and waste oil generators/handlers.

Date of Government Version: 12/08/2010	Source: San Bernardino County Fire Department Hazardous Materials Division
Date Data Arrived at EDR: 12/09/2010	Telephone: 909-387-3041
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 02/14/2011
Number of Days to Update: 50	Next Scheduled EDR Contact: 05/30/2011
	Data Release Frequency: Quarterly

## SAN DIEGO COUNTY:

### Hazardous Materials Management Division Database

The database includes: HE58 - This report contains the business name, site address, business phone number, establishment 'H' permit number, type of permit, and the business status. HE17 - In addition to providing the same information provided in the HE58 listing, HE17 provides inspection dates, violations received by the establishment, hazardous waste generated, the quantity, method of storage, treatment/disposal of waste and the hauler, and information on underground storage tanks. Unauthorized Release List - Includes a summary of environmental contamination cases in San Diego County (underground tank cases, non-tank cases, groundwater contamination, and soil contamination are included.)

Date of Government Version: 09/09/2010	Source: Hazardous Materials Management Division
Date Data Arrived at EDR: 09/15/2010	Telephone: 619-338-2268
Date Made Active in Reports: 09/29/2010	Last EDR Contact: 12/21/2010
Number of Days to Update: 14	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Solid Waste Facilities

San Diego County Solid Waste Facilities.

Date of Government Version: 10/01/2010  
Date Data Arrived at EDR: 11/16/2010  
Date Made Active in Reports: 01/25/2011  
Number of Days to Update: 70

Source: Department of Health Services  
Telephone: 619-338-2209  
Last EDR Contact: 01/31/2011  
Next Scheduled EDR Contact: 05/16/2011  
Data Release Frequency: Varies

## Environmental Case Listing

The listing contains all underground tank release cases and projects pertaining to properties contaminated with hazardous substances that are actively under review by the Site Assessment and Mitigation Program.

Date of Government Version: 03/23/2010  
Date Data Arrived at EDR: 06/15/2010  
Date Made Active in Reports: 07/09/2010  
Number of Days to Update: 24

Source: San Diego County Department of Environmental Health  
Telephone: 619-338-2371  
Last EDR Contact: 12/21/2010  
Next Scheduled EDR Contact: 03/28/2011  
Data Release Frequency: No Update Planned

## SAN FRANCISCO COUNTY:

### Local Oversight Facilities

A listing of leaking underground storage tank sites located in San Francisco county.

Date of Government Version: 09/19/2008  
Date Data Arrived at EDR: 09/19/2008  
Date Made Active in Reports: 09/29/2008  
Number of Days to Update: 10

Source: Department Of Public Health San Francisco County  
Telephone: 415-252-3920  
Last EDR Contact: 02/28/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Quarterly

### Underground Storage Tank Information

Underground storage tank sites located in San Francisco county.

Date of Government Version: 11/29/2010  
Date Data Arrived at EDR: 12/14/2010  
Date Made Active in Reports: 01/20/2011  
Number of Days to Update: 37

Source: Department of Public Health  
Telephone: 415-252-3920  
Last EDR Contact: 02/28/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Quarterly

## SAN JOAQUIN COUNTY:

### San Joaquin Co. UST

A listing of underground storage tank locations in San Joaquin county.

Date of Government Version: 12/29/2010  
Date Data Arrived at EDR: 01/04/2011  
Date Made Active in Reports: 01/20/2011  
Number of Days to Update: 16

Source: Environmental Health Department  
Telephone: N/A  
Last EDR Contact: 12/23/2010  
Next Scheduled EDR Contact: 04/11/2011  
Data Release Frequency: Semi-Annually

## SAN MATEO COUNTY:

### Business Inventory

List includes Hazardous Materials Business Plan, hazardous waste generators, and underground storage tanks.

Date of Government Version: 11/22/2010  
Date Data Arrived at EDR: 11/23/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 66

Source: San Mateo County Environmental Health Services Division  
Telephone: 650-363-1921  
Last EDR Contact: 02/14/2011  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Fuel Leak List

A listing of leaking underground storage tank sites located in San Mateo county.

Date of Government Version: 12/17/2010  
Date Data Arrived at EDR: 12/20/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 39

Source: San Mateo County Environmental Health Services Division  
Telephone: 650-363-1921  
Last EDR Contact: 12/17/2010  
Next Scheduled EDR Contact: 04/04/2011  
Data Release Frequency: Semi-Annually

## SANTA CLARA COUNTY:

### HIST LUST - Fuel Leak Site Activity Report

A listing of open and closed leaking underground storage tanks. This listing is no longer updated by the county. Leaking underground storage tanks are now handled by the Department of Environmental Health.

Date of Government Version: 03/29/2005  
Date Data Arrived at EDR: 03/30/2005  
Date Made Active in Reports: 04/21/2005  
Number of Days to Update: 22

Source: Santa Clara Valley Water District  
Telephone: 408-265-2600  
Last EDR Contact: 03/23/2009  
Next Scheduled EDR Contact: 06/22/2009  
Data Release Frequency: No Update Planned

## LOP Listing

A listing of leaking underground storage tanks located in Santa Clara county.

Date of Government Version: 05/29/2009  
Date Data Arrived at EDR: 06/01/2009  
Date Made Active in Reports: 06/15/2009  
Number of Days to Update: 14

Source: Department of Environmental Health  
Telephone: 408-918-3417  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/20/2011  
Data Release Frequency: Annually

## Hazardous Material Facilities

Hazardous material facilities, including underground storage tank sites.

Date of Government Version: 08/31/2009  
Date Data Arrived at EDR: 08/31/2009  
Date Made Active in Reports: 09/18/2009  
Number of Days to Update: 18

Source: City of San Jose Fire Department  
Telephone: 408-535-7694  
Last EDR Contact: 02/28/2011  
Next Scheduled EDR Contact: 05/30/2011  
Data Release Frequency: Annually

## SOLANO COUNTY:

### Leaking Underground Storage Tanks

A listing of leaking underground storage tank sites located in Solano county.

Date of Government Version: 12/08/2010  
Date Data Arrived at EDR: 12/17/2010  
Date Made Active in Reports: 01/28/2011  
Number of Days to Update: 42

Source: Solano County Department of Environmental Management  
Telephone: 707-784-6770  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/20/2011  
Data Release Frequency: Quarterly

### Underground Storage Tanks

Underground storage tank sites located in Solano county.

Date of Government Version: 12/08/2010  
Date Data Arrived at EDR: 12/29/2010  
Date Made Active in Reports: 01/20/2011  
Number of Days to Update: 22

Source: Solano County Department of Environmental Management  
Telephone: 707-784-6770  
Last EDR Contact: 03/07/2011  
Next Scheduled EDR Contact: 06/20/2011  
Data Release Frequency: Quarterly

## SONOMA COUNTY:



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Leaking Underground Storage Tank Sites

A listing of leaking underground storage tank sites located in Sonoma county.

Date of Government Version: 01/05/2011	Source: Department of Health Services
Date Data Arrived at EDR: 01/07/2011	Telephone: 707-565-6565
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 01/03/2011
Number of Days to Update: 21	Next Scheduled EDR Contact: 04/18/2011
	Data Release Frequency: Quarterly

## SUTTER COUNTY:

### Underground Storage Tanks

Underground storage tank sites located in Sutter county.

Date of Government Version: 12/13/2010	Source: Sutter County Department of Agriculture
Date Data Arrived at EDR: 12/14/2010	Telephone: 530-822-7500
Date Made Active in Reports: 01/20/2011	Last EDR Contact: 12/13/2010
Number of Days to Update: 37	Next Scheduled EDR Contact: 03/28/2011
	Data Release Frequency: Semi-Annually

## VENTURA COUNTY:

### Business Plan, Hazardous Waste Producers, and Operating Underground Tanks

The BWT list indicates by site address whether the Environmental Health Division has Business Plan (B), Waste Producer (W), and/or Underground Tank (T) information.

Date of Government Version: 10/26/2010	Source: Ventura County Environmental Health Division
Date Data Arrived at EDR: 11/30/2010	Telephone: 805-654-2813
Date Made Active in Reports: 01/28/2011	Last EDR Contact: 02/22/2011
Number of Days to Update: 59	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Quarterly

### Inventory of Illegal Abandoned and Inactive Sites

Ventura County Inventory of Closed, Illegal Abandoned, and Inactive Sites.

Date of Government Version: 08/01/2009	Source: Environmental Health Division
Date Data Arrived at EDR: 10/05/2009	Telephone: 805-654-2813
Date Made Active in Reports: 10/13/2009	Last EDR Contact: 01/10/2011
Number of Days to Update: 8	Next Scheduled EDR Contact: 04/25/2011
	Data Release Frequency: Annually

### Listing of Underground Tank Cleanup Sites

Ventura County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 05/29/2008	Source: Environmental Health Division
Date Data Arrived at EDR: 06/24/2008	Telephone: 805-654-2813
Date Made Active in Reports: 07/31/2008	Last EDR Contact: 02/22/2011
Number of Days to Update: 37	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Quarterly

### Underground Tank Closed Sites List

Ventura County Operating Underground Storage Tank Sites (UST)/Underground Tank Closed Sites List.

Date of Government Version: 11/29/2010	Source: Environmental Health Division
Date Data Arrived at EDR: 12/20/2010	Telephone: 805-654-2813
Date Made Active in Reports: 01/20/2011	Last EDR Contact: 12/20/2010
Number of Days to Update: 31	Next Scheduled EDR Contact: 04/04/2011
	Data Release Frequency: Quarterly

## YOLO COUNTY:

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Underground Storage Tank Comprehensive Facility Report  
Underground storage tank sites located in Yolo county.

Date of Government Version: 01/25/2011	Source: Yolo County Department of Health
Date Data Arrived at EDR: 02/03/2011	Telephone: 530-666-8646
Date Made Active in Reports: 03/04/2011	Last EDR Contact: 01/10/2011
Number of Days to Update: 29	Next Scheduled EDR Contact: 04/11/2011
	Data Release Frequency: Annually

## OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

### CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 12/31/2007	Source: Department of Environmental Protection
Date Data Arrived at EDR: 08/26/2009	Telephone: 860-424-3375
Date Made Active in Reports: 09/11/2009	Last EDR Contact: 02/25/2011
Number of Days to Update: 16	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Annually

### NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2009	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/22/2010	Telephone: N/A
Date Made Active in Reports: 08/26/2010	Last EDR Contact: 01/21/2011
Number of Days to Update: 35	Next Scheduled EDR Contact: 05/02/2011
	Data Release Frequency: Annually

### NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 12/31/2010	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 02/09/2011	Telephone: 518-402-8651
Date Made Active in Reports: 03/04/2011	Last EDR Contact: 02/09/2011
Number of Days to Update: 23	Next Scheduled EDR Contact: 05/23/2011
	Data Release Frequency: Annually

### PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2008	Source: Department of Environmental Protection
Date Data Arrived at EDR: 12/01/2009	Telephone: 717-783-8990
Date Made Active in Reports: 12/14/2009	Last EDR Contact: 02/18/2011
Number of Days to Update: 13	Next Scheduled EDR Contact: 06/06/2011
	Data Release Frequency: Annually

### RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2009	Source: Department of Environmental Management
Date Data Arrived at EDR: 07/19/2010	Telephone: 401-222-2797
Date Made Active in Reports: 08/26/2010	Last EDR Contact: 02/28/2011
Number of Days to Update: 38	Next Scheduled EDR Contact: 06/13/2011
	Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2009

Date Data Arrived at EDR: 07/06/2010

Date Made Active in Reports: 07/26/2010

Number of Days to Update: 20

Source: Department of Natural Resources

Telephone: N/A

Last EDR Contact: 12/16/2010

Next Scheduled EDR Contact: 04/04/2011

Data Release Frequency: Annually

Oil/Gas Pipelines: This data was obtained by EDR from the USGS in 1994. It is referred to by USGS as GeoData Digital Line Graphs from 1:100,000-Scale Maps. It was extracted from the transportation category including some oil, but primarily gas pipelines.

## Electric Power Transmission Line Data

Source: Rextag Strategies Corp.

Telephone: (281) 769-2247

U.S. Electric Transmission and Power Plants Systems Digital GIS Data

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

## AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

## Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

## Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

## Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

## Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

## Daycare Centers: Licensed Facilities

Source: Department of Social Services

Telephone: 916-657-4041

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2009 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## STREET AND ADDRESS INFORMATION

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**APPENDIX B**  
**TRAFFIC STUDY MARCH 9, 2011**

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# **Redlands Park Once Garage**

## **Traffic Study**

March 9, 2011

Prepared for

**City of Redlands**

Prepared by

**The Mobility Group**

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## **1. Introduction and Project Description**

This report documents a focused Traffic Study conducted for the Redlands Park Once Garage. This will be a parking garage of approximately 429 spaces, located on the south side of Stuart Avenue and north of the railroad tracks, between Eureka Street and Orange Street in Downtown Redlands. The Project location is shown in Figure 1.

A parking structure at this location would provide the parking needed for a transit center (the planned Downtown Redlands Passenger Rail Station) as well as providing general public parking. It should be noted that the Downtown Redlands Rail Station is a separate project and is subject to a separate environmental review process.

It is assumed that of the approximately 429 total parking spaces, 300 spaces will be available for the Redlands Passenger Rail Station<sup>1</sup>, and the remaining 129 spaces will be available for general public use.

There will be minor improvements to Stuart Avenue with the final design of the street to be 40-foot wide in a 54-foot right-of-way.

In addition to the parking spaces, the Redlands Park Once Garage will contain approximately 6,170 square feet of retail commercial space, comprising 2,280 gross-square-feet on the north side of the parking garage fronting Stuart Avenue, and 3,890 gross-square-feet of small retail uses on the south side of the garage fronting the railroad tracks. Approximately 2,000 sq. ft. of the space on the south side of the garage will be utilized for transit support uses including transit patron facilities and bicycle storage. The preliminary Project Site Plan is shown in Figure 2.

The Parking Garage itself does not generate trips independently, so the analysis focuses on operational analysis of the garage driveway and the two nearest intersections on Stuart Avenue – at Stuart Avenue and Orange Street and at Stuart Avenue and Eureka Street in order to ensure the satisfactory operation of those intersections. Beyond these studied intersections, parking garage traffic will be (a) already on downtown roadways and redistributed to the parking garage destination, (b) related to the Redlands Passenger Rail Line (which will be analyzed separately in other environmental documents), or (c) additional traffic from the Downtown Specific Plan which will also be analyzed in a separate environmental document.

The analysis assumes that the project will be completed and in operation by 2016. The analysis draws on the work completed in the Downtown Redlands Specific Plan EIR Traffic Study for consistency purposes.

## **2. Existing Conditions**

The existing intersection configurations are shown in Figure 3. The intersection of Stuart Avenue and Orange Street is signalized, and the intersection of Stuart Avenue and Eureka

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<sup>1</sup> “Redlands Passenger Rail Station Area Plan. Draft Report, January 2007”. The existing agreement between the City and SANBAG is for a minimum 200 spaces at station.

Street is stop-controlled. Existing traffic volumes are shown in Figure 4 for the a.m. peak hour and the p.m. peak hour. These volumes are based on data collected in 2009 for the Downtown Redlands Specific Plan EIR Traffic Study, and growth factored to 2011 based on the background growth projected in that study between 2010 and 2025 (average of 0.65% per year)<sup>2</sup>.

Existing traffic conditions (levels of service) are shown in Table 1, which shows traffic conditions are currently level of service (LOS) C or better, and thus meet City of Redlands General Plan standards<sup>3</sup>.

### **3. Future Without Project Conditions**

Future Without Project conditions were analyzed for the year 2016 – the projected first year of operation for the garage. Future background traffic projections were made using the growth projections in the Downtown Redlands Specific Plan EIR Traffic Study. Those projections were (a) based on SANBAG regional land use and traffic growth projections, and (b) also included projected growth in land uses for the Specific Plan. They thus account for all anticipated future growth in the downtown area. The growth projections from the Downtown Redlands Specific Plan EIR Traffic Study were calculated on a per year basis and then applied for a five year period (2011 to 2016) to obtain 2016 forecasts at the study intersections.

It was also assumed that a new traffic signal would be installed at the intersection of Stuart Avenue and Eureka Street by 2016, based on the Development Agreement for the Promenade Project and the City's commitment to install the signal by 2016. The existing lane configuration was assumed to remain as is at this intersection.

Future 2016 traffic volume projections are shown in Figure 5. The results of the Future Without Project conditions analysis are shown in Table 2 which illustrates that levels of service would be LOS B or better, again meeting City of Redlands standards.

### **4. Project Trip Generation**

The Park Once Garage is anticipated to hold a total of approximately 429 spaces, of which 300 parking spaces would be for the rail transit station and about 129 spaces would be for

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<sup>2</sup> Obtained from forecasts in SANBAG I-10 HOV Lanes Model used in Downtown Redlands Specific Plan EIR Traffic Study.

<sup>3</sup> The City of Redlands General Plan contains the following policies with respect to intersection levels of service in the City:

- a. Maintain LOS C or better as the standard at all intersections presently at LOS C or better.
- b. Within the area identified in General Plan Figure 5.3, including that unincorporated County area identified on General Plan Figure 5.3 as the "donut hole," maintain LOS C or better; however, accept a reduced LOS on a case by case basis upon approval by a four-fifths (4/5ths) vote of the total authorized membership of the City Council.

general public use, for. The estimated trip generation in the a.m. and p.m. peak hours is shown in Table 3, and was calculated as follows.

For purposes of preparing a conservative (worst case) analysis, it was assumed that 50% of the garage spaces (for both transit and for general use) would turn over (i.e. generate a trip) during the peak hour, that during the a.m. peak hour 80% of trips would be inbound and 20% would be outbound, and that during the p.m. peak hour 20% of the trips would be inbound and 80% would be outbound. These are considered conservatively high percentages for space turnover. For example, for the transit-related spaces they are higher than independent projections derived from the peak hour transit patronage projections in the study report for the “*Redlands Passenger Rail Station Area Plan, Draft Report, January 2007*”.

Trip generation for the retail commercial uses was calculated separately using trip rates from the Institute of Transportation Engineers (ITE) database, “*ITE Trip Generation, 8<sup>th</sup> Edition, 2008*”. Excluding the space allocated to transit related uses and bike storage (which would not generate vehicle trips), the remaining 4,170 sq. ft. was assumed for analysis purposes to be evenly split between general retail and bread/donut/bagel shop type uses. While it would be expected that the majority of trips from these uses would be related to transit passengers and therefore not generate independent vehicle trips, it was conservatively assumed that only 25% of the trips would be transit related in the peak hours. These trips were then added to the trips estimated from the transit parking spaces and general parking spaces, to obtain a trip total. Again this provides a conservative estimate as some of the retail commercial trips could be the same trips that were estimated for the general parking spaces in the garage. However, for purposes of analysis they were assumed to be additive.

As shown in Table 3, it was therefore estimated that the garage could generate a total of 325 vehicle trips in the a.m. peak hour and 264 trips in the p.m. peak hour.

## **5. Future With Project Conditions**

### Intersection Analysis

These estimated project traffic volumes were then assigned to the roadway network using trip distribution patterns used in the Downtown Redlands Specific Plan EIR Traffic Study. The Future With Project traffic volume projections are shown in Figure 6. The results of the analysis are shown in Table 4. The traffic conditions at the intersection of Stuart Avenue and Eureka Avenue would remain at LOS A in both peak hours with the Project. At the intersection of Stuart Avenue and Orange Street, the level of service would remain at LOS A in the a.m. peak hour and would change from LOS B to LOS C in the p.m. peak hour. The level of service would remain at acceptable levels (meet General Plan standards) in both peak hours at both intersections and it is therefore concluded that the Proposed Project would not create any significant traffic impacts at these intersections.

### Project Driveway Analysis

An analysis was also conducted of estimated traffic volumes entering and exiting the garage driveway on Stuart Avenue in both peak hours. These are also shown in Figure 6. The level of service analysis results at this unsignalized driveway location are shown in Table 5. All driveway movements would operate at LOS B or better indicating there would be no traffic issues associated with the garage driveway and therefore no significant traffic impacts.

### Conclusions

The traffic analysis described above concluded that the project driveway and adjacent intersections would operate satisfactorily and there would be no significant traffic impacts from the Proposed Project. No traffic mitigations are therefore necessary.

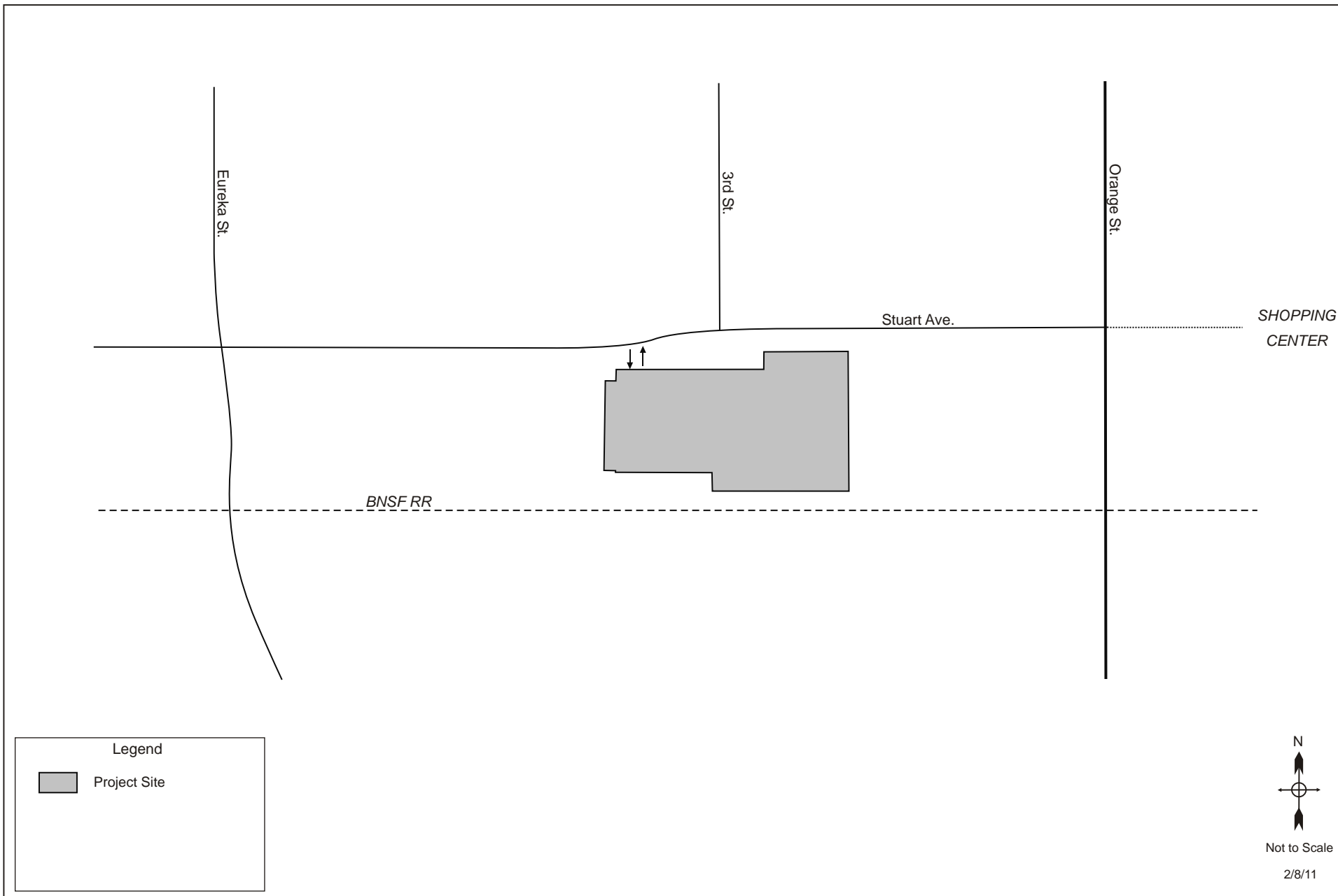
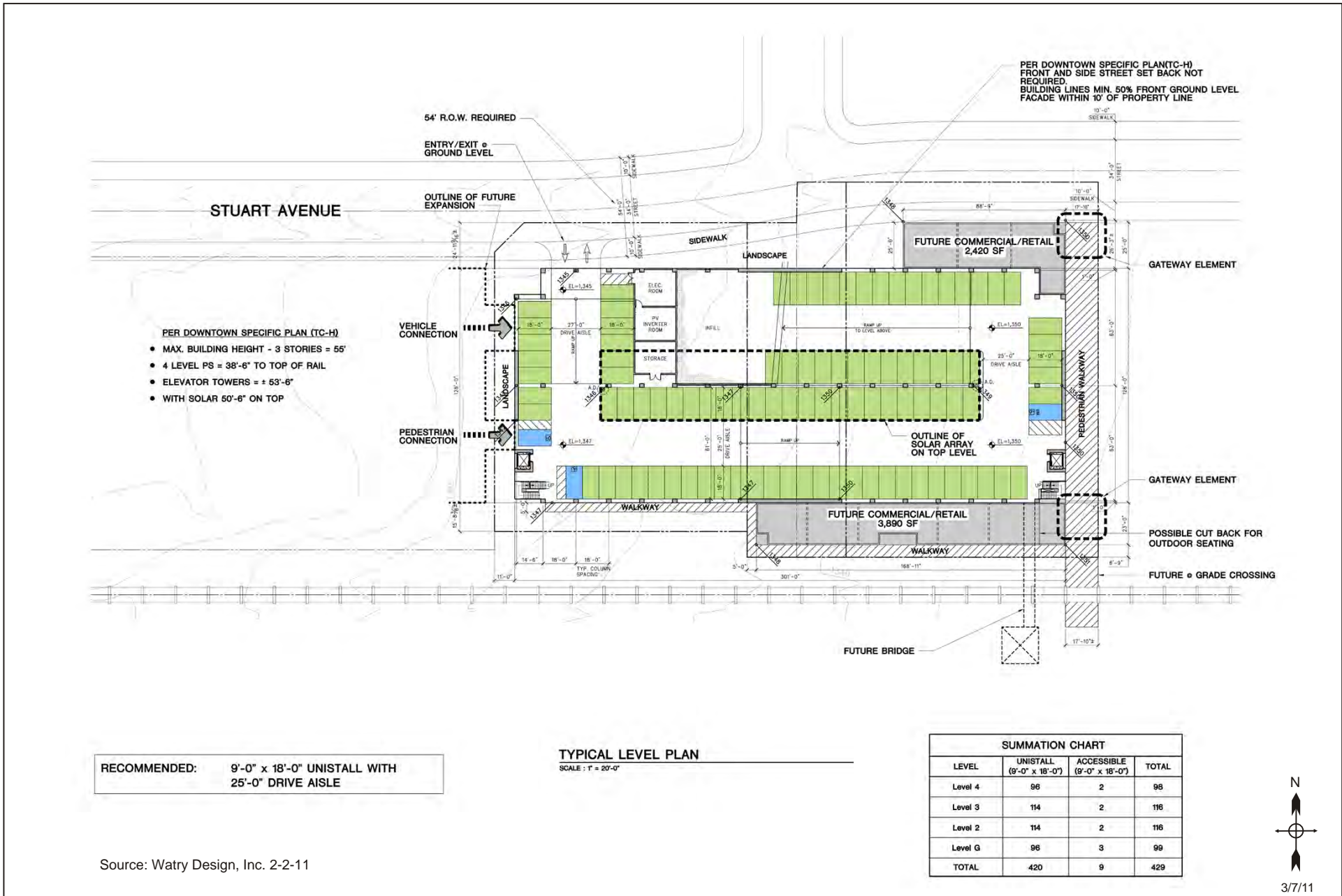


Figure 1  
Project Location



Source: Watry Design, Inc. 2-2-11

Figure 2  
Project Site Plan

**Redlands Park Once Parking Structure**

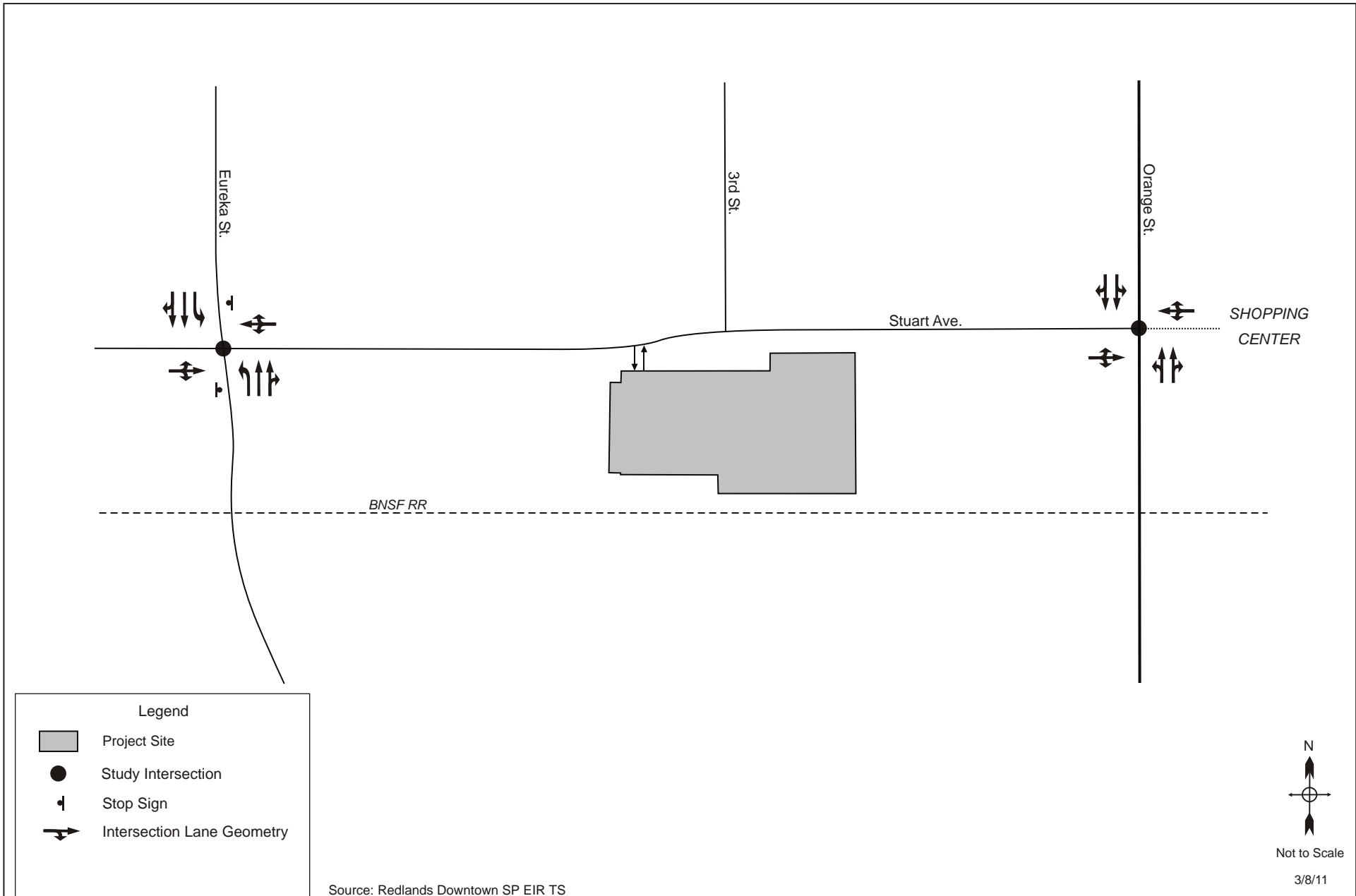


Figure 3  
Existing Intersection Configurations



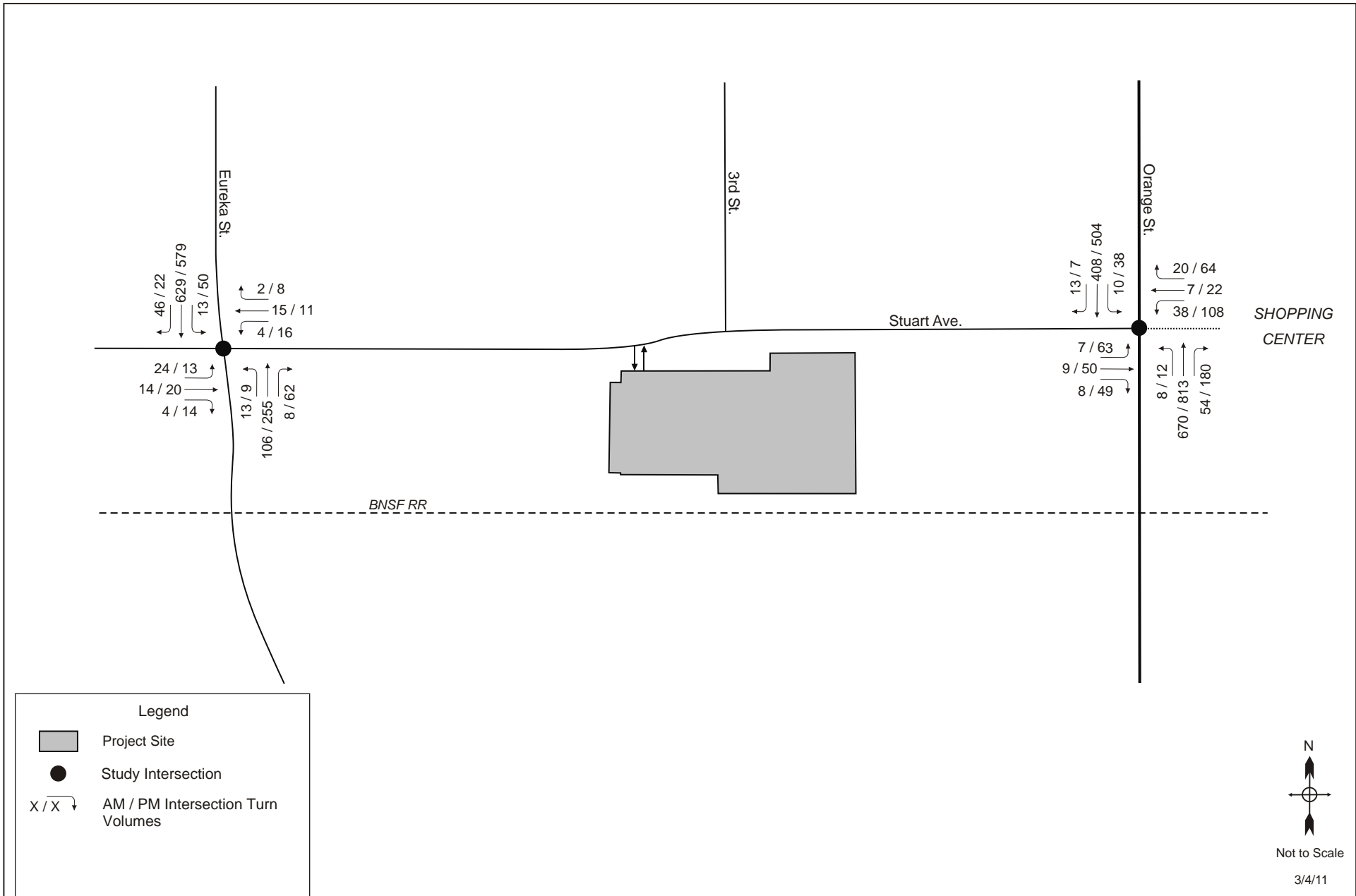


Figure 4  
Existing (2011) AM / PM Peak Hour Traffic Volumes

**Table 1      Redlands Park Once Parking Structure - Intersection Level Of Service      02-09-11**  
**Existing Conditions**

No.	Intersection	Control Type	A.M Peak		P.M Peak	
			V/C	LOS	V/C	LOS
1	Eureka St. & Stuart Ave.	2-way Stop <sup>1</sup>	(18.7)	C	(19.9)	C
2	Orange St. & Stuart Ave.	Signalized	0.295	A	0.545	A

Volume/capacity ratio shown for signalized intersections.

For 2-way stop intersections, delay/vehicle and LOS shown for worst case minor (stopped) approach.

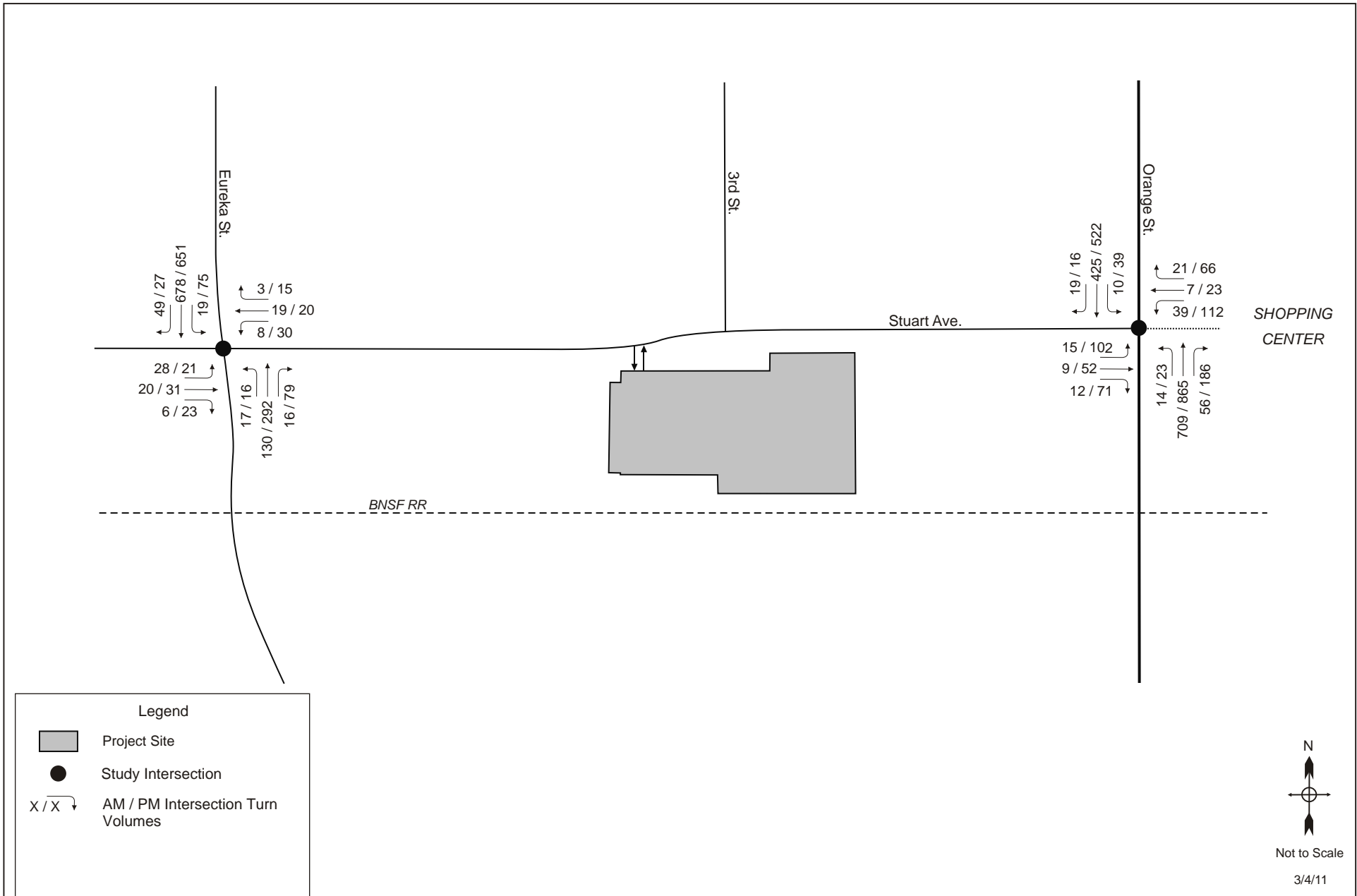


Figure 5  
 Future Without Project (2016) AM / PM Peak Hour Traffic Volumes

**Table 2. Redlands Park Once Parking Structure - Intersection Level of Service - Future Without Project Conditions**

3/3/2011

No.	Intersection	Existing Conditions (2011)				Future Without Project (2016) <sup>1</sup>					
		Control Type	A.M Peak		P.M Peak		Control Type	A.M Peak		P.M Peak	
			V/C or (Delay)	LOS	V/C or (Delay)	LOS		V/C or (Delay)	LOS	V/C or (Delay)	LOS
1	Eureka St. / Stuart Ave.	2-way Stop <sup>2</sup>	(18.7)	C	(19.9)	C	Signalized	0.311	A	0.323	A
2	Orange St. / Stuart Ave.	Signalized	0.295	A	0.545	A	Signalized	0.322	A	0.616	B

Note:

1. Redlands Downtown Specific Plan growth was included in the Future Without Project scenario.
2. For 2-way stop intersections, delay/vehicle shown for worst case minor (stopped) approach.

**Table 3. Redlands Park Once Parking Structure - Trip Generation Estimates**

3/7/2011

Land Use Assumptions	Quantity	Unit	A.M Peak Hour						P.M Peak Hour					
			Trip Rate			Trips			Trip Rate			Trips		
			In	Out	Total	In	Out	Total	In	Out	Total	In	Out	Total
Transit Parking <sup>1</sup>	300	Spaces	0.40	0.10	0.50	120	30	150	0.10	0.40	0.50	30	120	150
General Parking <sup>1</sup>	129	Spaces	0.40	0.10	0.50	52	13	65	0.10	0.40	0.50	13	52	65
Retail/Commercial	6,170	GSF												
Transit Support (Bike Locker) <sup>2</sup>	2,000	GSF												
General Retail <sup>3</sup>	2,085	GSF	0.61	0.39	1.00	1	1	2	1.83	1.90	3.73	4	4	8
% for walk/transit 25%						0	-1	-1				-1	-1	-2
Bread/Donut/Bagel Shop <sup>4</sup>	2,085	GSF	33.00	37.22	70.22	69	77	146	14.00	14.00	28.00	29	29	58
% for walk/transit 25%						-17	-20	-37				-7	-7	-15
Subtotal	4,170	GSF				53	57	110				24	25	49
Total Garage Parking						172	43	215				43	172	215
Total Commercial						53	57	110				24	25	49
Grand Total						225	100	325				67	197	264

1. Assumes 50% of spaces turnover in peak hour, 80%/20% inbound/outbound split in A.M peak hour and 20%/80% inbound/outbound split in P.M peak hour.
2. Assumes 2,000 sf of total 6,170 sf commercial space allocated to transit support (south side of station) - e.g. bicycle parking and transit-related areas.
3. ITE Code 820 for Shopping Center was used.
4. ITE Code 939 for Bread/Donut/Bagel Shop without Drive-Through Window was used.

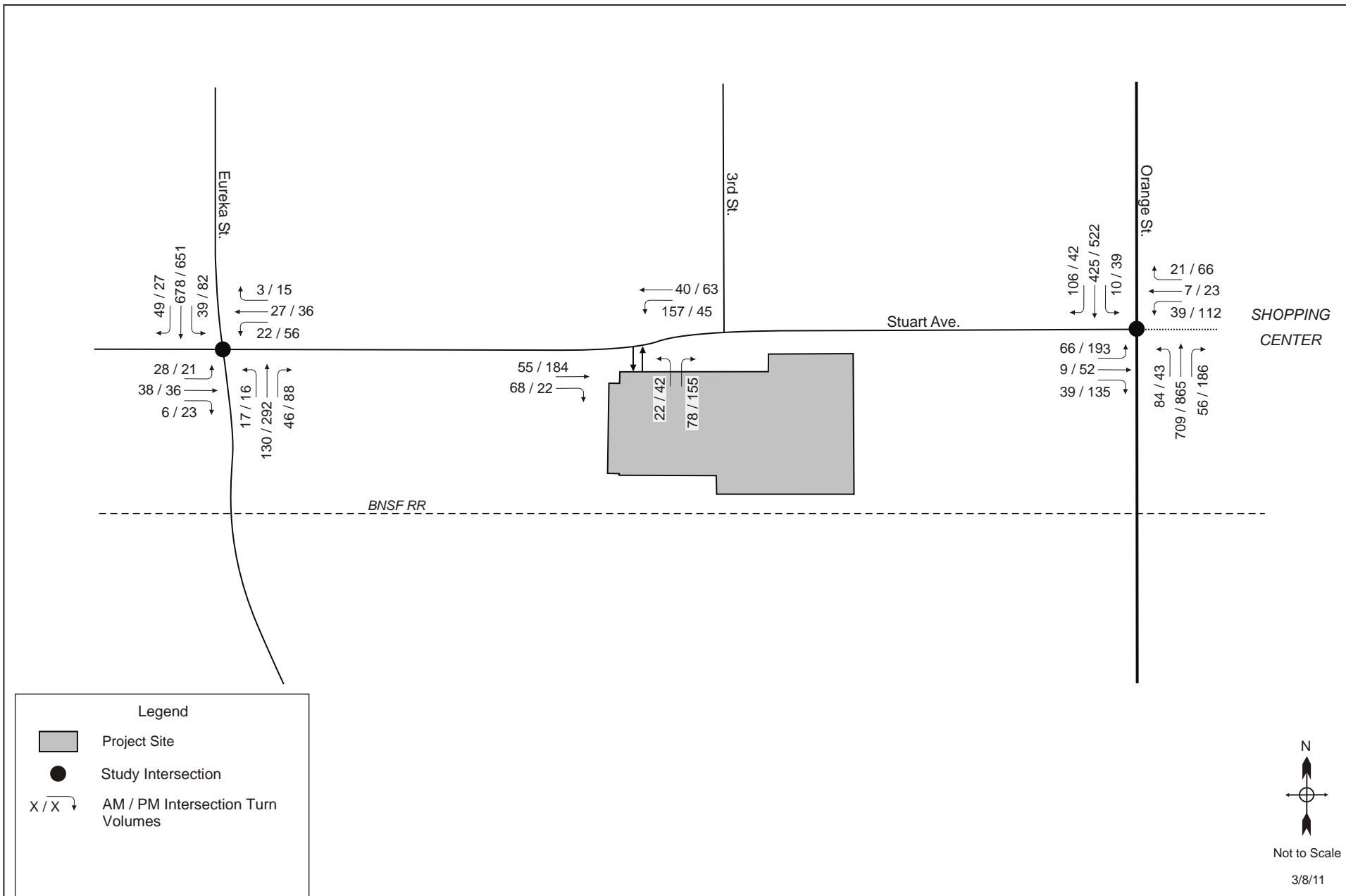


Figure 6  
 Future With Project (2016) AM / PM Peak Hour Traffic Volumes

**Table 4. Redlands Park Once Parking Structure - Intersection Level of Service - Future With Project Conditions**

3/8/2011

No.	Intersection	Future Without Project (2016)				Future With Project (2016)					
		Control Type	A.M Peak		P.M Peak		Control Type	A.M Peak		P.M Peak	
			V/C or (Delay)	LOS	V/C or (Delay)	LOS		V/C or (Delay)	LOS	V/C or (Delay)	LOS
1	Eureka St. / Stuart Ave.	Signalized	0.311	A	0.323	A	Signalized	0.333	A	0.344	A
2	Orange St. / Stuart Ave.	Signalized	0.322	A	0.616	B	Signalized	0.420	A	0.733	C

**Table 5. Redlands Park Once Parking Structure - Driveway Intersection Analysis**

3/8/2011

Project Driveway	Future With Project (2016) AM Peak		Future With Project (2016) PM Peak	
	Delay	LOS	Delay	LOS
Driveway on Stuart Ave.				
Northbound Left/Right Turn to Stuart	9.7	A	10.9	B
Westbound Left Turn into Garage	7.7	A	7.7	A



**Appendix A**  
**Intersection LOS**

Redlands Park Once Parking Structure
Existing - AM Peak

Level Of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #9001 Eureka St. / Stuart Ave.

Average Delay (sec/veh): 1.5 Worst Case Level Of Service: C [ 18.7]

Table with 4 columns: North Bound, South Bound, East Bound, West Bound. Rows include Movement, Control, Rights, and Lanes.

Volume Module:

Table with 13 columns representing traffic volumes and adjustment factors for Base Vol, Growth Adj, Initial Bse, User Adj, PHF Adj, PHF Volume, Reduct Vol, and Final Volume.

Critical Gap Module:

Table with 13 columns for Critical Gap and FollowUp Time values.

Capacity Module:

Table with 13 columns for Capacity-related metrics: Cnflct Vol, Potent Cap., Move Cap., and Volume/Cap.

Level Of Service Module:

Table with 13 columns for Level of Service metrics: 2Way95thQ, Control Del, LOS by Move, Movement, Shared Cap., Shared Queue, Shrd ConDel, Shared LOS, ApproachDel, and ApproachLOS.

Note: Queue reported is the number of cars per lane.

Redlands Park Once Parking Structure
Existing - PM Peak

Level Of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #9001 Eureka St. / Stuart Ave.

Average Delay (sec/veh): 1.9 Worst Case Level Of Service: C[ 19.9]

Table with 4 columns: North Bound, South Bound, East Bound, West Bound. Rows include Movement, Control, Rights, and Lanes.

Table with 13 columns for traffic volume. Rows include Base Vol, Growth Adj, Initial Bse, User Adj, PHF Adj, PHF Volume, Reduct Vol, and Final Volume.

Table with 13 columns for delay. Rows include Critical Gap Module, Critical Gp, and FollowUpTim.

Table with 13 columns for capacity. Rows include Cnflct Vol, Potent Cap., Move Cap., and Volume/Cap.

Table with 13 columns for level of service. Rows include 2Way95thQ, Control Del, LOS by Move, Movement, Shared Cap., SharedQueue, Shrd ConDel, Shared LOS, ApproachDel, and ApproachLOS.

Note: Queue reported is the number of cars per lane.

Redlands Park Once Parking Structure  
Existing - AM Peak

Level Of Service Computation Report  
Circular 212 Planning Method (Base Volume Alternative)

\*\*\*\*\*  
Intersection #9002 Orange St. / Stuart Ave.  
\*\*\*\*\*

Cycle (sec): 20 Critical Vol./Cap.(X): 0.295  
Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
Optimal Cycle: 20 Level Of Service: A  
\*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Permitted			Permitted			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	0	1	0	1	0	0	0	0	1	0	0	1

Volume Module:

Base Vol:	8	661	53	10	403	13	7	9	8	38	7	20
Growth Adj:	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01
Initial Bse:	8	670	54	10	408	13	7	9	8	38	7	20
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	8	670	54	10	408	13	7	9	8	38	7	20
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	8	670	54	10	408	13	7	9	8	38	7	20
PCE Adj:	2.00	1.00	1.00	4.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	16	670	54	41	408	13	7	9	8	38	7	20

Saturation Flow Module:

Sat/Lane:	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	0.02	1.83	0.15	0.05	1.89	0.06	0.29	0.38	0.33	0.58	0.11	0.31
Final Sat.:	34	2749	218	76	2839	86	438	563	500	877	162	462

Capacity Analysis Module:

Vol/Sat:	0.24	0.24	0.25	0.13	0.14	0.15	0.02	0.02	0.02	0.04	0.04	0.04
Crit Volume:			370		10			24			38	
Crit Moves:			****		****			****			****	

\*\*\*\*\*

Redlands Park Once Parking Structure  
Existing - PM Peak

Level Of Service Computation Report  
Circular 212 Planning Method (Base Volume Alternative)

\*\*\*\*\*  
Intersection #9002 Orange St. / Stuart Ave.  
\*\*\*\*\*

Cycle (sec): 32 Critical Vol./Cap.(X): 0.545  
Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
Optimal Cycle: 32 Level Of Service: A

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Permitted			Permitted			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	0	1	0	1	0	0	0	0	1	0	0	1

Volume Module: >> Count Date: 13 May 2009 <<

Base Vol:	12	803	178	38	498	7	62	49	48	107	22	63
Growth Adj:	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01	1.01
Initial Bse:	12	813	180	38	504	7	63	50	49	108	22	64
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	12	813	180	38	504	7	63	50	49	108	22	64
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	12	813	180	38	504	7	63	50	49	108	22	64
PCE Adj:	2.00	1.00	1.00	4.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Final Volume:	24	813	180	154	504	7	63	50	49	108	22	64

Saturation Flow Module:

Sat/Lane:	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	0.02	1.63	0.35	0.18	1.80	0.02	0.39	0.31	0.30	0.56	0.11	0.33
Final Sat.:	37	2432	531	266	2702	32	585	462	453	836	172	492

Capacity Analysis Module:

Vol/Sat:	0.33	0.33	0.34	0.14	0.19	0.22	0.11	0.11	0.11	0.13	0.13	0.13
Crit Volume:	509			38			161			108		
Crit Moves:	****			****			****			****		

\*\*\*\*\*

Redlands Park Once Parking Structure  
 Future Without Project (2016) - AM Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9001 Eureka St. / Stuart Ave.  
 \*\*\*\*\*

Cycle (sec): 100 Critical Vol./Cap.(X): 0.311  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 27 Level Of Service: A  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Protected			Protected			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	1	0	1	1	0	1	0	0	1	0	0	1

Volume Module:

Base Vol:	13	106	8	13	629	46	24	14	4	4	15	2
Growth Adj:	1.31	1.23	1.98	1.44	1.08	1.06	1.18	1.43	1.51	2.05	1.29	1.70
Initial Bse:	17	130	16	19	678	49	28	20	6	8	19	3
Added Vol:	0	0	0	0	0	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	17	130	16	19	678	49	28	20	6	8	19	3
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	17	130	16	19	678	49	28	20	6	8	19	3
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	17	130	16	19	678	49	28	20	6	8	19	3
PCE Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	17	130	16	19	678	49	28	20	6	8	19	3

Saturation Flow Module:

Sat/Lane:	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	1.00	1.78	0.22	1.00	1.87	0.13	0.52	0.37	0.11	0.26	0.63	0.11
Final Sat.:	1425	2541	309	1425	2659	191	742	525	158	378	891	157

Capacity Analysis Module:

Vol/Sat:	0.01	0.05	0.05	0.01	0.25	0.25	0.04	0.04	0.04	0.02	0.02	0.02
Crit Volume:	17					363			54	8		
Crit Moves:	****					****			****	****		

\*\*\*\*\*

Redlands Park Once Parking Structure  
 Future Without Project (2016) - PM Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9001 Eureka St. / Stuart Ave.  
 \*\*\*\*\*

Cycle (sec): 100 Critical Vol./Cap.(X): 0.323  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 27 Level Of Service: A  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Protected			Protected			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	1	0	1	1	0	1	0	0	1	0	0	1

Volume Module: >> Count Date: 13 May 2009 <<

Base Vol:	9	255	62	50	579	22	13	20	14	16	11	8
Growth Adj:	1.81	1.14	1.27	1.51	1.12	1.22	1.62	1.55	1.61	1.86	1.81	1.84
Initial Bse:	16	292	79	75	651	27	21	31	23	30	20	15
Added Vol:	0	0	0	0	0	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	16	292	79	75	651	27	21	31	23	30	20	15
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	16	292	79	75	651	27	21	31	23	30	20	15
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	16	292	79	75	651	27	21	31	23	30	20	15
PCE Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	16	292	79	75	651	27	21	31	23	30	20	15

Saturation Flow Module:

Sat/Lane:	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	1.00	1.57	0.43	1.00	1.92	0.08	0.28	0.42	0.30	0.46	0.31	0.23
Final Sat.:	1425	2244	606	1425	2737	113	402	592	431	659	441	326

Capacity Analysis Module:

Vol/Sat:	0.01	0.13	0.13	0.05	0.24	0.24	0.05	0.05	0.05	0.05	0.05	0.05
Crit Volume:	16					339			75	30		
Crit Moves:	****					****			****	****		

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Redlands Park Once Parking Structure  
 Future Without Project (2016) - AM Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9002 Orange St. / Stuart Ave.  
 \*\*\*\*\*

Cycle (sec): 1 Critical Vol./Cap.(X): 0.322  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 1 Level Of Service: A  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Permitted			Permitted			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	0	1	0	1	0	0	0	0	1	0	0	1

Volume Module:

Base Vol:	8	670	54	10	408	13	7	9	8	38	7	20
Growth Adj:	1.76	1.06	1.03	1.03	1.04	1.44	2.19	1.03	1.51	1.03	1.04	1.03
Initial Bse:	14	709	56	10	425	19	15	9	12	39	7	21
Added Vol:	0	0	0	0	0	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	14	709	56	10	425	19	15	9	12	39	7	21
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	14	709	56	10	425	19	15	9	12	39	7	21
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	14	709	56	10	425	19	15	9	12	39	7	21
PCE Adj:	2.00	1.00	1.00	4.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	28	709	56	41	425	19	15	9	12	39	7	21

Saturation Flow Module:

Sat/Lane:	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	0.04	1.82	0.14	0.05	1.87	0.08	0.42	0.25	0.33	0.58	0.11	0.31
Final Sat.:	55	2734	210	73	2811	116	627	379	494	876	163	461

Capacity Analysis Module:

Vol/Sat:	0.25	0.26	0.26	0.14	0.15	0.16	0.02	0.02	0.02	0.04	0.04	0.04
Crit Volume:	396			10			37			39		
Crit Moves:	****			****			****			****		

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Redlands Park Once Parking Structure  
 Future Without Project (2016) - PM Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9002 Orange St. / Stuart Ave.  
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Cycle (sec): 37 Critical Vol./Cap.(X): 0.616  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 37 Level Of Service: B  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Permitted			Permitted			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	0	1	0	1	0	0	0	0	1	0	0	1

Volume Module: >> Count Date: 13 May 2009 <<

Base Vol:	12	813	180	38	504	7	63	50	49	108	22	64
Growth Adj:	1.96	1.06	1.03	1.03	1.04	2.28	1.62	1.03	1.44	1.03	1.03	1.03
Initial Bse:	23	865	186	39	522	16	102	52	71	112	23	66
Added Vol:	0	0	0	0	0	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	23	865	186	39	522	16	102	52	71	112	23	66
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	23	865	186	39	522	16	102	52	71	112	23	66
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	23	865	186	39	522	16	102	52	71	112	23	66
PCE Adj:	2.00	1.00	1.00	4.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	47	865	186	157	522	16	102	52	71	112	23	66

Saturation Flow Module:

Sat/Lane:	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	0.04	1.62	0.34	0.17	1.78	0.05	0.46	0.23	0.31	0.56	0.11	0.33
Final Sat.:	67	2424	509	255	2676	69	683	345	472	836	170	494

Capacity Analysis Module:

Vol/Sat:	0.35	0.36	0.37	0.15	0.20	0.23	0.15	0.15	0.15	0.13	0.13	0.13
Crit Volume:	549			39			224			112		
Crit Moves:	****			****			****			****		

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Redlands Park Once Parking Structure  
 Future With Project (Year 2016) - A.M Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9001 Eureka St. / Stuart Ave.  
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Cycle (sec): 100 Critical Vol./Cap.(X): 0.333  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 28 Level Of Service: A  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Protected			Protected			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	1	0	1	1	0	1	0	0	1	0	0	1

Volume Module:

Base Vol:	13	106	8	13	629	46	24	14	4	4	15	2
Growth Adj:	1.31	1.23	1.98	1.44	1.08	1.06	1.18	1.43	1.51	2.05	1.29	1.70
Initial Bse:	17	130	16	19	678	49	28	20	6	8	19	3
Added Vol:	0	0	30	20	0	0	0	18	0	14	8	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	17	130	46	39	678	49	28	38	6	22	27	3
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	17	130	46	39	678	49	28	38	6	22	27	3
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	17	130	46	39	678	49	28	38	6	22	27	3
PCE Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	17	130	46	39	678	49	28	38	6	22	27	3

Saturation Flow Module:

Sat/Lane:	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	1.00	1.48	0.52	1.00	1.87	0.13	0.39	0.53	0.08	0.42	0.52	0.06
Final Sat.:	1425	2109	741	1425	2659	191	558	749	119	597	736	92

Capacity Analysis Module:

Vol/Sat:	0.01	0.06	0.06	0.03	0.25	0.25	0.05	0.05	0.05	0.04	0.04	0.04
Crit Volume:	17					363			72	22		
Crit Moves:	****					****			****	****		

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Redlands Park Once Parking Structure  
 Future With Project (Year 2016) - P.M Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

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Intersection #9001 Eureka St. / Stuart Ave.

\*\*\*\*\*

Cycle (sec): 100 Critical Vol./Cap.(X): 0.344  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 28 Level Of Service: A

\*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Protected			Protected			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	1	0	1	1	1	0	0	0	1	0	0	1

Volume Module: >> Count Date: 13 May 2009 <<

Base Vol:	9	255	62	50	579	22	13	20	14	16	11	8
Growth Adj:	1.81	1.14	1.27	1.51	1.12	1.22	1.62	1.55	1.61	1.86	1.81	1.84
Initial Bse:	16	292	79	75	651	27	21	31	23	30	20	15
Added Vol:	0	0	9	7	0	0	0	5	0	26	16	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	16	292	88	82	651	27	21	36	23	56	36	15
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	16	292	88	82	651	27	21	36	23	56	36	15
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	16	292	88	82	651	27	21	36	23	56	36	15
PCE Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	16	292	88	82	651	27	21	36	23	56	36	15

Saturation Flow Module:

Sat/Lane:	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425	1425
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	1.00	1.54	0.46	1.00	1.92	0.08	0.26	0.46	0.28	0.52	0.34	0.14
Final Sat.:	1425	2191	659	1425	2737	113	377	644	404	747	481	197

Capacity Analysis Module:

Vol/Sat:	0.01	0.13	0.13	0.06	0.24	0.24	0.06	0.06	0.06	0.07	0.07	0.07
Crit Volume:	16					339		80		56		
Crit Moves:	****					****		****		****		

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Redlands Park Once Parking Structure  
 Future With Project (Year 2016) - A.M Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9002 Orange St. / Stuart Ave.  
 \*\*\*\*\*

Cycle (sec): 21 Critical Vol./Cap. (X): 0.420  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 25 Level Of Service: A  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Permitted			Permitted			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	0	1	0	1	0	0	0	0	1	0	0	1

Volume Module:

Base Vol:	8	670	54	10	408	13	7	9	8	38	7	20
Growth Adj:	1.76	1.06	1.03	1.03	1.04	1.44	2.19	1.03	1.51	1.03	1.04	1.03
Initial Bse:	14	709	56	10	425	19	15	9	12	39	7	21
Added Vol:	70	0	0	0	0	87	51	0	27	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	84	709	56	10	425	106	66	9	39	39	7	21
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	84	709	56	10	425	106	66	9	39	39	7	21
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	84	709	56	10	425	106	66	9	39	39	7	21
PCE Adj:	2.00	1.00	1.00	4.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	168	709	56	41	425	106	66	9	39	39	7	21

Saturation Flow Module:

Sat/Lane:	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	0.22	1.66	0.12	0.04	1.59	0.37	0.58	0.08	0.34	0.58	0.11	0.31
Final Sat.:	330	2491	179	61	2384	555	868	121	511	876	163	461

Capacity Analysis Module:

Vol/Sat:	0.25	0.28	0.31	0.17	0.18	0.19	0.08	0.08	0.08	0.04	0.04	0.04
Crit Volume:			466	10					115	39		
Crit Moves:			****	****					****	****		

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Redlands Park Once Parking Structure  
 Future With Project (Year 2016) - P.M Peak

Level Of Service Computation Report  
 Circular 212 Planning Method (Future Volume Alternative)

\*\*\*\*\*  
 Intersection #9002 Orange St. / Stuart Ave.  
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Cycle (sec): 37 Critical Vol./Cap. (X): 0.733  
 Loss Time (sec): 0 Average Delay (sec/veh): xxxxxx  
 Optimal Cycle: 54 Level Of Service: C  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Permitted			Permitted			Permitted			Permitted		
Rights:	Include			Include			Include			Include		
Min. Green:	0	0	0	0	0	0	0	0	0	0	0	0
Y+R:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Lanes:	0	1	0	1	0	0	0	0	1	0	0	1

Volume Module: >> Count Date: 13 May 2009 <<

Base Vol:	12	813	180	38	504	7	63	50	49	108	22	64
Growth Adj:	1.96	1.06	1.03	1.03	1.04	2.28	1.62	1.03	1.44	1.03	1.03	1.03
Initial Bse:	23	865	186	39	522	16	102	52	71	112	23	66
Added Vol:	20	0	0	0	0	26	91	0	64	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	43	865	186	39	522	42	193	52	135	112	23	66
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	43	865	186	39	522	42	193	52	135	112	23	66
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	43	865	186	39	522	42	193	52	135	112	23	66
PCE Adj:	2.00	1.00	1.00	4.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	87	865	186	157	522	42	193	52	135	112	23	66

Saturation Flow Module:

Sat/Lane:	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500
Adjustment:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lanes:	0.08	1.59	0.33	0.16	1.72	0.12	0.51	0.14	0.35	0.56	0.11	0.33
Final Sat.:	124	2385	491	242	2583	175	764	204	532	836	170	494

Capacity Analysis Module:

Vol/Sat:	0.35	0.36	0.38	0.16	0.20	0.24	0.25	0.25	0.25	0.13	0.13	0.13
Crit Volume:	569			39			379			112		
Crit Moves:	****			****			****			****		

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Redlands Park Once Parking Structure
Future With Project (Year 2016) - A.M Peak
Driveway Analysis

Level Of Service Computation Report

2000 HCM Unsignalized Method (Base Volume Alternative)

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Intersection #1239 Redlands Parking Once Garage Driveway
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Average Delay (sec/veh): 5.2 Worst Case Level Of Service: A[ 9.7]

\*\*\*\*\*

Table with columns: Approach, Movement, Control, Rights, Lanes. Rows include North Bound, South Bound, East Bound, West Bound with sub-columns L, T, R.

Volume Module: Table with columns for Base Vol, Growth Adj, Initial Bse, User Adj, PHF Adj, PHF Volume, Reduct Vol, Final Volume. Rows include North Bound, South Bound, East Bound, West Bound.

Critical Gap Module: Table with columns for Critical Gp, FollowUpTim. Rows include North Bound, South Bound, East Bound, West Bound.

Capacity Module: Table with columns for Cnflct Vol, Potent Cap., Move Cap., Volume/Cap. Rows include North Bound, South Bound, East Bound, West Bound.

Level of Service Module: Table with columns for 2Way95thQ, Control Del, LOS by Move, Movement, Shared Cap., Shared Queue, Shrd ConDel, Shared LOS, ApproachDel, ApproachLOS. Rows include North Bound, South Bound, East Bound, West Bound.

Note: Queue reported is the number of cars per lane.
\*\*\*\*\*

Redlands Park Once Parking Structure  
 Future With Project (Year 2016) - P.M Peak  
 Driveway Analysis

Level of Service Computation Report  
 2000 HCM Unsignalized Method (Base Volume Alternative)

\*\*\*\*\*  
 Intersection #1239 Redlands Parking Once Garage Driveway  
 \*\*\*\*\*

Average Delay (sec/veh): 4.9 Worst Case Level Of Service: B [ 10.9]  
 \*\*\*\*\*

Approach:	North Bound			South Bound			East Bound			West Bound		
Movement:	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Stop Sign			Stop Sign			Uncontrolled			Uncontrolled		
Rights:	Include			Include			Include			Include		
Lanes:	0	0	1	0	0	0	0	0	0	0	0	0

Volume Module:

Base Vol:	42	0	155	0	0	0	0	184	22	45	63	0
Growth Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Initial Bse:	42	0	155	0	0	0	0	184	22	45	63	0
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	42	0	155	0	0	0	0	184	22	45	63	0
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
FinalVolume:	42	0	155	0	0	0	0	184	22	45	63	0

Critical Gap Module:

Critical Gp:	6.4	6.5	6.2	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	4.1	xxxxx	xxxxx
FollowUpTim:	3.5	4.0	3.3	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	2.2	xxxxx	xxxxx

Capacity Module:

Cnflict Vol:	337	337	184	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	206	xxxxx	xxxxx
Potent Cap.:	663	587	864	xxxxx	xxxxx	xxxxxx	xxxxx	xxxxx	xxxxxx	1377	xxxxx	xxxxxx
Move Cap.:	646	568	864	xxxxx	xxxxx	xxxxxx	xxxxx	xxxxx	xxxxxx	1377	xxxxx	xxxxxx
Volume/Cap:	0.07	0.00	0.18	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	xxxxx	0.03	xxxxx	xxxxx

Level of Service Module:

2Way95thQ:	xxxxx	xxxxx	xxxxxx	xxxxx	xxxxx	xxxxxx	xxxxx	xxxxx	xxxxxx	0.1	xxxxx	xxxxxx
Control Del:	xxxxxx	xxxxx	xxxxxx	xxxxxx	xxxxx	xxxxxx	xxxxxx	xxxxx	xxxxxx	7.7	xxxxx	xxxxxx
LOS by Move:	*	*	*	*	*	*	*	*	*	A	*	*
Movement:	LT	LTR	RT	LT	LTR	RT	LT	LTR	RT	LT	LTR	RT
Shared Cap.:	xxxxx	806	xxxxxx	xxxxx	xxxxx	xxxxxx	xxxxx	xxxxx	xxxxxx	xxxxx	xxxxx	xxxxxx
SharedQueue:	xxxxxx	1.0	xxxxxx	xxxxxx	xxxxx	xxxxxx	xxxxxx	xxxxx	xxxxxx	xxxxxx	xxxxx	xxxxxx
Shrd ConDel:	xxxxxx	10.9	xxxxxx	xxxxxx	xxxxx	xxxxxx	xxxxxx	xxxxx	xxxxxx	xxxxxx	xxxxx	xxxxxx
Shared LOS:	*	B	*	*	*	*	*	*	*	*	*	*
ApproachDel:		10.9		xxxxxxx			xxxxxxx			xxxxxxx		
ApproachLOS:		B		*			*			*		

\*\*\*\*\*  
 Note: Queue reported is the number of cars per lane.  
 \*\*\*\*\*



# **APPENDIX J**

## **City of Redlands / San Bernardino Associated Governments Cooperative Agreement**



SANBAG CONTRACT NO: 97-026

by and between

**San Bernardino Associated Governments**

and

**City of Redlands**

for

Redlands Station Street Improvements

FOR ACCOUNTING PURPOSES	
<input checked="" type="checkbox"/>	Payable OR Vendor Contract No. <u>97-026</u>
	Receivable
Task Number <u>9735255</u> Cost Code <u>55/5011</u> New Contract/Amendment Amount: \$ <u>1,000,000</u> for a total amount of \$ <u>1,000,000</u>	
Funding Source(s) <u>1. Measure I - Major Projects</u> \$ <u>1,000,000</u> <u>2.</u> \$ _____ <u>3. <i>Overide</i></u> \$ _____ <u>4.</u> \$ _____	
Contract SANBAG Approval Date <u>10/2/96</u> Contract Effective Date <u>2/5/97</u> Contract Ending Date _____	
If this is a multi-year contract, please allocate contract costs among fiscal years: Fiscal Year 97                      Fiscal Year 9_                      Fiscal Year 9_ \$ <u>1,000,000</u> \$ _____                      \$ _____	
Is this consistent with the adopted budget? _ If no, is budget amendment attached? <u>Y</u> Please check if the following apply:	
<input checked="" type="checkbox"/>	Intergovernmental OR
	Private
	Local (50% or more of the work is performed in San Bernardino County)
	DBE/WBE/DVBE ___ %                      If 1099 required, Fed ID/SSN# _____
Contract Manager <u>Mike Bair</u>	

*3/25/97  
UCB*

*A full copy of this contract must be delivered to the receptionist at the front desk by the close of business on the Friday prior to the Board Meeting.*

## COOPERATIVE AGREEMENT

This agreement (hereinafter "Agreement") is made and entered into this 1st day of October, 1996 ( the "Effective Date") by and between the San Bernardino Associated Governments ("SANBAG") and the City of Redlands, a municipal corporation ("City"), together which are sometimes referred to herein as the "Parties." SANBAG and City hereby agree on the following terms and conditions.

02-05-97P03:51 RCVD

### I.

#### DEFINITIONS

1.01 Definitions. As used in this Agreement, the following terms, phrases, words and their derivations shall have the meanings set forth herein. Words used in the present tense shall include the future tense, words used in the singular shall include the plural, and plural words shall include the singular tense. Words not specifically defined in this Agreement shall be given their common and ordinary meanings.

a. "Non-operating Property" shall mean the real property consisting of parking lots and other parking facilities as may be necessary for the operation of the Passenger Rail Station.

b. "Operating Hours" shall mean that time period commencing one (1) hour prior to the arrival of the first morning train at the Passenger Rail Terminal, and ending one (1) hour after the departure of the last evening train from the Passenger Rail Terminal.

c. "Operating Property" shall mean that real property comprising the Station Site and the railroad trackage right-of-way acquired by SANBAG.

d. "Passenger Rail Station" shall mean the Passenger Rail Terminal and all Operating

and Non-operating properties associated therewith.

e. "Passenger Rail Terminal" shall mean the platform and other improvements constructed on the Station Site for the Passenger Rail Station.

f. "Station Site" shall mean the real property upon which the Passenger Rail Terminal shall be built.

g. "Road" shall mean City's Eureka Street Widening Project as described in Exhibit "A."

II.

PURPOSE OF COOPERATIVE AGREEMENT

2.01 Design and Construction of Passenger Rail Station. The purpose of this Agreement is to facilitate the design and construction, maintenance and security for a Passenger Rail Station and construction of the Road.

III.

OWNERSHIP OF STATION SITE

3.01 Vesting of Title. Title to the Passenger Rail Terminal and Station Site shall be and remain vested in SANBAG. City and/or third parties under contract with City shall hold title to all Non-operating Property. City shall hold title to the Road.

VI.

TERM OF AGREEMENT

4.01 Term. The term of this Agreement shall commence on the Effective Date of this

Agreement, and shall continue until terminated as provided for in Article XI of this Agreement.

V.

RESPONSIBILITIES OF CITY

5.01 Planning, Zoning and Permits. City shall use its best efforts to obtain all planning, zoning and permits to secure appropriate land-use designations and approvals for the Passenger Rail Terminal and Station Site.

5.02 Reservation of Passenger Rail Parking. City shall perform appropriate planning, zoning and permit activities to ensure that parking for the Passenger Rail Station is reserved exclusively for rail commuters during Operating Hours.

5.03 Parking Fees. City may, subject to the approval of SANBAG which shall not be unreasonably withheld, charge parking fees to:

- a. Defray the costs of permits and approvals;
- b. Maintain the Passenger Rail Station and Non-operating Property; and
- c. Provide security for Passenger Rail Station patrons during Operating Hours.

All such fees collected by City shall remain the sole property of City, subject only to the limitations set forth above.

5.04 Maintenance of Station Site. City shall provide for all maintenance of the Passenger Rail Terminal and Station Site. SANBAG shall pay all of City's costs for such maintenance and shall provide utility services (ie. gas, water and electricity) for the Passenger Rail Terminal and Station Site for the initial two (2) year period following the commencement of passenger rail service from the Station Site. Upon the termination of the two-year period following commencement of

service, City shall assume full responsibility for the cost of maintaining the Passenger Rail Terminal and Station Site and shall provide utility services (ie. gas, water and electricity) to the Passenger Rail Terminal and Station Site. City's maintenance obligations under this Agreement shall not, however, extend to track maintenance. "Level of effort" and other standards to determine minimum maintenance requirements shall be developed jointly between the Parties. In the event City is unable to meet such mutually agreed "level of effort" standards, either party may terminate this Agreement in accordance with Article XI.

5.05 Security. City shall provide and SANBAG shall pay all costs for security of the Passenger Rail Terminal and Station Site for the initial two (2) year period following the commencement of passenger rail service from the Station Site. Following the termination of the initial two-year period following commencement of service, City shall assume full responsibility for the funding of security at the Passenger Rail Terminal and Station Site. "Level of effort" and other standards to determine minimum security requirements shall be developed jointly between the Parties. In the event City is unable to meet such mutually agreed "level of effort" standards, either party may terminate this Agreement in accordance with Article XI.

5.06 Road Widening. City shall be responsible for the acquisition of all real property, and shall perform engineering and design work, and conduct all necessary environmental reviews and remediation (if necessary), to widen the Road in accordance with City's approved plans and specifications for its "Eureka Street Widening" project; provided, however, that in the event eminent domain proceedings are necessary to acquire all or a portion of the property necessary for the project, City's failure to adopt any resolution of necessity will not result in a breach of this Agreement.

5.07 Provision of Parking Spaces. City shall make available for use, by persons using the

Passenger Rail Station, three hundred (300) parking spaces; two hundred (200) of which shall be located within one-quarter mile of the Passenger Rail Terminal and one hundred (100) of which shall be located within one-quarter mile of a future passenger rail terminal to serve the University of Redlands area. City shall be responsible for providing, or for ensuring the provision of, maintenance and security for the parking spaces.

5.08 Construction of Passenger Rail Station. City shall cause the construction of the Passenger Rail Station and any associated parking lot and City shall perform the construction and engineering oversight during the construction of the Passenger Rail Station and any parking lot pursuant to the plans and specifications approved pursuant to Section 6.02, below. City shall contribute the sum of five hundred thousand dollars (\$500,000) toward funding of the construction of the Passenger Rail Terminal upon commencement of such construction.

## VI.

### RESPONSIBILITIES OF SANBAG

6.01 Payment of Maintenance and Security Costs. SANBAG shall pay for all security costs and maintenance costs incurred by City pursuant to paragraphs 5.04 and 5.05, above, for the Passenger Rail Terminal and Station Site for two (2) years following commencement of passenger rail service from the Station Site. After the expiration of the two year period, City shall pay for all security and maintenance costs for the Passenger Rail Terminal and Station Site. "Level of effort" and other standards to determine minimum security and maintenance shall be developed jointly by the Parties.

6.02 Design and Engineering for Station Site. SANBAG shall fund the design and engineering of the Passenger Rail Terminal and Station Site and the Parties shall cause complete plans and specifications complying with all applicable federal and state laws to be prepared for the same. However, no such plans or specifications shall be executed or accepted until approved by the Parties.

6.03 Funding. SANBAG shall be responsible for funding of the construction of the Passenger Rail Terminal with the financial contribution from City made pursuant to Section 5.08, above.

6.04 Contribution of Funds. SANBAG shall pay to City the sum of one million dollars (\$1,000,000) to be used by City to defray the costs incurred by City in carrying out its "Eureka Street Widening" project. Payment of such funds shall be made to City as follows: (1) five hundred thousand dollars (\$500,000) on January 2, 1997, and (2) five hundred thousand dollars (\$500,000) on March 3, 1997. Payment to City is contingent on City's commencement of construction for its "Eureka Street Widening" project.

6.05 Assignment to the SCRRA. The Parties acknowledge and agree that at some future date, SANBAG may assign its rights, interests and obligations under this Agreement to the SCRRA.

## VII.

### FISCAL YEAR

7.01 Fiscal Year. The fiscal year of this Agreement shall commence on the first day of July each year.

VIII.

ACCOUNTING

8.01 Accounting. City shall submit monthly billing statements and invoices to SANBAG with regard to the activities undertaken or conducted by City pursuant to this Agreement, and City shall be paid by SANBAG within thirty (30) days from the date of invoice. City shall make its accounting books and records available to SANBAG during City's business hours, during the term of this Agreement, upon reasonable prior written notice from SANBAG.

IX.

NOTICES

9.01 Notices to Parties. Any and all notices or communications required or permitted by this Agreement or by law to be delivered to, served on, or given to either party by the other shall be in writing and shall be deemed properly delivered, served or given to the party directed to, in lieu of personal service, when deposited in the United States mail, first-class postage prepaid, and addressed:

SANBAG

San Bernardino Associated Governments

475 North Arrowhead Avenue

San Bernardino, CA 92401

CITY

City of Redlands

35 Cajon Street

Redlands, CA 92373

Either party may change its mailing address for the purposes of this Agreement by giving written notice of the same in accordance with the provisions of this paragraph.

X.



## MISCELLANEOUS

10.01 Consent and Agreements. Any and all consents and agreements provided for or permitted by this Agreement shall be in writing, and a signed copy thereof shall be filed and kept with this Agreement.

10.02 Entire Agreement. This instrument contains the entire agreement of the Parties as to the matters described herein and correctly sets forth the rights, duties and obligations of each party to the other as of the date of this Agreement. Any and all prior agreements, policies, negotiations and/or representations of the Parties as to the matters described herein are expressly set forth and incorporated in this Agreement.

10.03 Amendments. This Agreement shall be amended only by written instrument, executed by the Parties.

10.04 Severability. In the event any one or more provisions contained in this Agreement shall for any reason be held invalid or illegal, or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provisions hereof; and this Agreement shall be construed as if such invalid, illegal or unenforceable provisions had never been contained herein.

10.05 Headings and Subtitles. Heading and subtitles of this Agreement have been used for convenience only and do not constitute matter to be considered in interpreting this Agreement.

10.06 Attorneys' fees. In the event any action is commenced to enforce or interpret the terms or conditions of this Agreement the prevailing party shall, in addition to any costs and other relief, be entitled to recover its reasonable attorneys' fees. "Prevailing party" shall be the party who obtains substantially all the relief sought by it, regardless of whether final court judgment is entered.

10.07 Indemnity. The Parties shall each defend, indemnify and hold harmless the other

party, and its elected officials, officers, employees, volunteers and authorized agents from and against any and all claims, losses, damages and causes of action (including personal injury and death) arising from or resulting in connection with the party's negligent or wrongful acts, errors or omissions in carrying out the party's duties or obligations under this Agreement and from any and all expenses incurred by the other party on account of any claim therefor.

10.08 Jurisdiction and Venue. In the event of any litigation arising out of the terms or conditions of this Agreement, the venue of any such litigation shall be the Superior Court of the State of California.

## XI.

### TERMINATION OF AGREEMENT

11.01 Acts Constituting Termination. This Agreement shall commence on the date of its execution and shall continue until:

- a. Voluntary or involuntary transfer or assignment by either party without the consent of the other party of any of the rights, duties or obligations set forth in this Agreement;
- b. Mutual agreement of the Parties to terminate this Agreement;
- c. Any default or breach of this Agreement by either party which has not been cured within thirty (30) days after notice of such default or breach by the other party or such later time as mutually agreed upon by the Parties as reasonable if the default or breach cannot be cured within such thirty (30) days period; or
- d. Written notice is delivered by either party to the other party ninety (90) days prior to the effective date of termination.

XII.

LICENSE

12.01 License. SANBAG hereby grants to City a license to enter upon the Station Site and perform, through its employees and/or its agents and contractors, City's construction of the Passenger Rail Terminal, and City's maintenance and security obligations for the Passenger Rail Terminal.

XIII.

ACCEPTANCE

13.01 Acceptance of Agreement. The undersigned, having read the foregoing, accept and agree to the terms and conditions set forth therein.

DATED: 2-5-97

SANBAG

By: *Jim Mikel*  
President

DATED: January 28, 1997

CITY OF REDLANDS

By: *Aaron Larson*  
Mayor

ATTEST:

By: *Quinn Cyzer*  
City Clerk



# **APPENDIX K**

## **Real Property License Agreement**



## REAL PROPERTY LICENSE AGREEMENT

**THIS LICENSE AGREEMENT** (the "License") is made and entered into effective November 6, 2007 (the "Effective Date") by and between the REDEVELOPMENT AGENCY OF THE CITY OF REDLANDS, a public body, corporate and politic, (hereinafter referred to as "LICENSOR") and, William and Crystal Wyatt, husband and wife, (hereinafter referred to as "LICENSEE"). LICENSOR and LICENSEE are sometimes herein individually referred to as a "Party" or, together, as the "Parties".

### WITNESSETH:

WHEREAS, on May 18, 2004, LICENSOR purchased that certain real property located in the City of Redlands, California commonly known as 31 West Stuart Avenue, identified as Assessor's Parcel Number ("APN") 0169-281-19 (the "Premises"); and

WHEREAS, LICENSEE has requested LICENSOR to allow LICENSEE to occupy the Premises as a tenant for a term of six (6) months with one (1) option to extend the term for an additional six months in order to provide LICENSEE storage space of LICENSEE'S personal property pursuant to the terms and conditions of this License; and

WHEREAS, LICENSOR acknowledges that LICENSEE is husband and wife doing business as Wyatt Video located in Running Springs and Redlands, California; and

WHEREAS, LICENSOR acknowledges that LICENSEE's primary business is to provide off-site audio visual services at live events for corporate shows, gala events, etc. and does not produce studio-based videos (the "LICENSEE'S Primary Business Activities").

NOW, THEREFORE, in consideration of the mutual promises contained herein, the Parties agree as follows:

1. **License.** LICENSOR hereby agrees to rent to LICENSEE and LICENSEE agrees to rent from LICENSOR the herein-described Premises. Said License is subject to the terms, covenants and conditions hereinafter set forth and LICENSEE covenants, as a material part of the consideration for this License, to keep and perform each and every term, covenant and condition of said License.
2. **Premises.** LICENSOR does hereby License to LICENSEE the Premises located at 31 West Stuart Avenue, Redlands, California 92373 (APN 0169-281-19) as specifically shown on the "Site Map" attached hereto as Exhibit "A" (the "Premises").
3. **Term.** This License shall commence on November 7, 2007 (the "Commencement Date"). The initial term of this License shall be November 7, 2007 to May 31, 2008 (the "Initial Term"). LICENSEE shall have one (1) option to extend the term for an additional six (6) months (the "Option Term") and thereafter may continue on a month-to-month tenancy basis subject to a thirty (30) day written termination notice by either Party as described herein (the "Holdover Term"). Collectively, the Initial Term, Option Term and Holdover Term shall be the "License Term." At the end of the Initial Term, in the event LICENSEE is not in default of this License, LICENSEE shall have one (1) option to extend the term for an additional six (6) months ("Option") so long as LICENSEE has provided LICENSOR written notice at least thirty (30)

days prior to the expiration of the Initial Term to exercise said Option. The period of June 1, 2008 to November 30, 2008 shall be the "Option Term", if it is exercised pursuant to the above described procedure.

Subsequent to the Initial Term and Option Term, LICENSOR or LICENSEE may terminate this License, without penalty upon thirty (30) calendar day's written notice to the other Party (the "Termination"). Upon termination of this License, LICENSEE shall quit the Premises, remove all of LICENSEE'S personal property and leave the same in a vacant broom clean condition.

4. **Personal Property.** LICENSEE and LICENSOR agree that all personal property on the Premises shall, during the term of this License, remain in the possession of LICENSEE. However, any non-hazardous personal property remaining on the Premises upon Termination (defined in Section 3 hereof) shall be deemed abandoned by LICENSEE and shall become the personal property of LICENSOR who may remove and dispose of said non-hazardous personal property without warranty to LICENSEE. Hazardous personal property on the Premises, if any, shall at all times remain the property of LICENSEE who is solely responsible for its removal from the Premises and legal disposal.

5. **License Fee Payment.** LICENSEE shall deposit with LICENSOR a "Security Deposit" in the amount of One Thousand Five Hundred Dollars (\$1,500) along with last month License fee in an amount One Thousand Five Hundred Dollars (\$1,500) which both shall be placed in the "Security Deposit Fund". LICENSOR is not obligated to earn interest on the Security Deposit Fund. Interest earned on the Security Deposit Fund, if any, shall be the property of LICENSOR. The first month's License fee shall be pro rated for the period of November 7<sup>th</sup> to November 30<sup>th</sup>, 2007 which shall be One Thousand Two Hundred Dollars (\$1,200). During the balance of the License Term, LICENSEE shall pay for the licensed Premises a monthly License fee payment in the amount of One Thousand Five Hundred Dollars (\$1,500) on the 1<sup>st</sup> day of each month in advance. If LICENSEE exercises the month-to-month tenancy, during the License Term, then the Licensee fee payment shall be increased by three (3%) percent every twelve (12) months commencing on the anniversary of the Commencement Date.

LICENSOR shall obtain and receive said License fee payment on the first date of each License fee payment period specified in this Section 5. Said License fee payments shall be paid to LICENSOR, without deduction or offset, in lawful money of the United States of America, at 210 Citrus Avenue, Redlands, California 92373. If LICENSEE selects Termination during either the Initial Term or Option Term, the remaining portion of the License fee payment for that term, if any, shall be due and payable to the LICENSOR within ten (10) calendar days of the Termination.

If upon Termination, LICENSEE abandons any of its non-hazardous personal property, said non-hazardous personal property shall become the personal property of the LICENSOR who may remove and dispose of said non-hazardous personal property without warranty to LICENSEE. In this event, LICENSOR shall charge the Security Deposit Fund the actual reasonable costs of such removal and disposal as well as any other actual reasonable expenses that are the responsibility of the LICENSEE that are unpaid at the time of the Termination. Other expenses may include, but are not limited to unpaid utility bills. If subsequent to paying all such costs there remains a

balance in the Security Deposit Fund, such remaining balance, if any, shall be refunded to LICENSEE within ten (10) calendar days of the final accounting of such costs, but in no event later than thirty (30) days after Termination.

6. **Use.** LICENSEE shall use the Premises for the administration and the storage of equipment and supplies related to LICENSEE'S Primary Business Activities and any lawful activities related thereto. LICENSEE shall not use the Premises for any other purpose without first obtaining written permission to do so from the LICENSOR'S Executive Director, or his designee. LICENSOR shall provide LICENSEE appropriate access to the Premises during the hours of 8:00 AM and 5:00 PM, Monday through Friday. LICENSEE shall not do or permit anything to be done in or about the Premises nor bring or keep anything therein which will in any way increase the existing rate of or affect any fire or other insurance upon the Premises or any of its contents, or cause cancellation of any insurance policy covering the Premises or part thereof or portion of its contents. LICENSEE shall not do or permit anything to be done in or about the Premises which will in any way obstruct or interfere with the rights of LICENSOR or other parties who may have a rightful interest in the Premises or injure or annoy them or use or allow or permit the Premises to be used for any improper, immoral, unlawful or objectionable purpose. Nor shall LICENSEE cause, maintain or permit any nuisance in or about the Premises. LICENSEE shall not commit or suffer to be committed any waste in or upon the Premises.

7. **Compliance with Law.**

A. LICENSEE shall not use the Premises or permit anything to be done in or about the Premises which will in any way conflict with any law, statute, ordinance or other governmental rule or regulation now in force or which may hereinafter be enacted or promulgated. LICENSEE shall, at LICENSEE'S sole cost and expense, promptly comply with all laws, statutes, ordinances and other governmental rules, regulations or requirements now in force or which may hereinafter be enacted or promulgated during the License Term, and with the requirements of any board of fire insurance underwriters of other similar bodies now or hereafter constituted during the License Term, relating to, or affecting the condition, use or occupancy of the Premises by LICENSEE. The judgment of a court of competent jurisdiction or the admission by LICENSEE in any action against LICENSEE, whether LICENSOR be a party thereto or not, that LICENSEE has violated any law, statute, ordinance or any other governmental rule or regulation shall be conclusive of that fact as between LICENSOR and LICENSEE.

B. There shall be no discrimination against or segregation of any person or group of persons, on account of race, color, creed, religion, sex, marital status, national origin, or ancestry, in the use, occupancy, tenure, or enjoyment of the Premises herein Licensed nor shall the LICENSEE, or any person claiming under or through him or her, establish or permit any such practice or practices of discrimination or segregation with reference to the selection, location, number, use, or occupancy of licensees, lessees, sublessees, sublicensees, or vendees in the Premises herein Licensed.

8. **Alterations and Additions.** LICENSEE shall not make or suffer to be made any alterations, additions or improvements in or to or about the Premises or any part thereof without the prior written consent of LICENSOR. In the event LICENSOR consents to the making of any alterations, additions or improvements to the Premises by LICENSEE, the same shall be made by

LICENSEE at LICENSEE's sole cost and expense, and any contractor or person selected by LICENSEE to make the same must first be approved of, in writing, by LICENSOR, which approval shall not be unreasonably withheld or delayed. Upon the termination of the term hereof, LICENSEE shall, upon written demand by LICENSOR given at least twenty (20) days prior to Termination, at LICENSEE's sole cost and expense, forthwith and with all due diligence remove any alterations, additions, or improvements made by LICENSEE, designated by LICENSOR to be removed, and LICENSEE shall, forthwith and with all due diligence at LICENSEE's sole cost and expense, repair any damage to the Premises caused by such removal.

**9. Physical Condition of Premises; Waiver.**

A. By taking possession of the Premises, LICENSEE shall be deemed to have accepted the Premises as being in an "AS IS, WHERE IS", condition and repair. Except as provided for herein, LICENSEE shall, at LICENSEE's sole cost and expense, keep the Premises and any part thereof in good condition and repair, reasonable wear and tear excepted. LICENSEE shall, upon the expiration or sooner termination of this License, surrender the Premises to LICENSOR in good condition, reasonable wear and tear excepted. Except as provided for herein, LICENSOR shall have no obligation whatsoever to alter, improve or repair the Premises, or any part thereof, and the Parties hereto affirm that LICENSOR has made no representations to LICENSEE respecting the condition of the Premises except as specifically set forth herein. LICENSEE further agrees that they shall submit to LICENSOR, prior to applying for any permits to renovate, reconstruct, improve, alter or in any way modify the Premises, plans and specifications for LICENSOR's prior written approval, which approval shall not be unreasonably withheld or delayed.

B. Except as set forth in this License, LICENSEE shall not be liable for any failure to make any repairs, or to perform any maintenance upon the Premises. Except as may otherwise be provided herein, there shall be no abatement of rent and no liability of LICENSOR by reason of any injury to or interference with LICENSEE's business arising from the making of any repairs, alterations or improvements in or to any portion of the Premises or in or to any fixtures, appurtenances and equipment therein. LICENSEE hereby specifically waives the right to make repairs at LICENSOR's expense under any law, statute or ordinance now or hereafter in effect.

C. Except as provided for herein, LICENSEE shall accept possession of the Premises, in an "AS IS, WHERE IS" physical condition with no warranty, express or implied, by LICENSOR as to the condition of the Premises.

D. LICENSEE shall defend, indemnify and hold harmless LICENSOR from and against any and all claims, losses, liabilities, damages, demands, actions, judgments, causes of action, assessments, penalties, costs and expenses (including without limitation, the reasonable fees and disbursements of legal counsel, expert witnesses and accountants) and all foreseeable and unforeseeable consequential damages which might arise or be asserted against LICENSOR as a result of a claimed violation by LICENSEE, of any and all present and future federal, state and local laws (whether under common law, statute, rule, regulation or otherwise), including, but not limited to, the Comprehensive Environmental Response, Compensation, and Liability Act of 1980 (CERCLA), 42 U.S.C. §§ 96601 through 96657, inclusive; Transportation of Hazardous Materials and Wastes (HMTA), 49 U.S.C. App. §§ 1801 through 1813, inclusive; the Federal



Resource Conservation and Recovery Act (RCRA), 42 U.S.C. §§ 6901 through 6992, inclusive; 40 C.F.R. Parts 260 through 271, inclusive; the California Hazardous Substance Account Act (HSAA), California Health and Safety Code §§ 25300 through 25395, inclusive; the California Hazardous Waste Control Act (HWCA), California Health and Safety Code §§ 25100 through 25249, inclusive; the Porter-Cologne Water Quality Control Act, California Water Code §§ 13000 through 13999.16, inclusive; and the Underground Storage Tank Act (USTA), California Health and Safety Code §§ 24280 through 24299.7, inclusive, all as the same may be amended from time to time, relating to the environment or to any hazardous substance, activity or material connected with the condition of the Premises, to the extent caused by LICENSEE's use and occupancy thereof during the term of this License.

LICENSOR shall defend, indemnify and hold harmless LICENSEE from and against any and all claims, losses, liabilities, damages, demands, actions, judgments, causes of action, assessments, penalties, costs and expenses (including without limitation, the reasonable fees and disbursements of legal counsel, expert witnesses and accountants) and all foreseeable and unforeseeable consequential damages which might arise or be asserted against LICENSEE as a result of a claimed violation by LICENSOR, of any and all present and future federal, state and local laws (whether under common law, statute, rule, regulation or otherwise), including, but not limited to, the Comprehensive Environmental Response, Compensation, and Liability Act of 1980 (CERCLA), 42 U.S.C. §§ 96601 through 96657, inclusive; Transportation of Hazardous Materials and Wastes (HMTA), 49 U.S.C. App. §§ 1801 through 1813, inclusive; the Federal Resource Conservation and Recovery Act (RCRA), 42 U.S.C. §§ 6901 through 6992, inclusive; 40 C.F.R. Parts 260 through 271, inclusive; the California Hazardous Substance Account Act (HSAA), California Health and Safety Code §§ 25300 through 25395, inclusive; the California Hazardous Waste Control Act (HWCA), California Health and Safety Code §§ 25100 through 25249, inclusive; the Porter-Cologne Water Quality Control Act, California Water Code §§ 13000 through 13999.16, inclusive; and the Underground Storage Tank Act (USTA), California Health and Safety Code §§ 24280 through 24299.7, inclusive, all as the same may be amended from time to time, relating to the environment or to any hazardous substance, activity or material connected with the condition of the Premises prior to and subsequent to the term of the License.

This environmental indemnity shall survive the expiration or termination of this License.

E. LICENSOR shall, upon request and at LICENSEE's cost, provide to LICENSEE copies of all reports, studies, surveys and other data and information on the Premises that is now available to LICENSOR. LICENSOR represents that it has no information disclosable pursuant to California Health and Safety Code § 25359.7(a).

**10. Claims Against Premises.** LICENSEE shall not suffer or permit to be enforced against the Premises, or any part thereof, any mechanic's, materialman's, contractor's or subcontractor's liens arising from, of any claim for any work of construction, repair, restoration, replacement or improvement of or to the Premises or any other claim or demand howsoever the same may arise, but LICENSEE shall pay or cause to be paid any and all such claims or demands before any action is brought to enforce the same against the Premises. LICENSEE shall defend, indemnify and hold LICENSOR and the Premises free and harmless of all liability for any and all such claims and demands, together with LICENSOR's reasonable attorneys' fees and all costs and expenses in connection therewith.

11. **Utilities.** LICENSEE shall pay the cost of any and all water, electrical, gas or other utility services delivered to the Premises during the term hereof and shall have such utilities installed and/or connected and maintained at LICENSEE's sole cost and expense.

12. **Taxes.** LICENSEE shall pay, or cause to be paid, before delinquency, any and all taxes levied or assessed for the License Term, and which become payable during the term hereof upon all of LICENSEE's possessory interest in and to the Premises, Licensehold improvements, equipment, furniture fixtures and personal property located in or about the Premises. LICENSEE agrees that, without prior demand or notice by LICENSOR, LICENSEE shall, not less than fifteen (15) days prior to the day upon which any such possessory interest or other such tax is due, provide LICENSOR with proof of payment of such tax.

13. **Rules and Regulations.** LICENSEE shall faithfully observe and comply with all the rules and regulations that reasonably relate to the use and occupancy of the Premises that LICENSOR shall from time to time promulgate, which LICENSEE shall be afforded proper notice of. LICENSOR reserves the right from time to time to make all reasonable modifications to said rules and regulations. The additions and modifications to those rules and regulations shall be binding upon LICENSEE upon delivery of a copy thereof to LICENSEE.

14. **Entry by LICENSOR.** LICENSEE hereby agrees that representatives of the LICENSOR have the right to enter the Premises at any time if LICENSOR in good faith believes it is necessary to inspect the same to determine if the same complies with each and every term and condition of this License and with all applicable City, County, State and Federal laws, rules, ordinances and regulations relating to building occupancy and the conduct of LICENSEE's business. To the extent possible, LICENSOR agrees to limit such entrance so as to minimize any interference with LICENSEE's business and to provide LICENSEE with twenty-four (24) hours advance notice thereof. LICENSOR shall indemnify, defend, and hold LICENSEE harmless from and against any claim for damages or for any injury and any loss occasioned thereby. For each of the aforesaid purposes, LICENSOR shall at all times have and retain a key with which to unlock all of the gates/doors in, upon and about the Premises, and LICENSOR shall have the right to use any and all means which LICENSOR may deem proper to open said gates/doors in an emergency, in order to obtain entry to the Premises without liability to LICENSEE except for any failure to exercise due care for LICENSEE's property. Any entry to the Premises obtained by LICENSOR by any of said reasons, or otherwise, shall not, under any circumstances, be construed or deemed to be a forcible or unlawful entry into, or a detainer of, the Premises, or an eviction of LICENSEE from the Premises or any portion thereof.

15. **Default.** The occurrence of any one or more of the following events shall constitute a default and breach of this License by LICENSEE:

- A. Vacating or abandonment of the Premises by LICENSEE;
- B. Use of the Premises not previously authorized by LICENSOR;
- C. The failure by LICENSEE to make any payment of rent or any other payment required to be made by LICENSEE hereunder, as and when due, where such failure shall

continue for a period of three (3) days after written notice thereof by LICENSOR to LICENSEE;

D. A failure by LICENSEE to observe or perform any of the covenants, conditions or provisions of this License to be observed or performed by LICENSEE, other than as described in subparagraph 15.C., above, where such failure shall continue for a period of twenty (20) days after written notice thereof by LICENSOR to LICENSEE; provided, however, that if the nature of the default involves such that more than thirty (30) days are reasonably required for its cure, then LICENSEE shall not be deemed to be in default if LICENSEE commences such cure within such thirty (30) day period and thereafter diligently prosecutes said cure to completion; or

E. The making by LICENSEE of any general assignment or general arrangement for the benefit of creditors, or the filing by or against LICENSEE of a petition to have LICENSEE adjudged a bankrupt, or a petition or reorganization or arrangement under any law relating to bankruptcy (unless, in the case of a petition filed against LICENSEE, the same is dismissed within sixty (60) days); or the appointment of a trustee or a receiver to take possession of substantially all of LICENSEE's assets located in or about the Premises or of LICENSEE's interest in this License, where possession is not restored to LICENSEE within thirty (30) days; or the attachment, execution or other judicial seizure of substantially all of LICENSEE's assets located in or about the premises or of LICENSEE's interest in this License, where such seizure is not discharged in thirty (30) days.

**16. Remedies in Default.** In the event of any such material default of breach by LICENSEE, LICENSOR may at any time thereafter and without notice or demand and, without limiting LICENSOR in the exercise of a right or remedy LICENSOR may have by reason of such default or breach:

A. Terminate LICENSEE's right to possession of the Premises by any lawful means, in which case this License shall terminate and LICENSEE shall immediately surrender possession of the Premises to LICENSOR. In such event, LICENSOR shall be entitled to recover from LICENSEE all damages incurred by LICENSOR by reason of LICENSEE's default including, but not limited to, the cost of recovering possession of the Premises, expenses of reletting, including necessary renovation and alteration of the Premises, for reasonable attorneys' fees and costs, any real estate commission actually paid, or the worth at the time of award by the court having jurisdiction thereof of the amount by which the unpaid rent for the balance of the term after the time of such award exceeds the amount of such rental loss for the same period that LICENSEE proves could be reasonably avoided. Unpaid installments of rent or other sums shall bear interest from due date thereof at the rate of eighteen percent (18%) per annum or at the maximum legal rate then in effect in California, whichever is higher. In the event LICENSEE shall have abandoned the Premises, LICENSOR shall have the option of (1) taking possession of the Premises and recovering from LICENSEE the amount specified in this subparagraph, or (2) proceeding under the provisions of the following subparagraphs.

B. Maintain LICENSEE's right to possession, in which case this License shall continue in effect whether or not LICENSEE shall have abandoned the Premises. In such event, LICENSOR shall be entitled to enforce all of LICENSOR's rights and remedies under this License, including the right to recover rent as it becomes due hereunder.

C. Pursue any other remedy now or hereafter available to LICENSOR under the laws or judicial decisions of the State of California. Furthermore, LICENSEE agrees that no election by LICENSOR as to any rights or remedies available hereunder or under or pursuant to any law or judicial decisions of the State of California shall be binding upon LICENSOR until the time of trial of any such action or proceeding.

17. **Offset Statement.** LICENSEE shall, at any time and from time to time upon not less than ten (10) days' prior written notice from LICENSOR, execute, acknowledge and deliver to LICENSOR a statement in writing (a) certifying that this License is unmodified and in full force and effect or, if modified, stating the nature of such modification and certifying that this License, as so modified, is in full force and effect and the date to which the rental and other charges are paid in advance, if any, and (b) acknowledging that there are not, to LICENSEE's knowledge, any uncured defaults on the part of LICENSOR hereunder, or specifying such defaults if any are claimed. Any such statement shall state that it may be relied upon by any prospective purchaser or encumbrancer of all or any portion of which the Premises are a part.

18. **Assignment and Subletting.** LICENSEE shall not assign or transfer this License or any right hereunder to any other person or entity nor shall LICENSEE sublet all or any portion of the Premises without first obtaining the written consent of LICENSOR, which consent shall not be unreasonably withheld or delayed. Any assignment or subletting of the Premises without such prior written consent shall be void for all purposes and LICENSOR may, at its option, declare a forfeiture of the same in any manner provided by law. Consent to any such assignment or subletting shall be at LICENSOR's sole discretion and LICENSOR is not required hereunder to consent to any such proposed assignment of subletting of the Premises.

19. **Fixtures.** All trade fixtures and/or temporary facilities installed on the Premises by LICENSEE may be removed by LICENSEE at any time during the term of this License so long as the same may be removed without permanent damage to the Premises. LICENSEE shall repair all damage which may result therefrom to the reasonable satisfaction of LICENSOR.

20. **Indemnification.** During the Term of this License, LICENSEE shall indemnify, defend and hold LICENSOR and its appointees, officials, officers, agents and employees harmless from all claims, disputes, litigation, judgments, damages, causes of action, investigation costs and attorneys' fees arising out of or in connection with LICENSEE's use and/or occupancy of the Premises; provided, however, this indemnity shall not cover any of the foregoing that are caused by LICENSOR's negligence or willful misconduct. The obligations of LICENSEE described in this Section 20 shall survive any expiration or termination of the License.

21. **Insurance.**

A. **Commercial General Liability Insurance.** Throughout the term hereof, at LICENSEE's sole cost and expense, LICENSEE shall keep or cause to be kept in full force and effect, for the mutual benefit of LICENSEE, and LICENSOR as an additional insured, commercial general liability insurance against claims and liability for personal injury, death, or property damage arising from the use, occupancy, disuse, or condition of the Premises, improvements, or adjoining areas or ways, providing protection of at least Two Million Dollars (\$2,000,000.00) per occurrence for bodily injury or death, and at least Five Hundred Thousand

Dollars (\$500,000.00) for property damage. Any policies containing an annual general aggregate shall be subject to LICENSOR's prior approval.

B. Policy Form, Contents and Insurer. All insurance required by express provision of this License shall be carried only in responsible insurance companies licensed to do business in the State of California with a current A.M. Best rating of no less than A:VII. All such policies shall contain language to the effect that: (1) the policies are primary and noncontributing with any insurance that may be carried by LICENSOR; (2) they cannot be canceled or materially altered except after thirty (30) days' notice by the insurer to LICENSOR; (3) the Redevelopment Agency of the City of Redlands and the City of Redlands, and each of Agency's and City's elected and appointed officials, officers and employees are additional insureds; (4) any failure by LICENSEE to comply with reporting or other provisions of the policies including breaches of warranties shall not affect the required coverage; and (5) the required insurance applies separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability. LICENSEE shall furnish LICENSOR with copies of all certificates and endorsements evidencing the insurance. LICENSEE may effect for its own account any insurance not required under this License.

C. Failure to Maintain Insurance; Proof of Compliance. LICENSEE shall deliver to LICENSOR, in the manner required for notices, copies of endorsements to all insurance policies required by this License, within the following time limits: (1) For insurance required at the commencement of this License, within ten (10) days after Effective Date of this License and prior to LICENSEE's occupancy of the Premises; (2) For insurance becoming required at a later date, at least ten (10) days before that requirement takes effect, or as soon thereafter as the requirement, if new, takes effect; (3) For any renewal or replacement of a policy already in existence, prior to expiration or other termination of the existing policy.

If LICENSEE fails or refuses to procure or maintain insurance as required by this License, or fails or refuses to furnish LICENSOR with required proof that the insurance has been procured and is in full force and paid for, LICENSOR shall have the right, at LICENSOR's election and on five (5) days' notice, to procure and maintain such insurance. The premiums paid by LICENSOR shall be treated as added rent due from LICENSEE with interest at the rate of eighteen percent (18%) per year or the maximum allowable legal rate in effect in the State of California on the date when the premium is paid, whichever is higher, to be paid on the first day of the month following the date on which the premium was paid. LICENSOR shall give LICENSEE prompt notice and provide LICENSEE with a certificate of insurance and agent's invoice evidencing payment of such premiums, stating the amounts paid and the names of the insurer or insurers, and interest shall run from the effective date of coverage.

22. Authority of Parties. Each individual executing this License on behalf of LICENSEE represents and warrants that he or she is fully authorized to execute and deliver this License on behalf of LICENSEE and that this License is binding upon LICENSEE in accordance with its terms.

23. Waiver. No breach of any provision hereof can be waived unless in writing. Waiver of any one breach of any provision shall not be deemed to be a waiver of any other breach of the same or any other provision hereof. The waiver by LICENSOR of any term, covenant or condition

herein contained shall not be deemed to be a waiver of such term, covenant or condition on any subsequent breach of the same or any other term, covenant or condition herein contained. The subsequent acceptance of rent hereunder by LICENSOR shall not be deemed to be a waiver of any preceding breach by LICENSEE of any term, covenant or condition of this License, other than the failure of the LICENSEE to pay the particular rental so accepted, regardless of LICENSOR's knowledge of such preceding breach at the time of acceptance of such rent.

**24. Time.** Time is of the essence of this License and each and all of its provisions in which performance is a factor.

**25. Inability to Perform.** This License and the obligations of either Party hereunder shall not be affected or impaired because the other Party is unable to fulfill any of obligations hereunder or is delayed in doing so, if such inability or delay is caused by reason of strike, war, civil insurrection, acts of God, or any other cause beyond the reasonable control of the nonperforming Party.

**26. Sale of Premises by LICENSOR** In the event of any sale of the Premises, LICENSOR shall be and hereby is entirely freed and relieved of all liability under any and all of the covenants and obligations contained in or derived from this License arising out of any act, occurrence or omission occurring after the consummation of such sale. The purchaser, at such sale or any subsequent sale of the Premises, shall be deemed, without any further agreements between the Parties or their successors in interest or between the parties and any such purchaser, to have assumed and agreed to carry out each and all of the covenants and obligations of LICENSOR under this License. Notwithstanding the foregoing, upon the request of LICENSEE, LICENSOR shall provide an assignment and assumption agreement signed by its successor in interest acknowledging and agreeing to assume all of LICENSOR's obligations under this License.

**27. Signs.** LICENSEE shall not place any sign upon the Premises without LICENSOR's prior written consent and approval thereof. Further, such signs, if any, shall conform to the sign requirements of the City of Redlands.

**28. Performance Bond.** Prior to the commencement of any repair, alteration, addition, renovation or improvement as may be required or permitted herein pursuant to Section 8 of this License, LICENSEE shall file with LICENSOR a corporate surety bond satisfactory to LICENSOR's General Counsel and conditioned that the LICENSEE shall well and truly observe, fulfill and perform each and every repair, alteration, addition, renovation or improvement as determined by LICENSOR's Executive Director, whose decision shall be final. In the event of any breach of any condition of the aforesaid bond, the whole amount of the penal sum therein named shall be deemed to be liquidated damages, and the same shall be recoverable from the principal and sureties upon the bond. Upon completion of the repairs, alterations, additions, renovation or improvements secured by said corporate surety bond, LICENSEE may apply to LICENSOR's Executive Director for a reduction in the penal sum of said bond and said Executive Director, upon satisfactory proof presented to him or her, shall reduce the penal sum thereof to an amount not exceeding fifty percent (50%) of the reasonable value of said repairs, alterations, additions, renovation or improvements. Said bond, as reduced in the penal sum thereof, shall be maintained in full force and effect until the time for the filing or enforcement of

any mechanic's, materialman's, contractor's or subcontractor's liens arising from, or any claim for any work of repair, alteration, addition, renovation or improvement of or to the Premises or any other claim or demand howsoever the same may arise shall have expired. In no event, however, shall LICENSEE's obligation to indemnify and hold LICENSOR and the Premises free and harmless from any such claims and demands be abrogated by this requirement for the maintenance of said corporate surety bond.

**29. Salvage.** LICENSEE and LICENSOR hereby agree that all items of non-hazardous personal property remaining upon the Premises subsequent to Termination shall be deemed to be the property of the LICENSOR. Thereafter, LICENSEE shall not have any right to such personal property.

**30. Successors.** Subject to the provisions of this License with respect to assignment and subletting, each and all of the covenants and conditions of this License shall be binding on and shall inure to the benefit of the successors of the respective Parties.

**31. Notices.** Any notice required or permitted under the terms of this License shall be deemed served when personally served on LICENSEE or LICENSOR or when the same has been placed in the United States mail, postage prepaid and addressed as follows:

LICENSOR:                   The Redevelopment Agency of the City of Redlands  
                                  Attention: Redevelopment Director  
                                  35 Cajon Street, Suite 204  
                                  Post Office Box 3005  
                                  Redlands, California 92373

LICENSEE:                   William and Crystal Wyatt  
                                  Doing Business As Wyatt Video  
                                  P. O. Box 2008  
                                  Running Springs, California 92382

**32. Administration of License.** This License shall be administered by the LICENSOR's Executive Director, or his designee, following approval of this License by the LICENSOR's Board. The LICENSOR's Board shall maintain authority over this License through the Executive Director (or his authorized representative). The Executive Director, or his designee, shall have the authority to issue interpretations, waive provisions and enter into amendments of this License on behalf of the LICENSOR so long as such actions do not substantially change the uses or development permitted on the Premises, or add to the costs of the LICENSOR as specified herein or as agreed to by the LICENSOR's Board, and such amendments may include extensions of time specified with respects to actions specified herein. All other waivers or amendments shall require the written consent of the LICENSOR's Board.

**33. Severability.** In the event that any provision of this License is held to be invalid, void or illegal by any court of competent jurisdiction, the same shall be deemed severable from the remainder of this License and shall in no way affect, impair or invalidate any other provision contained herein. If any such provision shall be deemed invalid due to its scope or breadth, such provision shall be deemed valid to the extent of the scope or breadth permitted by law.

34. **Interpretation.** No provision of this License is to be interpreted for or against either Party because that Party or that Party's legal representative drafted such provision, but this License is to be construed as if both Parties drafted such provision.

35. **Audit.** LICENSOR may audit LICENSEE's activities on the Premises pursuant to this License at any time with respect to LICENSEE's operations pursuant to this License. Said auditing shall be conducted on the Premises during normal business hours (i.e., 8:00 AM to 5:00 PM, Monday through Friday, except on national holidays)..

36. **Disputes - Attorney's Fees.** If either Party to this License is required to initiate or defend litigation in any way connected with this License, the prevailing Party in such litigation, in addition to any other relief which may be granted, whether legal or equitable, shall be entitled to reasonable attorney's fees, including the use of in-house counsel by a Party.

37. **Post-acquisition Status/Ineligibility for Relocation Benefits.** LICENSEE acknowledges and agrees that LICENSEE is a post-acquisition tenant of LICENSOR as regards LICENSEE's participation in this License. LICENSEE represents that LICENSEE has read the following and understands that as a post-acquisition tenant, LICENSEE is not eligible for relocation assistance and benefits from LICENSOR. LICENSEE agrees and acknowledges that LICENSEE is not eligible for relocation rights pursuant to § 6034(b)(1) of Title 25 of the California Code of Regulations, which reads:

“(b)(1) Post-acquisition tenants, those who lawfully occupy property only after a public entity acquires it, or who lawfully occupy property after the private acquisition of property by a person with a written agreement with a public entity for the purpose of financing the purchase or development of the property, are not eligible for assistance and benefits other than advisory assistance to the extent determined by the displacing agency. A public entity shall inform prospective tenants regarding the projected date of displacement and periodically, should inform post-acquisition tenants of any changes in this projection.”

LICENSEE acknowledges and agrees that LICENSOR has adopted either § 6034(b)(1) or substantial equivalent and upon such authority LICENSEE is not eligible for relocation assistance and benefits.

38. **Entire Agreement.** This License contains the entire agreement between the Parties as to the matters contained herein. No promise, representation, warranty, or covenant not included in this License has been or is relied on by either Party. Each Party has relied on its own examination of this License, the counsel of its own advisors, and the warranties, representations, and covenants in the License itself. The failure or refusal of either Party to inspect the Premises or improvements, to read the License or other documents or to obtain legal or other advice relevant to this transaction constitutes a waiver of any objection, contention, or claim that might have been based on such reading, inspection, or advice.



**WHEREFORE**, the Parties hereto have entered into the License effective as of the date first above written.

**LICENSEE:**  
**William and Crystal Wyatt**

By: William Wyatt  
William Wyatt

By: Crystal Wyatt  
Crystal Wyatt

**LICENSOR:**  
**THE REDEVELOPMENT AGENCY  
OF THE CITY OF REDLANDS,**  
a public body, corporate and politic

By: Jon Harrison  
Jon Harrison, Chairman

**ATTEST:**

By: Lorrie Poyzer  
Lorrie Poyzer, Agency Secretary

EXHIBIT "A"

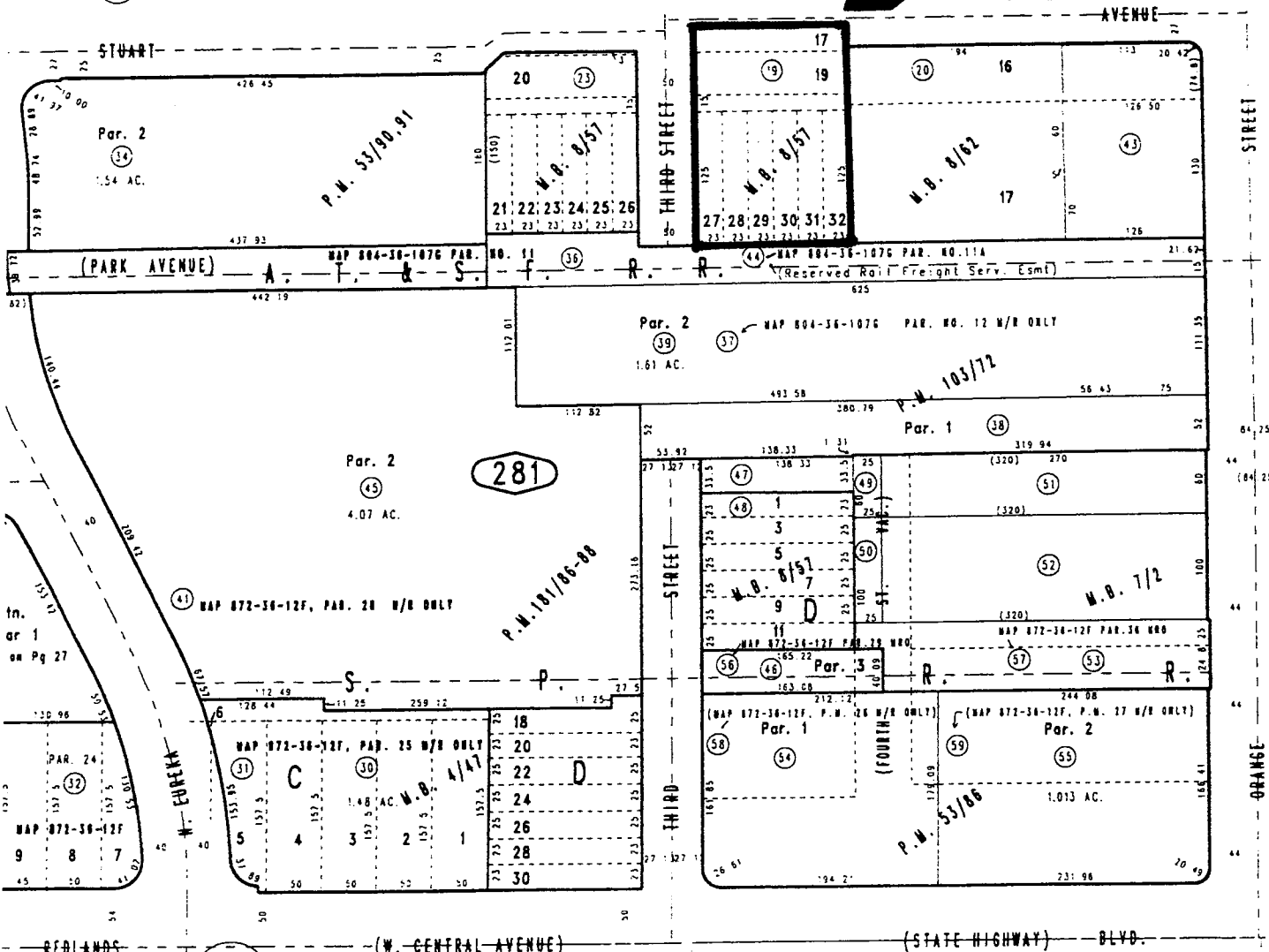
SITE MAP

Licensed Premises

Ptn. Rancho San Bernardino, M.B. 7/2

Redlands City Tax Rate Area 5002

0169 - 28



8/62  
 in Sub. M.B. 4/47  
 89; P.M. 81/86-88

0171  
 05

Parcel Map No. 4650, P.M. 53/86  
 Ptn. Central Townsite, M.B. 8/57  
 Ptn. Parcel Map No. 9560, P.M. 103/72 Ptn., Sec. 27  
 Ptn. Parcel Map No. 5659, P.M. 53/90-91 T.1S., R.3W.

Assessor's Map  
 Book 0169 Page 28  
 San Bernardino County

PEVI  
 11/06.